



DRIPPING SPRINGS  
Texas

# PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

Council Chambers, 511 Mercer St, Dripping Springs, TX

Tuesday, May 24, 2022 at 6:00 PM

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## Agenda

### CALL TO ORDER AND ROLL CALL

#### Commission Members

Mim James, Chair  
James Martin, Vice Chair  
Christian Bourguignon  
Doug Crosson  
John McIntosh  
Evelyn Strong  
Tammie Williamson

#### Staff, Consultants & Appointed/Elected Officials

City Administrator Michelle Fischer  
City Attorney Laura Mueller  
City Secretary Andrea Cunningham  
Planning Director Howard Koontz  
Senior Planner Tory Carpenter  
Public Works Director Aaron Reed  
IT Coordinator Jason Weinstock

### PLEDGE OF ALLEGIANCE

### PRESENTATION OF CITIZENS

*A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.*

### CONSENT AGENDA

*The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.*

- 1. Approval of the April 26, 2022, Planning & Zoning Commission regular meeting minutes.**
- 2. Approval of the May 10, 2022, Planning & Zoning Commission workshop meeting minutes.**
- 3. Approval of SUB2022-0010: an application for the Ariza Multifamily preliminary plat for a 19.16 acre tract out of the E. B. Hargraves and Hermon Benson surveys located at 13900 W US 290. Applicant: Katie Stewart, P.E. Pape-Dawson Engineers**
- 4. Denial of SUB2022-0008: an application for the Wild Ridge Preliminary Plat for a 283.4 acre tract located out of the I.V. Davis Jr. and Edward W. Brown surveys. Applicant: Richard Pham, P.E., Doucet & Associates, Inc.**
- 5. Approval of SUB2022-0009: an application for the Driftwood Subdivision Phase 3 preliminary plat for a 43.7352 acre tract out of the Freelove Woody survey located at 17901 FM 1826. Applicant: John Blake, P.E., Murfee Engineering Company**
- 6. Approval of SUB2021-0012: an application to consider the final plat of Caliterra Phase 4 Section 12 for a 65.964 acre tract of land out of the Philip A. Smith Survey. Applicant: Bill Couch, Carlson Brigrance and Doering, Inc.**
- 7. Conditional approval of SUB2021-0061: an application for Big Sky Ranch Phase 3 Final Plat for a 81.71 acre tract located at the intersection of Sue Peaks Loop and Diablo Rim Terrace out of the Philip A. Smith Survey. Applicant: Christopher Reid, Doucet & Associates.**
- 8. Conditional approval of SUB2021-0062: an application for Big Sky Ranch Phase 4 Final Plat for a 212.4 acre tract located at the intersection of Lone Peak Way and Bartlett Peak Lane out of the Philip A. Smith Survey. Applicant: Christopher Reid, Doucet & Associates.**
- 9. Approval of SUB2021-0067: an application for the Headwaters Phase 5 Section 2 Final Plat for a 57.14 acre tract located at the intersection of Headwaters Boulevard and Sage Thrasher Circle out of the MD Raper and W Walk Jr Surveys. Applicant: WFC Headwaters Owner VII, L.P.**
- 10. Denial of SUB2022-0021: an application for Headwaters at Barton Creek Phase 3 Final Plat for a 200.77 acre tract out of the FA Jolly, JP Powell, WM Walker, and H Benson Surveys located near the intersection of Canyonwood Drive and US 290. Applicant: WFC Headwaters Owner VII, L.P.**

- 11. Denial of SUB2022-0020: an application to consider the final plat of Caliterra Phase 4 Section 14 for a 50.947 acre tract of land out of the Philip A. Smith Survey near the intersection of Caliterra Parkway and Crosswater Lane. Applicant: Bill Couch, Carlson Brigrance and Doering, Inc.**

## **BUSINESS**

- 12. Public hearing and consideration of approval of SUB2022-0022: an application for the Ladera Lot 2 replat for a 15 acre tract located at 4630 W US 290. Applicant: Jon Thompson**

- a. Applicant Presentation
- b. Staff Report
- c. Public Hearing
- d. Replat

- 13. Public hearing and consideration of recommendation regarding VAR2022-0003: an application for a variance to allow more than 50% impervious cover for a property located at 410 Hazy Hills Loop, being Block A, Lot 21 of the Headwaters at Bardon Creek Phase 1 subdivision. Applicant: Renee Godinez, Permit Solutions.**

- a. Applicant Presentation
- b. Staff Report
- c. Public Hearing
- d. Variance

- 14. Public hearing and consideration of recommendation regarding an ordinance rezoning a property from AG to PDD # 14 with a base zoning of SF-3, SF-5, and LR with primarily residential uses with some local retail and governmental uses for property located south of U.S. 290 and east of Rob Shelton Blvd. along Sports Park Road adjacent to the Sports and Recreation Park and commonly known as “Village Grove”, directly south and adjacent to Wallace Mountain, and directly west and adjacent to The Preserve subdivision. Applicant: Matthew Scrivener, Austin Land Innovations**

- a. Applicant Presentation
- b. Staff Report
- c. Public Hearing
- d. Ordinance Recommendation

## **PLANNING & DEVELOPMENT REPORTS**

- 15. Planning Department Report**

## **EXECUTIVE SESSION**

*The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning*

*Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.*

**UPCOMING MEETINGS**

**Planning & Zoning Commission Meetings**

June 14, 2022, at 6:00 p.m.

June 28, 2022, at 6:00 p.m.

July 12, 2022, at 6:00 p.m.

July 26, 2022, at 6:00 p.m.

**City Council & Board of Adjustment Meetings**

June 7, 2022, at 6:00 p.m. (CC & BOA)

June 21, 2022, at 6:00 p.m. (CC)

July 5, 2022, at 6:00 p.m. (CC & BOA)

July 19, 2022, at 6:00 p.m. (CC)

**ADJOURN**

**TEXAS OPEN MEETINGS ACT PUBLIC NOTIFICATION & POSTING OF MEETING**

*All agenda items listed above are eligible for discussion and action unless otherwise specifically noted. This notice of meeting is posted in accordance with Chapter 551, Government Code, Vernon's Texas Codes. Annotated. In addition, the Commission may consider a vote to excuse the absence of any Commissioner for absence from this meeting.*

*I certify that this notice of meeting was posted at the City of Dripping Springs City Hall and website, [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com), on **May 20, 2022, at 1:00 p.m.***

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City Secretary

*This facility is wheelchair accessible. Accessible parking spaces are available. Requests for auxiliary aids and services must be made 48 hours prior to this meeting by calling (512) 858-4725.*



# PLANNING & ZONING COMMISSION REGULAR MEETING

## City of Dripping Springs

Ranch Park Event Center, 1042 Event Center Dr.,

Dripping Springs, TX

Tuesday, April 26, 2022 at 6:00 PM

## MINUTES

### CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:00 p.m.

**Commission Members present were:**

Mim James, Chair  
James Martin, Vice Chair  
Christian Bourguignon  
Doug Crosson  
John McIntosh  
Evelyn Strong  
Tammie Williamson

**Staff, Consultants & Appointed/Elected Officials present were:**

City Attorney Laura Mueller  
Planning Director Howard Koontz  
Senior Planner Tory Carpenter  
Public Works Director Aaron Reed  
Mayor Pro Tem Taline Manassian

### PLEDGE OF ALLEGIANCE

Chair James led the Pledge of Allegiance to the Flag.

### PRESENTATION OF CITIZENS

*A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on*

*presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.*

Terry Tull spoke the Comprehensive Plan related to Goldenwood and impervious cover.

## **PRESENTATIONS**

### **1. Wastewater Update**

*Public Works Director Aaron Reed*

Aaron Reed presented the Wastewater Update which is on file.

## **CONSENT AGENDA**

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- 2. Approval of the March 22, 2022, Planning & Zoning Commission regular meeting minutes.**
- 3. Conditional Approval of SUB2021-0011: an application for the Double L Ranch Phase 1 Preliminary Plat for a 217.97 acre tract out of the Philip A. Smith Survey located 1.5 miles north of US 290 and Ranch Road 12. Applicant: Pablo Martinez, BGE, Inc.**
- 4. Approval of SUB2021-0070: an application for the Cannon Ranch, Phase 1 Final Plat for a 29.97 acre tract located at the intersection of Founders Park Road and Rob Shelton Boulevard out of the Philip A. Smith and C.H. Malott Surveys. Applicant: Jake Helmburg; Doucet & Associates**
- 5. Approval of SUB2022-0004: an application for the Headwaters commercial East Phase 1 Preliminary Plat for a 5.824 acre tract located out of the William walker survey located at Headwaters Boulevard and Flathead Drive. Applicant: Blake Rue, Oryx Land Holdings, LLC**
- 6. Denial of SUB2022-0007: an application for the CRTX Final Plat for a 8.59 acre tract located out of the P.A. Smith Survey located at 27110 Ranch Road 12. Applicant: Chet Manning, Allen Harrison Company, LLC**
- 7. Approval of SUB2020-0034: an application for the Heritage Phase 1 Final Plat for a 37.07 acre tract out of the Philip Smith Survey survey located on Ranch Road 12 south of Spring Lake Drive. Applicant: Alex Granodos, P.E. Kimley-Horn & Associates**

8. **Denial of SUB2022-0012: an application for the Driftwood Phase 3 Section 1 Final Plat for a 9.070 acre tract out of the Freelove Woody survey located at 17901 FM 1826.** *Applicant: John Blake, P.E., Murfee Engineering Company, Inc.*
9. **Denial of SUB2022-0013: an application for the Driftwood Phase 3 Section 2 Final Plat for a 34.665 acre tract out of the Freelove Woody survey located at 17901 FM 1826.** *Applicant: John Blake, P.E., Murfee Engineering Company, Inc.*
10. **Denial of SUB2022-0006: an application for the CRTX Preliminary Plat for a 8.59 acre tract located out of the P.A. Smith Survey located at 27110 Ranch Road 12.** *Applicant: Chet Manning, Allen Harrison Company, LLC*

A motion was made by Vice Chair Martin to approve Consent Agenda items 2 – 10. Commissioner Strong seconded the motion which carried accordingly: Consent Agenda Items 2 – 7 carried unanimously 7 to 0; and Consent Agenda Items 8 – 9 carried 6 to 0 to 1, with Commissioner Crosson abstaining; and Consent Agenda Item 10 carried unanimously 7 to 0.

## BUSINESS

11. **Public hearing and consideration of SUB2022-0014: an application for the Driftwood Golf and Ranch Club, Phase 1 Replat Plat for a 10.8649 acre tract located on Driftwood Ranch Drive.** *Applicant: John Blake, P.E., Murfee Engineering Company, Inc.*
  - a. **Applicant Presentation** – No presentation given.
  - b. **Staff Report** – Tory Carpenter presented the staff report which is on file. Staff recommends denial of the application.
  - c. **Public Hearing** – No one spoke during the Public Hearing.
  - d. **Replat** – A motion was made by Vice Chair Martin to deny approval of SUB2022-0014: an application for the Driftwood Golf and Ranch Club, Phase 1 Replat Plat for a 10.8649 acre tract located on Driftwood Ranch Drive. Commissioner McIntosh seconded the motion which carried 6 to 0 to 1, with Commissioner Crosson abstaining.
12. **Public hearing consideration of recommendation regarding an Ordinance adding a definition for Special Event Facility under Chapter 30, Exhibit A Zoning Ordinance, Section 1: General Provisions, Section 3: Zoning Districts, Section 5: Development Standards and Use Regulations, and Appendix E: Zoning Use Regulations.**
  - a. **Staff Report** – Tory Carpenter presented the staff report which is on file. Staff recommends approval of the ordinance.
  - b. **Public Hearing** – No one spoke during the Public Hearing.
  - d. **Text Amendment** – A motion was made by Vice Chair Martin to recommend City Council approval of an Ordinance adding a definition for Special Event Facility under Chapter 30, Exhibit A Zoning Ordinance, Section 1: General Provisions, Section 3: Zoning Districts, Section 5: Development Standards and Use Regulations, and Appendix

E: Zoning Use Regulations. Commissioner McIntosh seconded the motion which carried unanimously 7 to 0.

The Commission directed staff work on definitions before final approval by City Council.

## PLANNING & DEVELOPMENT REPORTS

### 13. City Attorney Report

*City Attorney Laura Mueller*

Laura Mueller presented the report which is on file.

## EXECUTIVE SESSION

*The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.*

The Commission did not meet in Executive Session.

## UPCOMING MEETINGS

### *Planning & Zoning Commission Meetings*

May 10, 2022, at 6:00 p.m.

May 24, 2022, at 6:00 p.m.

June 14, 2022, at 6:00 p.m.

June 21, 2022, at 6:00 p.m.

### *City Council & Board of Adjustment Meetings*

May 3, 2022, at 6:00 p.m. (CC & BOA)

May 10, 2022, at 5:00 p.m. (Moratorium Waivers)

May 17, 2022, at 6:00 p.m. (CC)

June 7, 2022, at 6:00 p.m. (CC & BOA)

June 21, 2022, at 6:00 p.m. (CC)

## ADJOURN

A motion was made by Vice Chair Martin to adjourn the meeting. Commissioner Williamson seconded the motion which carried unanimously 7 to 0.

This regular meeting adjourned at 7:15 p.m.





# PLANNING & ZONING COMMISSION WORKSHOP

City of Dripping Springs

Council Chambers, 511 Mercer St, Dripping Springs, TX

Tuesday, May 10, 2022 at 6:00 PM

## MINUTES

### CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:00 p.m.

**Commission Members present were:**

Mim James, Chair  
James Martin, Vice Chair  
Christian Bourguignon  
Doug Crosson  
John McIntosh  
Evelyn Strong (arrived at 6:04 p.m.)  
Tammie Williamson

**Staff, Consultants & Appointed/Elected Officials present were:**

City Administrator Michelle Fischer  
Deputy City Administrator Ginger Faught  
City Attorney Laura Mueller  
City Secretary Andrea Cunningham  
Planning Director Howard Koontz  
Senior Planner Tory Carpenter  
IT Coordinator Jason Weinstock  
Mayor Pro Tem Manassian  
CPAC members (Comprehensive Plan Advisory Committee): Pam Owens, Kim Fernea, Holly Morris-Kuntz, Doug Fowler, MaryMargaret Dement, Wayne Simoneau, Betty Meyer and Margaret Scharold.

### PLEDGE OF ALLEGIANCE

Chair James led the Pledge of Allegiance to the Flag.

### PRESENTATION OF CITIZENS

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*address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.*

No one spoke during Presentation of Citizens.

## **WORKSHOP**

### **1. Update and discussion regarding the Dripping Springs Comprehensive Plan Steering Committee and Comprehensive Plan 2045.**

**a. Staff Introduction** – DTJ Design Director of Urban Planning and Design introduced the DTJ Team, CPAC (Comprehensive Plan Advisory Committee) members and city staff.

**b. Consultant Team Presentation & Exercises** – The DTJ Design team, city staff and the CPAC engaged in various exercises and information gathering related to the development of the plan.

### **2. Presentation and discussion regarding an ordinance rezoning a property from AG to PDD # 14 with a base zoning of SF-3, SF-5, and LR with primarily residential uses with some local retail and governmental uses for property located south of U.S. 290 and east of Rob Shelton Blvd. along Sports Park Road adjacent to the Sports and Recreation Park and commonly known as “Village Grove”, directly south and adjacent to Wallace Mountain, and directly west and adjacent to The Preserve subdivision. Applicant: Matthew Scrivener, Austin Land Innovations**

Chair James recused from the item and exited the dais. Vice Chair Martin presided over the meeting.

**a. Applicant Presentation** – SEC Planning Principal Peter Verdicchio gave a presentation which is on file.

**b. Staff Report** – Howard Koontz presented the staff report which is on file.

**c. Public Hearing** – Eugene and Brenda Foster spoke in opposition to the project.

**d. Discussion** – The Commission discussed the item, and no action was taken.

## **UPCOMING MEETINGS**

### **Planning & Zoning Commission Meetings**

May 24, 2022, at 6:00 p.m.

June 14, 2022, at 6:00 p.m.

June 28, 2022, at 6:00 p.m.

**City Council & Board of Adjustment Meetings**

May 17, 2022, at 6:00 p.m. (CC)

June 7, 2022, at 6:00 p.m. (CC & BOA)

June 21, 2021, at 6:00 p.m. (CC)

**ADJOURN**

A motion was made by Commissioner Strong to adjourn the meeting. Commissioner Williamson seconded the motion which carried unanimously 6 to 0.

This regular meeting adjourned at 9:31 p.m.



# Planning and Zoning Commission

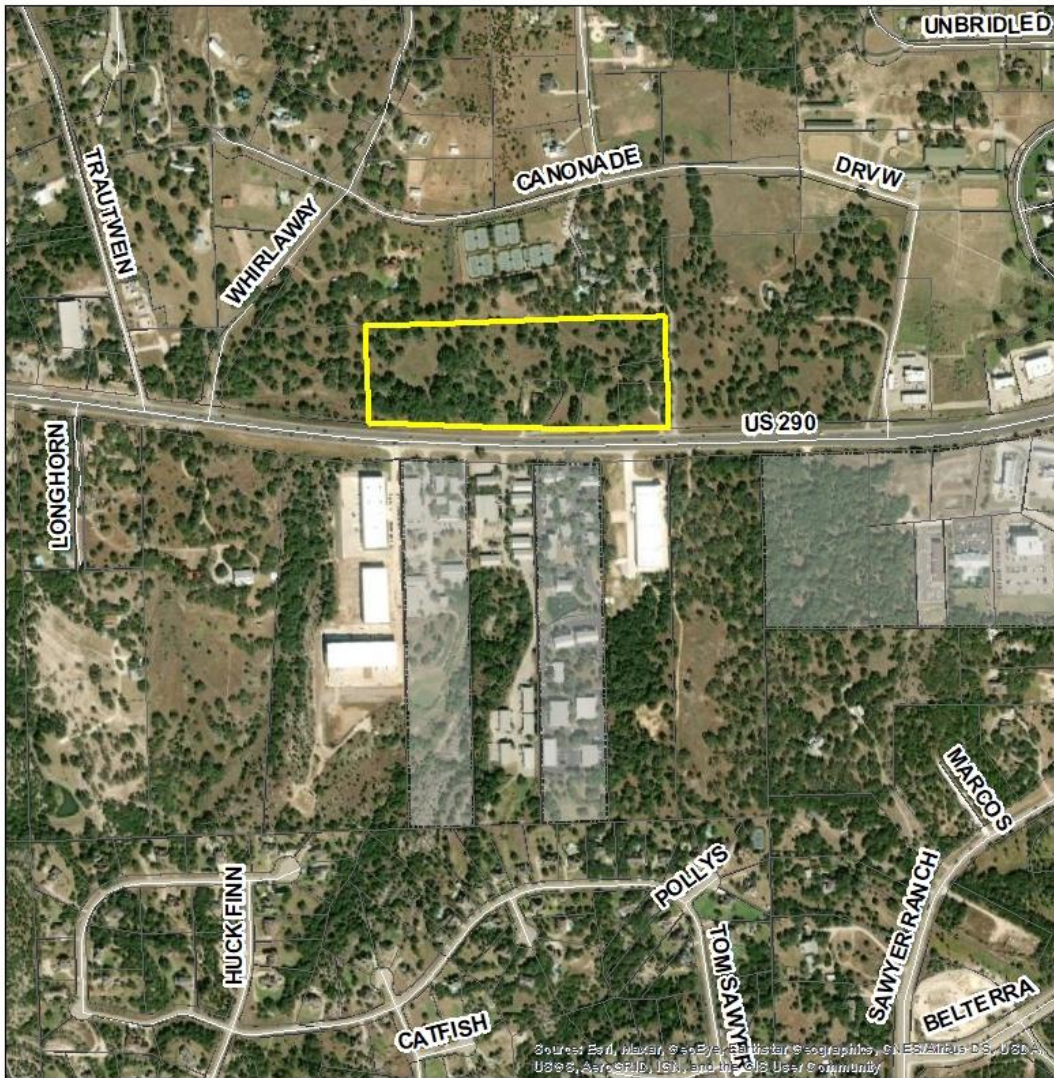
## Planning Department Staff Report

Item 3.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0010  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

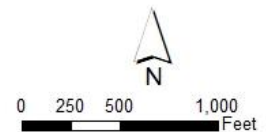
**Project Name:** Ariza Multifamily Preliminary Plat  
**Property Location:** 13900 W US 290  
**Legal Description:** 19.16 acre tract out of the E. B. Hargraves and Hermon Benson surveys  
**Applicant:** Katie Steward, P.E. Pape Dawson Engineers  
**Property Owner:** Dustin Lindig, Henna Investments, LLC  
**Staff recommendation:** Approval of the Preliminary Plat



### Location Map

*Ariza Multifamily Preliminary Plat*

- Roads
- Parcel Lines
- City Limits**
- ▭ Full Purpose



## Planning Department Staff Report

### Overview

This preliminary plat consists of one multifamily lot served by a private wastewater treatment plant.

### Access and Transportation

The applicant will extend Rob Shelton through the site and access the development through this extension.

### Site Information

**Location:** Thurman 13900 W US 290

**Zoning Designation:** ETJ

### Property History

A moratorium waiver was approved for this project on March 8, 2022.

### Recommendation

Approval

### Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Recommended Action	Approval of the Plat
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



**DRIPPING SPRINGS**  
Texas

City of Dripping Springs

Item 3.

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**PRELIMINARY PLAT APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: \_\_\_\_\_

DATE: 11/2/2021

NOT SCHEDULED

NOT SCHEDULED

**CONTACT INFORMATION**

**APPLICANT NAME** Katie Stewart, P.E.

**COMPANY** Pape-Dawson Engineers

**STREET ADDRESS** 10801 N. Mopac Expressway, Bldg 3, Suite 200

**CITY** Austin **STATE** Texas **ZIP CODE** 78759

**PHONE** 512-454-8711 **EMAIL** kstewart@pape-dawson.com

**OWNER NAME** Dustin Lindig

**COMPANY** Henna Investments, LLC

**STREET ADDRESS** 8805 N INTERSTATE 35

**CITY** AUSTIN **STATE** TEXAS **ZIP CODE** 78753-4875

**PHONE** 512-517-4650 **EMAIL** dustin.lindig@henna.com

**PROPERTY INFORMATION**

PROPERTY OWNER NAME	Henna Investments, LLC
PROPERTY ADDRESS	(Approximately) 13900 W. US Highway 290, Dripping Springs, TX
CURRENT LEGAL DESCRIPTION	A0240 E B HARGRAVES SURVEY, ACRES 14.875 A0040 HERMON BENSON SURVEY, ACRES 1.00 A0240 E B HARGRAVES SURVEY, ACRES 1.905 AC A0240 E B HARGRAVES SURVEY ACRES 1.38
TAX ID #	10-0240-0002-00010-4, 10-0040-0005-00000-4, 10-0240-0002-00001-4, 10-0240-0003-00000-4
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	19.16 Acres
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	North Hays County ESD #1, Hays County Fire ESD #6
ZONING/PDD/OVERLAY	N/A - site is in ETJ
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: <u>US Highway 290</u> <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input type="checkbox"/> Yes (see attached) <input checked="" type="checkbox"/> Not Applicable Development Agreement Name: _____

**ENVIRONMENTAL INFORMATION**

IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER? (CZP submittal to TCEQ will be required)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Ariza Multifamily
TOTAL ACREAGE OF DEVELOPMENT	19.16 Acres
TOTAL NUMBER OF LOTS	1
AVERAGE SIZE OF LOTS	19.16 Acres
INTENDED USE OF LOTS	<input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> <small>(multifamily residential)</small> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: _____ COMMERCIAL: <u>1</u> INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: _____ COMMERCIAL: <u>19.16 Acres</u> INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>N/A</u> PRIVATE: <u>N/A</u>
ANTICIPATED WASTEWATER SYSTEM	<input checked="" type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> N/A <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED: HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input type="checkbox"/> NO N/A	



COMMENTS: \_\_\_\_\_

TITLE: Project Manager SIGNATURE: Kraticie Stewart

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): PEC

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): TBD

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): West Travis County PUA

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): (septic)

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): Texas Gas

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

Will add if required for property in ETJ

**APPLICANT'S SIGNATURE**

Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.

The above information is true to the best of my knowledge. ~~I attest that the real property described is owned by me and all others as signed below.~~ If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Katie Stewart - Applicant ONLY, not Property Owner

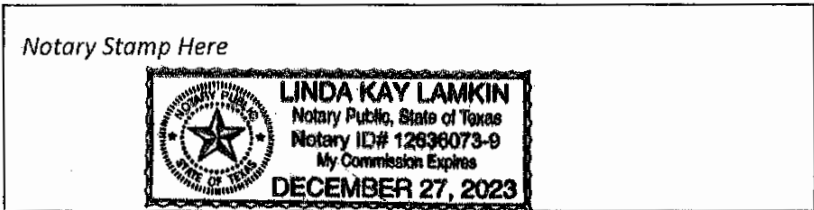
Applicant Name

Katie Stewart  
Applicant Signature

2/15/2022  
Date

Linda K Lamkin  
Notary

2/16/2022  
Date



\*\*Notary is for Property Owner attesting that they are property owner

DUSTIN LINDIG  
Property Owner Name

[Signature]  
Property Owner Signature

2/16/2022  
Date

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

512.858.4725 • [wcityofdrippingsprings.com](http://wcityofdrippingsprings.com)

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: Kraticie Stewart Date: 2/18/2022

**For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.**

<b>PRELIMINARY PLAT CHECKLIST</b>			
<b>Subdivision Ordinance, Section 4</b>			
	STAFF	APPLICANT	
2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
1	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
3	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
5	<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
6	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
7	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
8	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study
9	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (3 copies required – 11 x 17)
10	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current <small>Note - new tax certificates will be provided after current taxing period</small>
11	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
	<input type="checkbox"/>	<input type="checkbox"/> N/A	Development Agreement/PDD (If applicable)
	<input type="checkbox"/>	<input type="checkbox"/> N/A	Utility Service Provider “Will Serve” Letters
13	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,)

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	<input type="checkbox"/>	<input type="checkbox"/> N/A	Documentation showing Hays County 911 addressing approval (if applicable)
	<input type="checkbox"/>	<input type="checkbox"/> N/A	Parkland Dedication Submittal (narrative, fees)
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
	<input type="checkbox"/>	<input type="checkbox"/> N/A	ITE Trip Generation Report, or if required; a Traffic Impact Analysis TIA is in process
14	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
	<input type="checkbox"/>	<input type="checkbox"/> N/A	OSSF Facility Planning Report or approved OSSF permit (if applicable) (in process)
	<input type="checkbox"/>	<input type="checkbox"/> N/A	Hays Trinity Groundwater Conservation District approval of water well (if applicable)
15	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
<b>PRELIMINARY PLAT INFORMATION REQUIREMENTS</b>			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input type="checkbox"/> N/A	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency</li> </ul>

		<p>(FEMA) information; and</p> <ul style="list-style-type: none"> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and</li> <li>- Ravines; and</li> <li>- Bridges; and</li> <li>- Culverts; and</li> <li>- Existing structures; and</li> <li>- Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and</li> <li>- Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure</p>

		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
<input type="checkbox"/>	<input type="checkbox"/> N/A	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor’s certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair’s absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If any amount of surface water is to be used by the subject property, the

		Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).
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**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	The project intends to comply with the Lighting Ordinance though it is not technically required. This will be detailed in the Site Development phase.
Parkland Dedication, Article 28.03	The project is located in the ETJ of Dripping Springs and intends to comply with Parkland dedication if required.
Landscaping and Tree Preservation, Article 28.06	The project is located in the ETJ of Dripping Springs, so landscape plans and tree preservation are not formally required. However, landscaping will be proposed on-site with the Site Development phase.



Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Public improvements will include a driveway coordinated with TxDOT to connect to US-290 and a public waterline extension with West Travis County PUA. Both improvements intend to meet City, County, and TxDOT requirements as applicable.</p> <p>Private improvements will include a stacked detention and water quality pond (CZP required with TCEQ), an underground storm drain system that will collect runoff from the site and route to the pond, and private fire lanes/waterlines/hydrants to be coordinated with Hays County Fire.</p>
Zoning, Article 30.02, Exhibit A	<p>The project is located in the ETJ of Dripping Springs so no zoning is applicable. The project will respect the required building setbacks of 10' front setback and 5' for rear and side setbacks.</p>







ON-SITE TREE LIST:

Table with columns: TREE#, STATUS, SIZE(N), TYPE. Multiple columns of tree data including tree numbers, status (e.g., LIVE, REMOVED), size, and type (e.g., LIVE OAK, BLACK OAK).

TREE LIST LEGEND:

X = TREE TO BE REMOVED
(M) = MULTI-TRUNK TREE

DATE:
NO. REVISION:



04/25/2022
Shelly Mitchell

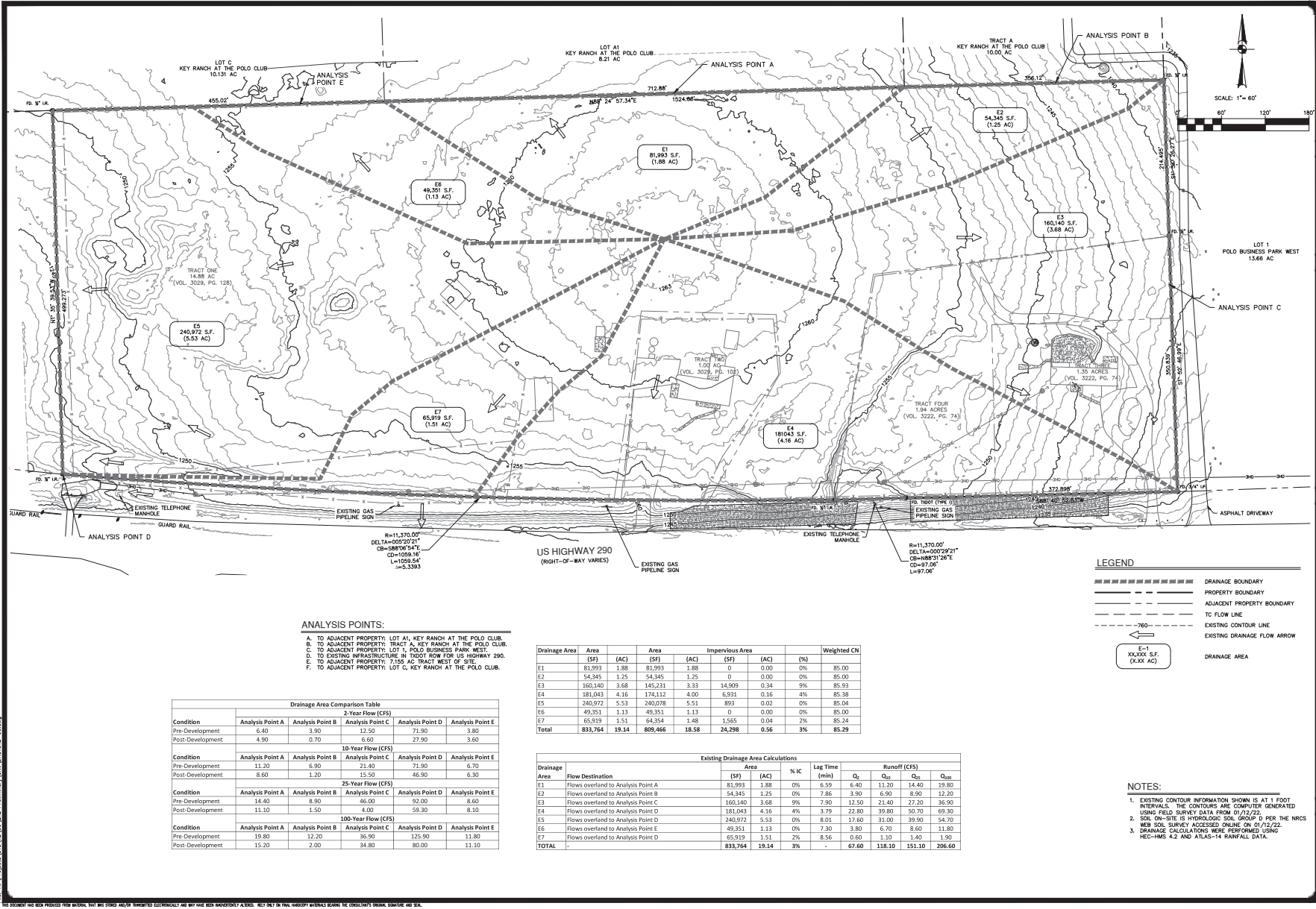


ARIZA DRIPPING SPRINGS MULTIFAMILY
13900 W. US-290, DRIPPING SPRINGS, TEXAS
EXISTING TREE LIST

JOB NO. 51312-00
DATE: FEBRUARY 2022
DESIGNER: JLS
CHECKED: EAL, DRANN, CM
SHEET 04 OF 09







**ANALYSIS POINTS:**  
 A. TO ADJACENT PROPERTY: LOT 1, KEY RANCH AT THE POLO CLUB.  
 B. TO ADJACENT PROPERTY: TRACT A, KEY RANCH AT THE POLO CLUB.  
 C. TO ADJACENT PROPERTY: LOT 1, POLO BUSINESS PARK WEST.  
 D. TO EXISTING INFRASTRUCTURE IN RIGHT-OF-WAY FOR US HIGHWAY 290.  
 E. TO ADJACENT PROPERTY: TRACT WEST OF SITE.  
 F. TO ADJACENT PROPERTY: LOT C, KEY RANCH AT THE POLO CLUB.

Condition	2-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	6.40	3.90	12.50	71.90	3.80
Post-Development	4.90	0.70	6.60	27.90	3.60
Condition	10-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	11.30	6.90	21.40	71.90	6.70
Post-Development	8.60	1.20	15.50	46.90	6.30
Condition	25-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	14.40	8.90	46.00	92.00	8.60
Post-Development	11.10	1.50	4.00	59.30	8.10
Condition	100-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	19.80	12.20	36.90	125.90	11.80
Post-Development	15.30	2.00	34.80	80.00	11.10

Drainage Area	Area		Area		Impervious Area		Weighted CN	
	(SF)	(AC)	(SF)	(AC)	(SF)	(AC)		
E1	81,993	1.88	81,993	1.88	0	0.00	0%	85.00
E2	54,345	1.25	54,345	1.25	0	0.00	0%	85.00
E3	160,140	3.68	145,231	3.33	14,909	0.34	9%	85.93
E4	181,043	4.16	174,112	4.00	6,931	0.16	4%	85.38
E5	240,072	5.53	240,078	5.51	893	0.02	0%	85.04
E6	49,351	1.13	49,351	1.13	0	0.00	0%	85.00
E7	65,919	1.51	64,354	1.48	1,565	0.04	2%	85.24
<b>Total</b>	<b>833,764</b>	<b>19.14</b>	<b>809,466</b>	<b>18.58</b>	<b>24,298</b>	<b>0.56</b>	<b>3%</b>	<b>85.29</b>

Drainage Area	Flow Destination	Area		% IC	Lag Time (min)	Runoff (CFS)			
		(SF)	(AC)			Q <sub>1</sub>	Q <sub>2</sub>	Q <sub>3</sub>	Q <sub>99</sub>
E1	Flows overland to Analysis Point A	81,993	1.88	0%	6.59	6.40	11.30	14.40	19.80
E2	Flows overland to Analysis Point B	54,345	1.25	0%	7.86	3.90	6.90	8.90	12.20
E3	Flows overland to Analysis Point C	160,140	3.68	9%	7.90	12.50	21.40	27.20	36.90
E4	Flows overland to Analysis Point D	181,043	4.16	4%	3.79	22.80	39.80	50.70	69.30
E5	Flows overland to Analysis Point D	240,072	5.53	0%	8.01	17.60	31.00	39.90	54.70
E6	Flows overland to Analysis Point E	49,351	1.13	0%	7.30	3.80	6.70	8.60	11.80
E7	Flows overland to Analysis Point D	65,919	1.51	2%	8.56	0.60	1.10	1.40	1.90
<b>TOTAL</b>		<b>833,764</b>	<b>19.14</b>	<b>3%</b>		<b>67.60</b>	<b>118.10</b>	<b>151.10</b>	<b>206.60</b>

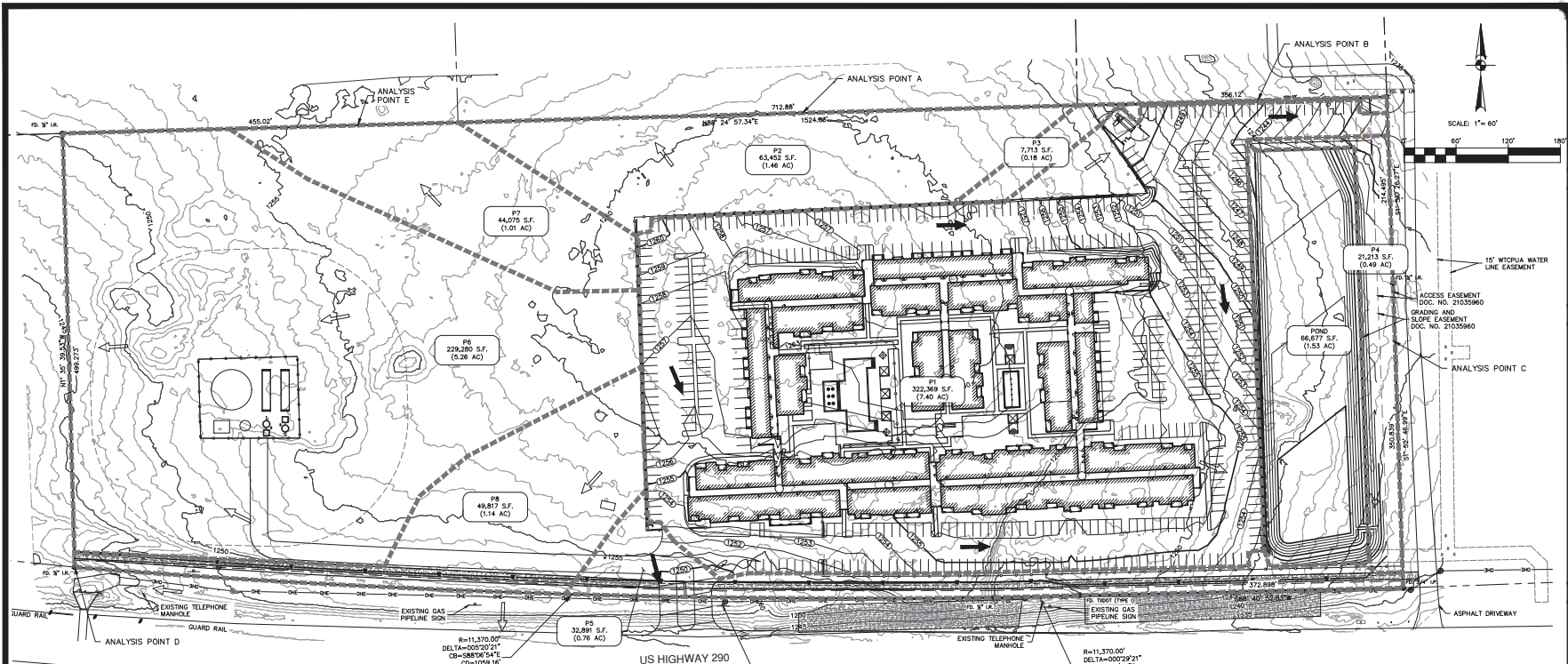
**LEGEND**

- DRAINAGE BOUNDARY
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- TC FLOW LINE
- EXISTING CONTOUR LINE
- EXISTING DRAINAGE FLOW ARROW
- 760
- E-1 (XXX AC)
- DRAINAGE AREA

**NOTES:**  
 1. EXISTING CONTOUR INFORMATION SHOWN IS AT 1 FOOT INTERVALS. THE CONTOURS ARE COMPUTER GENERATED USING FIELD SURVEY DATA FROM 07/12/22.  
 2. SOIL ON-SITE IS HYDROLOGIC SOIL GROUP D PER THE NRCS WEB SOIL SURVEY ACCESSSED ONLINE ON 01/12/22.  
 3. DRAINAGE CALCULATIONS WERE PERFORMED USING HEC-HMS 4.2 AND ATLAS-14 RAINFALL DATA.

DATE: \_\_\_\_\_  
 NO. REVISION: \_\_\_\_\_  
  
 Shelly Mitchell  
**PAPE-DAWSON ENGINEERS**  
 13900 W. US-290, DRIPPING SPRINGS, TEXAS  
 EXISTING DRAINAGE AREA MAP  
 JOB NO.: 51312-00  
 DATE: FEBRUARY 2022  
 DESIGNER: MS  
 CHECKED: EAL, DRAM, CM  
 SHEET: 07 OF 09





DATE: \_\_\_\_\_

NO. REVISION: \_\_\_\_\_

04/25/2022

Shelly Mitchell

**PAPE-DAWSON ENGINEERS**

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS  
 10071 N. MOORE EXPY., BLDG. 3, STE. 200 | AUSTIN, TX 78759 | 512-842-7171  
 TYPICAL PROFESSIONAL SEAL & SIGNATURE REQUIREMENTS (4/1/2019)

ARIZA DRIPPING SPRINGS MUTIFAMILY  
 13900 W. US-290, DRIPPING SPRINGS, TEXAS

PROPOSED DRAINAGE AREA MAP

JOB NO. 51312-00  
 DATE: FEBRUARY 2022  
 DESIGNER: HAO  
 CHECKED: EAL, DRAWN: CM

SHEET 08 OF 09

**LEGEND**

- DRAINAGE BOUNDARY
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- 760- EXISTING CONTOUR LINE
- PROPOSED CONTOURS
- ← EXISTING DRAINAGE FLOW ARROW
- XX,XXX S.F. (XXX AC) DRAINAGE AREA

- NOTES:**
- EXISTING CONTOUR INFORMATION SHOWN IS AT 1 FOOT INTERVALS. THE CONTOURS ARE COMPUTER GENERATED USING FIELD SURVEY DATA FROM JANUARY 2022.
  - EXISTING RUNOFF CALCULATIONS PERFORMED USING HEC-HMS 4.2 AND ATLAS 14 RAINFALL DATA.
  - SEE SHEET 09 FOR THE PROPOSED POND ON-SITE.

Drainage Area	Area		Pervious Area		Impervious Area		Weighted CN
	(SF)	(AC)	(SF)	(AC)	(SF)	(AC)	
P1	322,369	7.40	53,563	1.23	268,807	6.17	83%
P2	63,452	1.46	63,452	1.46	0	0.00	0%
P3	7,713	0.18	7,713	0.18	0	0.00	0%
P4	21,213	0.49	21,213	0.49	0	0.00	0%
P5	32,891	0.75	13,254	0.30	19,637	0.45	60%
P6	229,280	5.26	216,767	4.98	12,513	0.29	9%
P7	44,075	1.01	44,075	1.01	0	0.00	0%
P8	49,817	1.14	45,289	1.04	4,528	0.10	9%
POND	66,677	1.53	66,678	1.53	0	0.00	0%
<b>TOTAL</b>	<b>837,487</b>	<b>19.23</b>	<b>532,004</b>	<b>12.21</b>	<b>305,484</b>	<b>7.01</b>	<b>36%</b>

**Drainage Area Comparison Table**

Condition	2-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	4.90	3.90	13.50	27.90	3.90
Post-Development	4.90	0.70	6.60	27.90	3.60

Condition	10-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	11.20	6.90	21.40	71.90	6.70
Post-Development	8.60	1.20	15.50	46.90	6.30

Condition	25-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	14.40	8.90	46.00	92.00	8.60
Post-Development	11.10	1.50	4.00	59.30	8.10

Condition	100-Year Flow (CFS)				
	Analysis Point A	Analysis Point B	Analysis Point C	Analysis Point D	Analysis Point E
Pre-Development	19.80	12.30	36.90	125.90	11.80
Post-Development	15.20	2.00	34.80	80.00	11.10

**Proposed Drainage Area Calculations**

Drainage Area	Flow Destination	Area			Lag Time (min)	Runoff (CFS)			
		(SF)	(AC)	% IC		Q <sub>1</sub>	Q <sub>2</sub>	Q <sub>3</sub>	Q <sub>100</sub>
P1	Flows through proposed storm system to Detention Pond	322,369	7.40	83%	5.58	35.30	55.00	67.20	88.20
P2	Flows overland to Analysis Point A	63,452	1.46	0%	7.20	4.90	8.60	11.10	15.20
P3	Flows overland to Analysis Point B	7,713	0.18	0%	6.76	0.70	1.20	1.50	2.00
P4	Flows overland to Analysis Point C	21,213	0.49	0%	6.42	1.80	3.10	4.00	5.50
P5	Flows overland to Analysis Point D	32,891	0.75	60%	5.77	8.60	13.40	16.50	21.70
P6	Flows overland to Analysis Point E	229,280	5.26	9%	6.90	18.40	31.90	40.70	55.50
P7	Flows overland to Analysis Point A	44,075	1.01	0%	6.30	3.60	6.30	8.10	11.10
P8	Flows overland to Analysis Point D	49,817	1.14	9%	6.24	0.90	1.60	2.10	2.80
POND	Outfalls to Analysis Point C	66,677	1.53	0%	6.24	4.80	12.40	18.80	29.30
<b>TOTAL</b>	-	<b>837,487</b>	<b>19.23</b>	<b>36%</b>	-	<b>43.70</b>	<b>78.50</b>	<b>102.80</b>	<b>143.10</b>

Date: 04/25/2022 10:52:54 AM File: 13900 W. US-290.dwg User: hhaas  
 Plot: H:\Projects\2022\13900 W. US-290\2022\13900 W. US-290.dwg





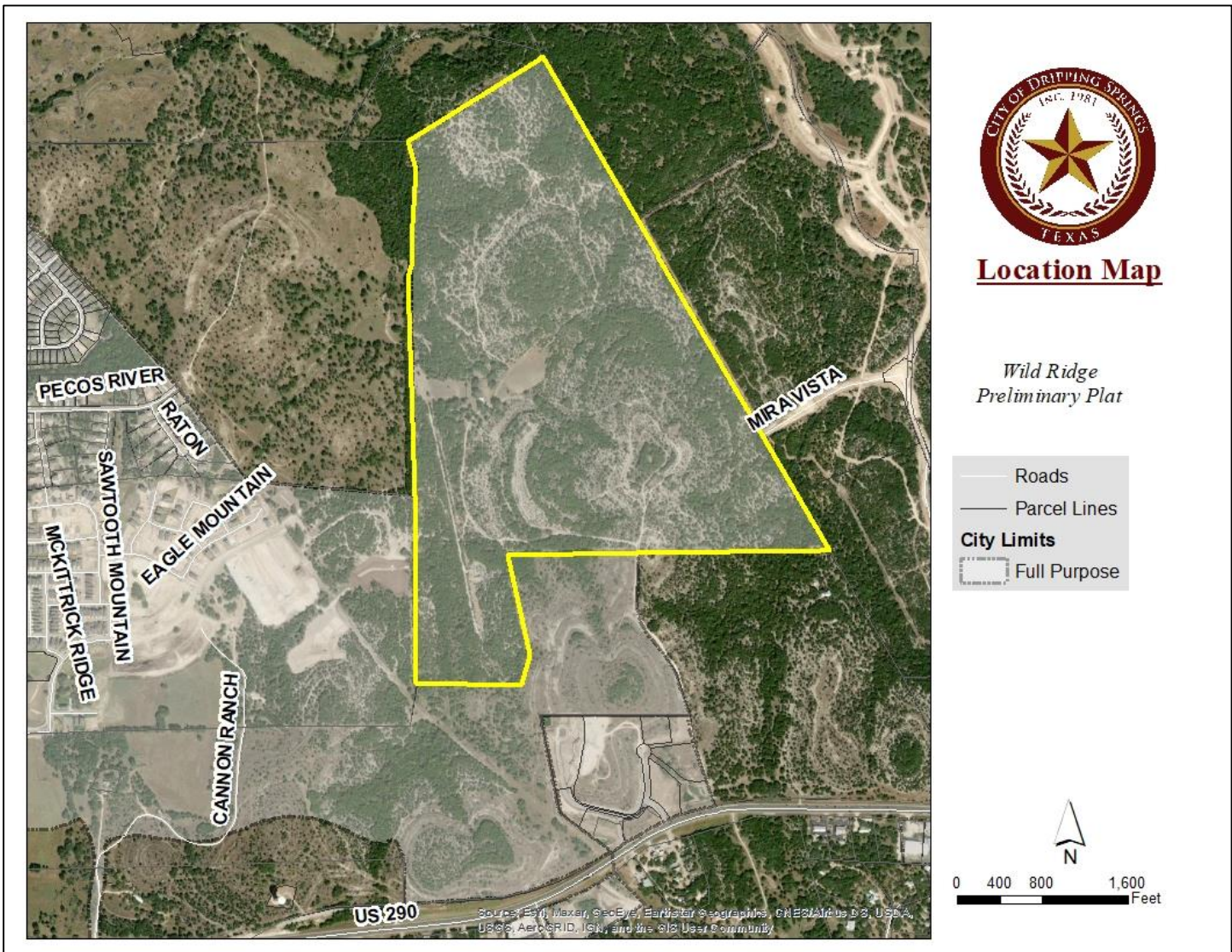
# Planning and Zoning Commission Planning Department Staff Report

Item 4.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0008  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

**Project Name:** Wild Ridge Preliminary Plat (PDD #13)  
**Property Location:** E US 290  
**Legal Description:** 283.4 acres, out of the I.V. Davis Jr. and Edward W. Brown surveys  
**Applicant:** Richard Pham, P.E., Doucet & Associate, Inc.  
**Property Owner:** Rob Archer, Meritage Homes of Texas, LLC  
**Staff recommendation:** Denial of the Preliminary Plat based on outstanding comments



## Planning Department Staff Report

### Overview

This preliminary plat consists of 863 single-family lots and one commercial lot.

### Access and Transportation

This preliminary plat includes the extension of an arterial from US 290 through the development.

### Site Information

**Location:** US 290 1.25 miles east of Ranch Road 12

**Zoning Designation:** PDD #13

### Property History

The Planned Development District was approved August 2021.

### Recommendation

Denial to address comments.

### Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



Date: May 20, 2022

Meranda Perkins  
 Doucet  
 7401B Hwy. 71 W., Ste. 160  
 Austin TX 78750  
 mperkins@doucetengineers.com

Permit Number: SUB2022-0008  
 Project Name: Wild Ridge Preliminary Plat  
 Project Address: E US 290, Dripping Springs, TX 78620

### **City Planner Comments**

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email [tcarpenter@cityofdrippingsprings.com](mailto:tcarpenter@cityofdrippingsprings.com).

1. Planning approval pending Parks Master Plan approval. (PDD 2.5)

### **Fire Marshal Comments**

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email [dpolk@northhaysfire.com](mailto:dpolk@northhaysfire.com).

2. Please note the following:
  - i. D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads.
  - ii. D107.2 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

### **Engineer/Public Works Comments**

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email [cgilpin@cityofdrippingsprings.com](mailto:cgilpin@cityofdrippingsprings.com).

3. **Comment 01: Provide schematic roundabout design layouts to determine adequacy of ROW**

dedication. [Preliminary Plat Information Requirements]

Response 01: Roundabout schematic is provided on the Preliminary Plat.

Comment 02: Roundabout geometry are under review by City Engineering and Transportation.

4. Comment 01: Show utility assignments on the roadway sections. [Preliminary Plat Information Requirements]

Response 01: Utility assignments are provided on the Typical Street Sections exhibit.

Comment 02: City standard utility assignments are attached. Please review and update your utility assignments.

5. Comment 01: Preliminary Plat – Schematically show left turn lane bays at all median cuts. [Preliminary Plat Information Requirements]

Response 01: Left turn bay schematics are shown on each applicable sheet of the Preliminary Plat.

Comment 02: Provide a left turn bay for the Northbound turn into Kane Road.

6. Comment 01: Delineate all local floodplains [Hays County Development Regulations 3.07(B)]

Response 01: The 100-yr floodplain is provided with a hatch and callout on each applicable sheet of the Preliminary Plat.

Comment 02: In addition to the FEMA floodplain delineate all local floodplains [Hays County Development Regulations 3.07(B)]

7. Comment 01: Preliminary Plat Sheet 2 & 3 – It appears that Wildridge Blvd encroaches on a WQBZ. Please realign or apply for a variance. [WQO 22.05.017]

Response 01: A variance is requested as part of this submittal.

Comment 02: Variance is under review

8. Comment 01: Preliminary Plat Sheet 5 – It appears that the east/west arterial encroaches on a WQBZ. Please realign or apply for a variance. [WQO 22.05.017]

Response 01: A variance is requested as part of this submittal.

Comment 02: Variance is under review



# CITY OF DRIPPING SPRINGS

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

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Item 4.

## PRELIMINARY PLAT APPLICATION

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

### MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: 5/19/2021

DATE: 1/27/2022

NOT SCHEDULED

NOT SCHEDULED

### CONTACT INFORMATION

APPLICANT NAME Richard Pham, P.E.

COMPANY Doucet & Associates, Inc.

STREET ADDRESS 10800 Pecan Park Blvd., Suite 140

CITY Austin STATE TX ZIP CODE 78750

PHONE 512-806-0307 EMAIL rpham@doucetengineers.com

OWNER NAME Rob Archer

COMPANY Meritage Homes of Texas, LLC

STREET ADDRESS 8920 Business Park Drive, Suite 350

CITY Austin STATE TX ZIP CODE 78759

PHONE 512-615-6432 EMAIL rob.archer@meritagehomes.com


<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	Meritage Homes of Texas, LLC
PROPERTY ADDRESS	E US 290, Dripping Springs, TX 78620
CURRENT LEGAL DESCRIPTION	Being a portion of 291-1/3 acre tract, described to Cynosure Corporation, recorded in Vol. 258, Page 123 of the deed records.
TAX ID #	R19906, R19907, R12923, R12924
LOCATED IN	<input checked="" type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	283.4 acres
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	#1 and #6
ZONING/PDD/OVERLAY	PDD #13
EXISTING ROAD FRONTAGE	<input checked="" type="checkbox"/> Private Name: <u>N/A</u> <input type="checkbox"/> State Name: _____ <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input type="checkbox"/> Yes (see attached) <input checked="" type="checkbox"/> Not Applicable Development Agreement Name: _____

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO



<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Wild Ridge
TOTAL ACREAGE OF DEVELOPMENT	283.4 acres
TOTAL NUMBER OF LOTS	895
AVERAGE SIZE OF LOTS	255 - 40' lots, 84 - 45' lots, 321 - 50' lots, 203 - 60' lots
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>863</u> COMMERCIAL: <u>1</u> INDUSTRIAL: <u>0</u>
ACREAGE PER USE	RESIDENTIAL: <u>139.1 ac</u> COMMERCIAL: <u>3.4 ac</u> INDUSTRIAL: <u>0</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>39,764</u> PRIVATE: <u>0</u>
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO   <input checked="" type="checkbox"/> N/A</p>	

COMMENTS: \_\_\_\_\_

TITLE: Richard Pham, P.E. SIGNATURE: 

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): PEC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Frontier Communications

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): WTCPUA

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

*See Wastewater Agreement.*

**GAS PROVIDER NAME** (if applicable): Texas Gas Service

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Christopher A. Reid, P.E., Doucet & Associates, Inc.

Applicant Name

*C.A. Reid*

8/05/2020

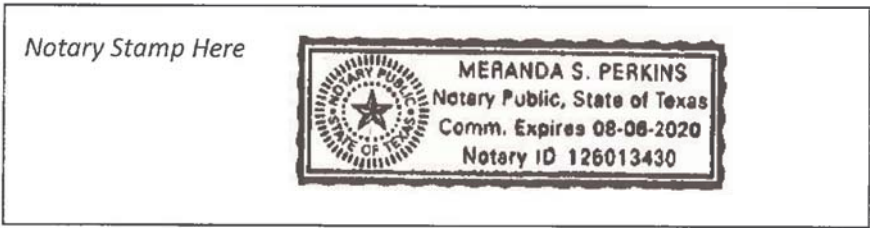
Applicant Signature

*Meranda S. Perkins*

Date  
8/05/2020

Notary

Date



Meritage Homes of Texas, LLC

Property Owner Name

*R. H. [Signature]* FOR MERITAGE

8-10-2020

Property Owner Signature


HOMES OF TEXAS, LLC

Date

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All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: Richard Pham, P.E.  Date: 2/18/2022

**For projects within the ETJ**, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

**PRELIMINARY PLAT CHECKLIST**  
**Subdivision Ordinance, Section 4**

N/A

N/A

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD No. 6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD No. 6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (1 Copy required – 11 x 17)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Service Provider “Will Serve” Letters
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,) <b>See TIA.</b>
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 addressing approval (if applicable)

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	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkland Dedication Submittal (narrative, fees)
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
N/A	<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit <i>(if applicable)</i>
N/A	<input type="checkbox"/>	<input type="checkbox"/>	Hays Trinity Groundwater Conservation District approval of water well <i>(if applicable)</i>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
<b>PRELIMINARY PLAT INFORMATION REQUIREMENTS</b>			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> </ul>

		<ul style="list-style-type: none"> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and</li> <li>- Ravines; and</li> <li>- Bridges; and</li> <li>- Culverts; and</li> <li>- Existing structures; and</li> <li>- Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and</li> <li>- Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure (including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated <b>See report.</b></p>



<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares. <b>See report.</b></p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Existing zoning of the subject property and all adjacent properties if within the city limits.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer <b>See exhibits.</b></p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor’s certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair’s absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>If any amount of surface water is to be used by the subject property, the Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the</p>

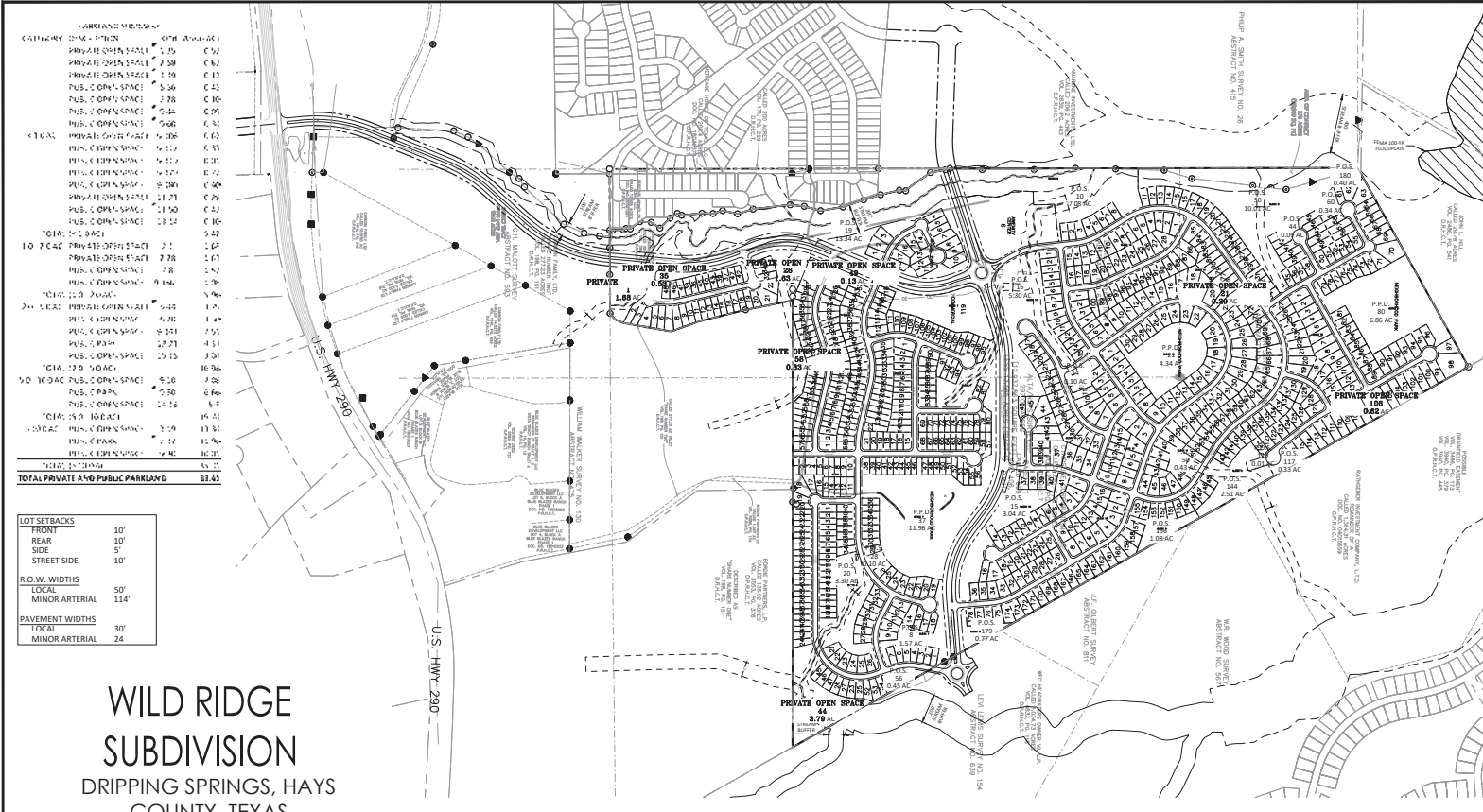
	project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).
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**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	Per PDD, outdoor lighting will be constructed in accordance to the City's Outdoor Lighting Ordinance.
Parkland Dedication, Article 28.03	Per PDD, the development is required to provide 41.74 acres of parkland. Provided parkland exceeds the minimum requirement. See Preliminary Plat and Master Parks and Trails Plan for Site Data Table and Parkland Summary.
Landscaping and Tree Preservation, Article 28.06	Per PDD, cash-in-lieu fee required for disturbed trees is \$1,410,000. With 860 lots consisting of two 3-inch caliper size trees at \$685 per tree, the total lot credit is \$1,178,200. With 237 4-inch caliper size trees located along the boulevards and amenity center at \$1,000 per tree for a total credit of \$237,000. The combined total credit is \$1,415,200 which exceeds the minimum total cost per acre of disturbance.

<p>Subdivision, 28.02, Exhibit A</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Public and private improvements are in conformance with the approved PDD. Additionally, a Contributing Zone Plan Application will be submitted to TCEQ for review of water quality treatment for proposed development.</p>
<p>Zoning, Article 30.02, Exhibit A</p>	<p>Proposed use is in conformance with the approved PDD.</p>



TOTAL PRIVATE AND PUBLIC PARKLAND	
Private Open Space	83.43
Public Open Space	1.57
<b>Total</b>	<b>85.00</b>

TOTAL PRIVATE AND PUBLIC PARKLAND	
Private Open Space	83.43
Public Open Space	1.57
<b>Total</b>	<b>85.00</b>

LOT SETBACKS	
FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

R.O.W. WIDTHS	
LOCAL	50'
MINOR ARTERIAL	114'

PAVEMENT WIDTHS	
LOCAL	30'
MINOR ARTERIAL	24'

# WILD RIDGE SUBDIVISION

## DRIPPING SPRINGS, HAYS COUNTY, TEXAS

**OWNER/DEVELOPER:** MERITAGE HOMES  
8920 BUSINESS PARK DRIVE, SUITE 380  
AUSTIN, TEXAS 78759  
(512) 883-8674

**CONTACT:** ELLIOTT JONES, DIVISION VICE PRESIDENT

**ENGINEER:** DOUCET & ASSOCIATES  
7801 B HWY. 71 WEST, SUITE 180  
AUSTIN, TEXAS 78723  
(512) 583-2600

**CONTACT:** RICHARD PHAM, P.E.

**LAND SURVEY:** DOUCET & ASSOCIATES, INC.  
7801 B HWY. 71 WEST, SUITE 180  
AUSTIN, TEXAS 78723  
(512) 583-2600

**CONTACT:** DILLON FUGATE, R.P.L.S.

**UTILITY PROVIDERS:** WATER: WEST TRAVIS COUNTY P.U.A.  
WASTEWATER: CITY OF DRIPPING SPRINGS  
ELECTRIC: FIDELMANS ELECTRICAL COOPERATIVE  
TELEPHONE: FRONTIER COMMUNICATIONS  
GAS: TEXAS GAS SERVICE

**JURISDICTION:** CITY OF DRIPPING SPRINGS

**LEGAL DESCRIPTION:** BEING A 283.47 ACRES [124,346,088 SQUARE FEET] TRACT OF LAND OUT OF THE DV. DAVIS, JR. PREEMPTION SURVEY, ABSTRACT NUMBER 673, AND THE EDWARD MC BROWN SURVEY NUMBER 126, ABSTRACT NUMBER 44, HAYS COUNTY, TEXAS, SAID 283.47 ACRES BEING A PORTION OF A CALLED 297-1/3 ACRE TRACT, DESCRIBED TO CYNIGURE CORPORATION, AS RECORDED IN VOLUME 258, PAGE 123 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS [TRACT], AND BEING OUT OF A CALLED 999 ACRE TRACT DESCRIBED IN VOLUME 106, PAGE 31 [TRACT].

**SITE AREA:** 283.4 ACRES

**WATERSHED:** THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

**FLOODPLAIN:** ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP FOR HAYS COUNTY, TEXAS, COMMUNITY PANEL NUMBER 4809920106F AND 4809920106G, DATED SEPTEMBER 2, 2003, NO PORTIONS OF THIS SUBDIVISION ARE LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.

**SUBMITTED BY:** RICHARD PHAM, P.E.

**ORIGINAL SUBMITTAL DATE:** FEBRUARY 16, 2022

PLAT	ACRES	FRONT	REAR	SIDE	STREET SIDE
114	25.131	1	1	1	1
115	26.135	1	1	1	1
116	26.135	1	1	1	1
117	26.135	1	1	1	1
118	26.135	1	1	1	1
119	26.135	1	1	1	1
120	26.135	1	1	1	1
121	26.135	1	1	1	1
122	26.135	1	1	1	1
123	26.135	1	1	1	1
124	26.135	1	1	1	1
125	26.135	1	1	1	1
126	26.135	1	1	1	1
127	26.135	1	1	1	1
128	26.135	1	1	1	1
129	26.135	1	1	1	1
130	26.135	1	1	1	1
131	26.135	1	1	1	1
132	26.135	1	1	1	1
133	26.135	1	1	1	1
134	26.135	1	1	1	1
135	26.135	1	1	1	1
136	26.135	1	1	1	1
137	26.135	1	1	1	1
138	26.135	1	1	1	1
139	26.135	1	1	1	1
140	26.135	1	1	1	1
141	26.135	1	1	1	1
142	26.135	1	1	1	1
143	26.135	1	1	1	1
144	26.135	1	1	1	1
145	26.135	1	1	1	1
146	26.135	1	1	1	1
147	26.135	1	1	1	1
148	26.135	1	1	1	1
149	26.135	1	1	1	1
150	26.135	1	1	1	1
151	26.135	1	1	1	1
152	26.135	1	1	1	1
153	26.135	1	1	1	1
154	26.135	1	1	1	1
155	26.135	1	1	1	1
156	26.135	1	1	1	1
157	26.135	1	1	1	1
158	26.135	1	1	1	1
159	26.135	1	1	1	1
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161	26.135	1	1	1	1
162	26.135	1	1	1	1
163	26.135	1	1	1	1
164	26.135	1	1	1	1
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166	26.135	1	1	1	1
167	26.135	1	1	1	1
168	26.135	1	1	1	1
169	26.135	1	1	1	1
170	26.135	1	1	1	1
171	26.135	1	1	1	1
172	26.135	1	1	1	1
173	26.135	1	1	1	1
174	26.135	1	1	1	1
175	26.135	1	1	1	1
176	26.135	1	1	1	1
177	26.135	1	1	1	1
178	26.135	1	1	1	1
179	26.135	1	1	1	1
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181	26.135	1	1	1	1
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184	26.135	1	1	1	1
185	26.135	1	1	1	1
186	26.135	1	1	1	1
187	26.135	1	1	1	1
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195	26.135	1	1	1	1
196	26.135	1	1	1	1
197	26.135	1	1	1	1
198	26.135	1	1	1	1
199	26.135	1	1	1	1
200	26.135	1	1	1	1

**NOTES:**

- ALL PROPOSED MINOR ARTERIAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 5' WIDE CONCRETE SIDEWALK ALONG ONE SIDE OF THE STREET, AND A 3' WIDE SHARED USE PATH ON THE OTHER.
- ALL PROPOSED LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 5' WIDE CONCRETE SIDEWALK ALONG BOTH SIDES OF THE STREET.
- OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS AND DRAINAGE EASEMENTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- UTILITIES WILL BE PROVIDED BY THE FOLLOWING:  
WATER: WEST TRAVIS COUNTY P.U.A.  
WASTEWATER: CITY OF DRIPPING SPRINGS  
ELECTRICITY: P.E.C.  
GAS: TEXAS GAS SERVICE
- FINAL DETERMINATION FOR EASEMENTS TO BE DETERMINED WITH FINAL PLAT AND CONSTRUCTION PLANS.
- STORM WATER SHALL BE CONVEYED VIA DRAINAGE EASEMENTS.
- DESIGN STANDARDS PER CITY OF DRIPPING SPRINGS STANDARDS AND P.O.D #13 (ORDINANCE NO. 2021-31).
- A 10' PUBLIC UTILITY EASEMENT ADJACENT TO ALL PUBLIC STREETS IS HEREBY DEDICATED.
- NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING, SHALL BE ALLOWED IN A DRAINAGE EASEMENT.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION AND MAINTENANCE.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
- ALL PHONE TELEPHONE AND CABLE TELEVISION UTILITY LINES AND ALL ELECTRIC UTILITY SERVICE LINES AND WIRES SHALL BE PLACED UNDERGROUND.
- ALL ELECTRICAL, CABLE TELEVISION, AND TELEPHONE SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY FOR UNDERGROUND INSTALLATIONS IN SUBDIVISIONS SHALL BE P.O.D MOUNTED OR PLACED UNDERGROUND IN A PUBLIC UTILITY EASEMENT.
- A PROPERTY OWNERS ASSOCIATION WILL BE CREATED BY RESTRICTIVE COVENANTS AND MUST BE SUBMITTED TO THE CITY AT THE TIME OF FINAL PLAT.
- STREET LIGHTING WILL COMPLY WITH LIGHTING ORDINANCE (ORDO 3-11).
- CONSTRUCTION ACCESS SHALL BE VIA US HWY 290.

STATE OF TEXAS  
COUNTY OF HAYS  
CITY OF DRIPPING SPRINGS

THIS PRELIMINARY PLAT, WILD RIDGE SUBDIVISION, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY APPROVED.

APPROVED, THIS DAY OF \_\_\_\_\_, 2022.

BY: \_\_\_\_\_

ATTEST: \_\_\_\_\_

ANDREA CUNNINGHAM, CITY SECRETARY

PLAT	ACRES	FRONT	REAR	SIDE	STREET SIDE
201	26.135	1	1	1	1
202	26.135	1	1	1	1
203	26.135	1	1	1	1
204	26.135	1	1	1	1
205	26.135	1	1	1	1
206	26.135	1	1	1	1
207	26.135	1	1	1	1
208	26.135	1	1	1	1
209	26.135	1	1	1	1
210	26.135	1	1	1	1
211	26.135	1	1	1	1
212	26.135	1	1	1	1
213	26.135	1	1	1	1
214	26.135	1	1	1	1
215	26.135	1	1	1	1
216	26.135	1	1	1	1
217	26.135	1	1	1	1
218	26.135	1	1	1	1
219	26.135	1	1	1	1
220	26.135	1	1	1	1
221	26.135	1	1	1	1
222	26.135	1	1	1	1
223	26.135	1	1	1	1
224	26.135	1	1	1	1
225	26.135	1	1	1	1
226	26.135	1	1	1	1
227	26.135	1	1	1	1
228	26.135	1	1	1	1
229	26.135	1	1	1	1
230	26.135	1	1	1	1
231	26.135	1	1	1	1
232	26.135	1	1	1	1
233	26.135	1	1	1	1
234	26.135	1	1	1	1
235	26.135	1	1	1	1
236	26.135	1	1	1	1
237	26.135	1	1	1	1
238	26.135	1	1	1	1
239	26.135	1	1	1	1
240	26.135	1	1	1	1
241	26.135	1	1	1	1
242	26.135	1	1	1	1
243	26.135	1	1	1	1
244	26.135	1	1	1	1
245	26.135	1	1	1	1
246	26.135	1	1	1	1
247	26.135	1	1	1	1
248	26.135	1	1	1	1
249	26.135	1	1	1	1
250	26.135	1	1	1	1

**DOUCET & ASSOCIATES, INC.**  
Civil Engineers / Estimators / Geographers  
1403 B. Highway 71 W. Ste. 110  
Austin, TX 78723, Tel: (512) 583-2600  
www.doucetandassociates.com  
TXS License Number: 3937  
EPRLS Firm Number: 1010890

OVERALL PRELIMINARY PLAT

MERITAGE HOMES, LLC.  
WILD RIDGE SUBDIVISION  
PRELIMINARY PLAT  
DRIPPING SPRINGS, HAYS COUNTY, TX 78620

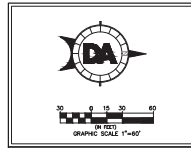
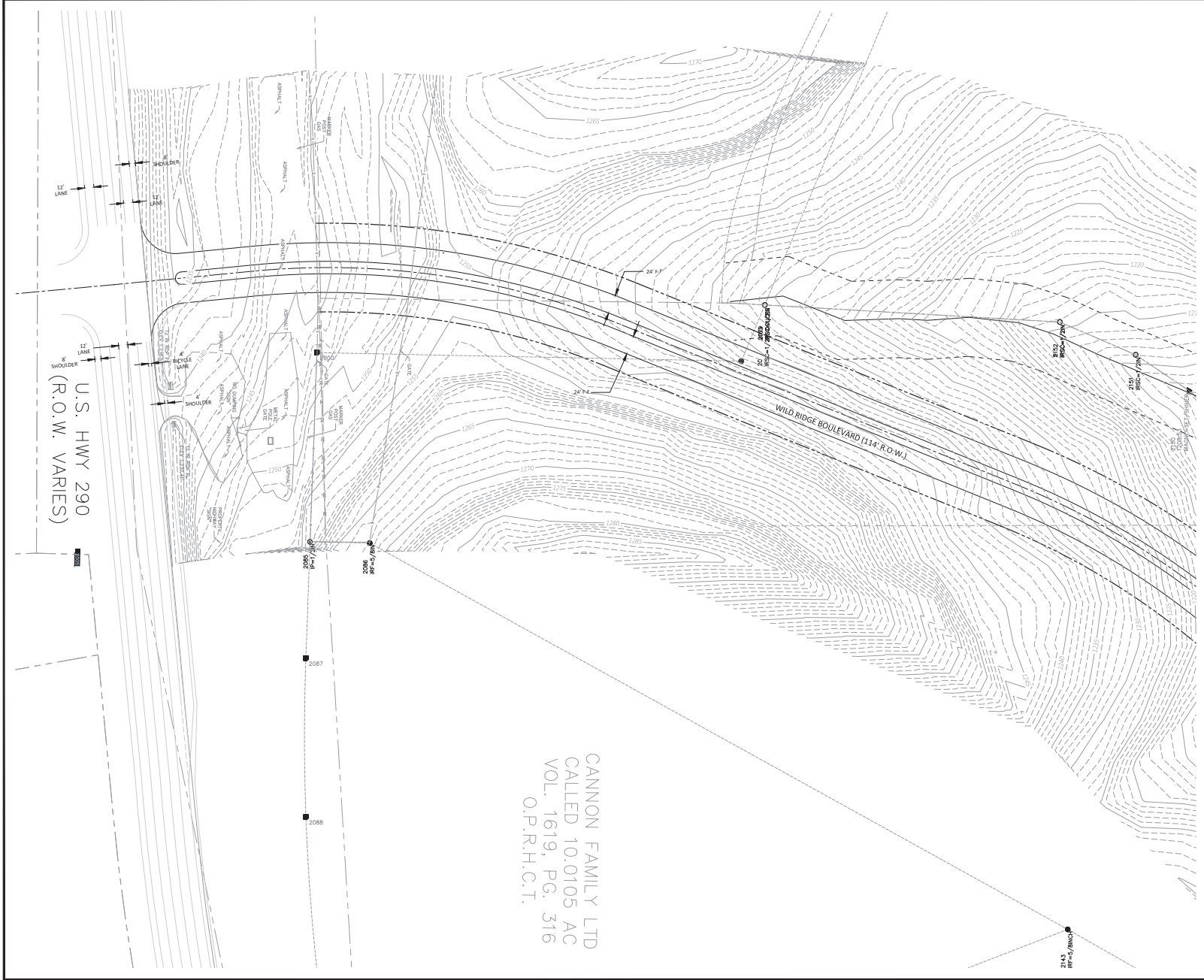
4/27/2022

Designed: RP  
Drawn: EGR/AD  
Reviewed: CB  
Date:

SHEET  
**1**

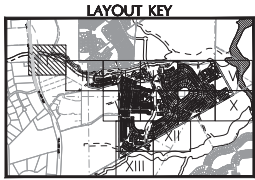
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1691-005

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User: richardpham  
Date: 4/27/2022 11:10  
Plot: 1691-005-01.dwg  
Plot Date: 4/27/2022 11:10



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

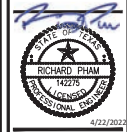
CANNON FAMILY LTD  
 CALLED 10.0105 AC  
 VOL. 1619, PG. 316  
 O.P.R.H.C.T.

U.S. HWY 290  
 SHOULDER  
 (R.O.W. VARIES)

**DOUCET**  
 Civil Engineers / Architects / Geospatial  
 7403 S. Highway 71 W. Ste. 110  
 Austin, TX 78732, Tel: (512) 283-2400  
 Email: info@doucet.com  
 TRS Firm Number: 7937  
 TP&ES Firm Number: 1010800

PRELIMINARY PLAT I

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620

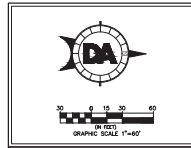
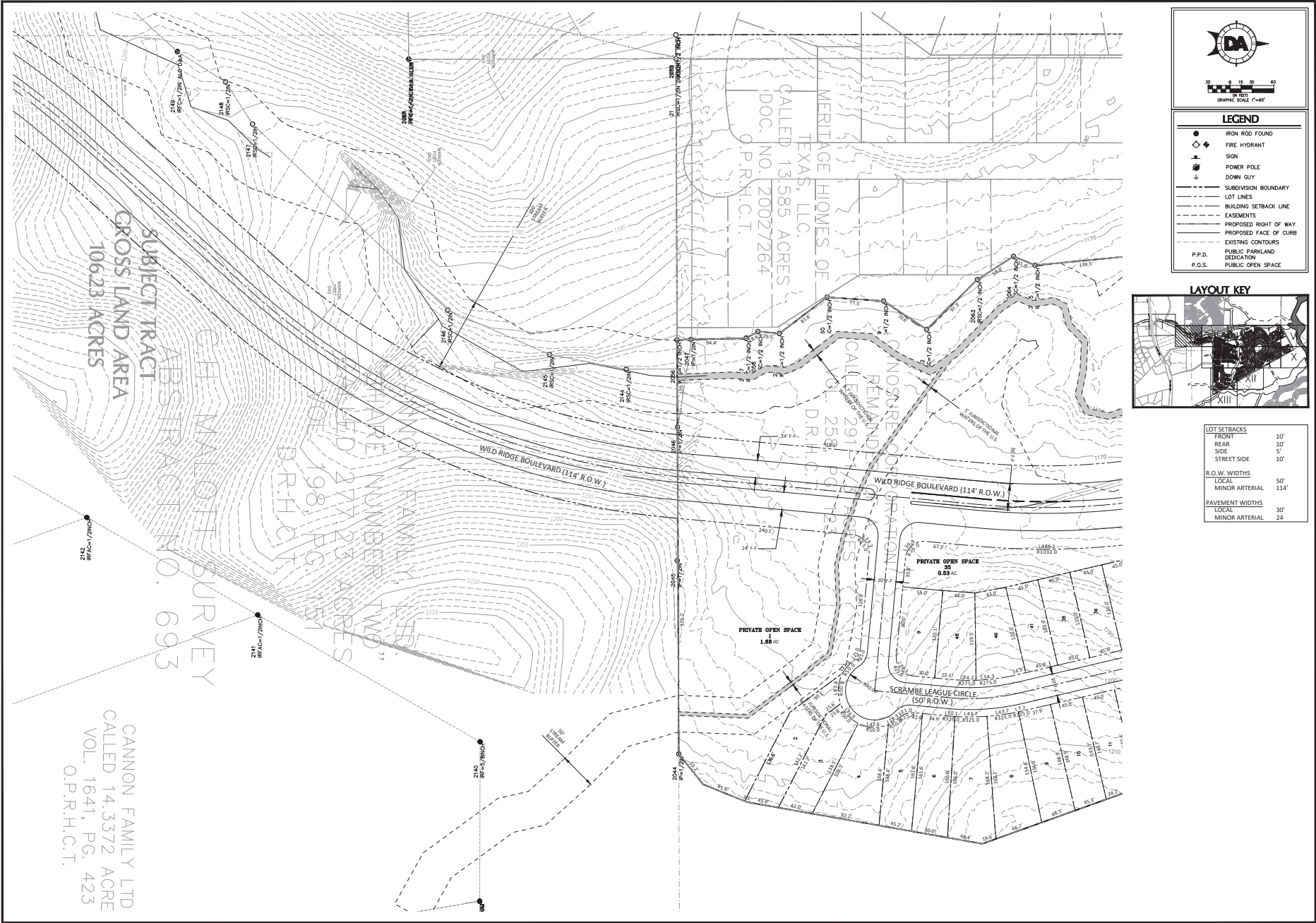


Designed by	RP
Drawn by	ES/JRW/AD
Reviewed by	CR
Date	

SHEET  
**2**

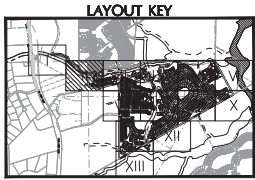
Project No.:  
 1691-005

Drawing: C:\p\work\1691-005\1691-005-001.dwg  
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 Date: 04/22/2023 11:30  
 Plot: 04/22/2023 11:33



**LEGEND**

- IRON ROD FOUND
- FIRE HYDRANT
- ▲ SIGN
- ⊕ POWER POLE
- ⬇ DOWN GUY
- - - SUBDIVISION BOUNDARY
- LOT LINES
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- - - EXISTING CONTOURS
- - - P.P.D. PUBLIC PARKLAND DEDICATION
- - - P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL MINOR ARTERIAL	50'
LOCAL	114'

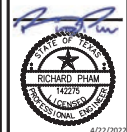
**PAVEMENT WIDTHS**

LOCAL	30'
LOCAL MINOR ARTERIAL	24'

**DOUCET**  
 Civil Engineers / Land Surveyors / Geospatial  
 7403 S. Highway 71 W. Ste. 110  
 Austin, TX 78735, Tel: (512) 283-2400  
 Email: doucet@doCKET.com  
 1842 Firm Number: 7397  
 1845 Firm Number: 1010880

PRELIMINARY PLAT II

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620



Designed: RP  
 Drawn: EG/JW/AD  
 Reviewed: CR  
 Date: 4/12/2023

SHEET  
**3**

Project No.:  
 1691-005

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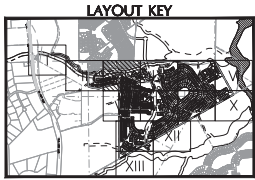
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30' 15' 0' 15' 0'

GRAPHIC SCALE 1"=40'

**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**

Civil Engineers / Land Surveyors / Geospatial

1403 S. Highway 71 W. Ste. 110  
Austin, TX 78725, Tel: (512) 583-2400  
www.doucet.com  
EPA Firm Number: 101890

**PRELIMINARY PLAT III**

**MERITAGE HOMES, LLC.**  
WILD RIDGE SUBDIVISION  
PRELIMINARY PLAT  
DRIPPING SPRINGS, HAYS COUNTY, TX 78620

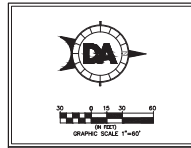
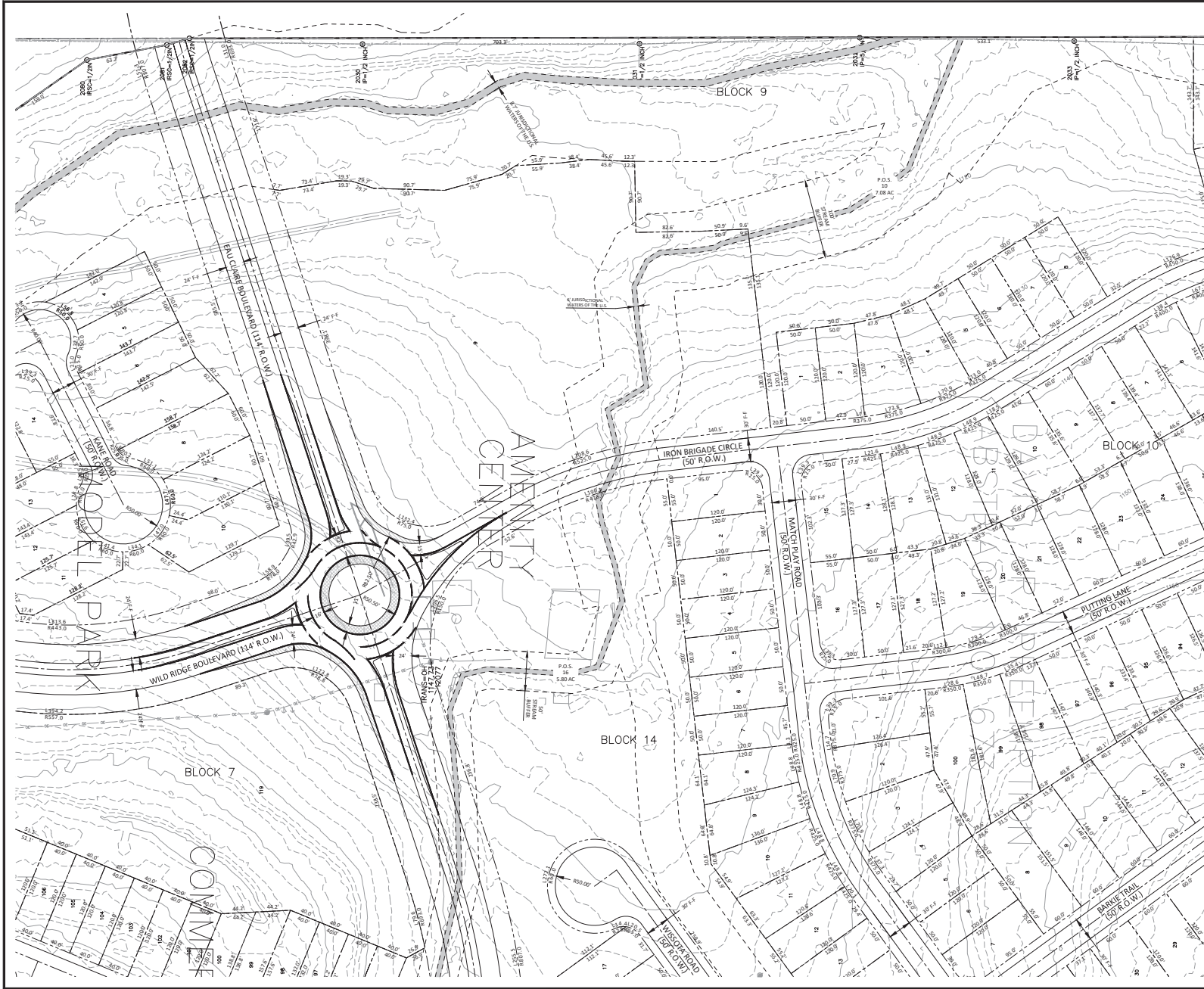


Designed: RP  
Drawn: EQJW/AD  
Reviewed: CR  
Date:

SHEET  
**4**

Project No.:  
1691-005

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Date Plotted: Aug 22, 2013  
User: EQJW  
Plot Device: HPGL  
Plot Date: Aug 22, 2013 10:51 AM



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⌵ DOWN GUY
- - - SUBDIVISION BOUNDARY
- - - LOT LINES
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- - - EXISTING CONTOURS
- - - EXISTING PARKLAND DEDICATION
- P.P.D. PUBLIC OPEN SPACE
- P.O.S. PUBLIC OPEN SPACE

**LAYOUT KEY**



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

Drawing: C:\pwworking\meritage\plm\1691216\1691216.dwg  
 User: RICHARD PHAM  
 Date: 04/22/2023 11:00  
 Plot: 1691216.dwg  
 Plot Date: 04/22/2023 11:00

**DOUCET**  
 Civil Engineers / Estimators / Geographers  
 1403 S. Highway 71 W. Ste. 110  
 Austin, TX 78752, Tel: (512) 283-2400  
 Email: doucet@aol.com  
 EITEL Firm Number: 1937  
 EITEL Firm Number: 1010800

PRELIMINARY PLAT IV

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620

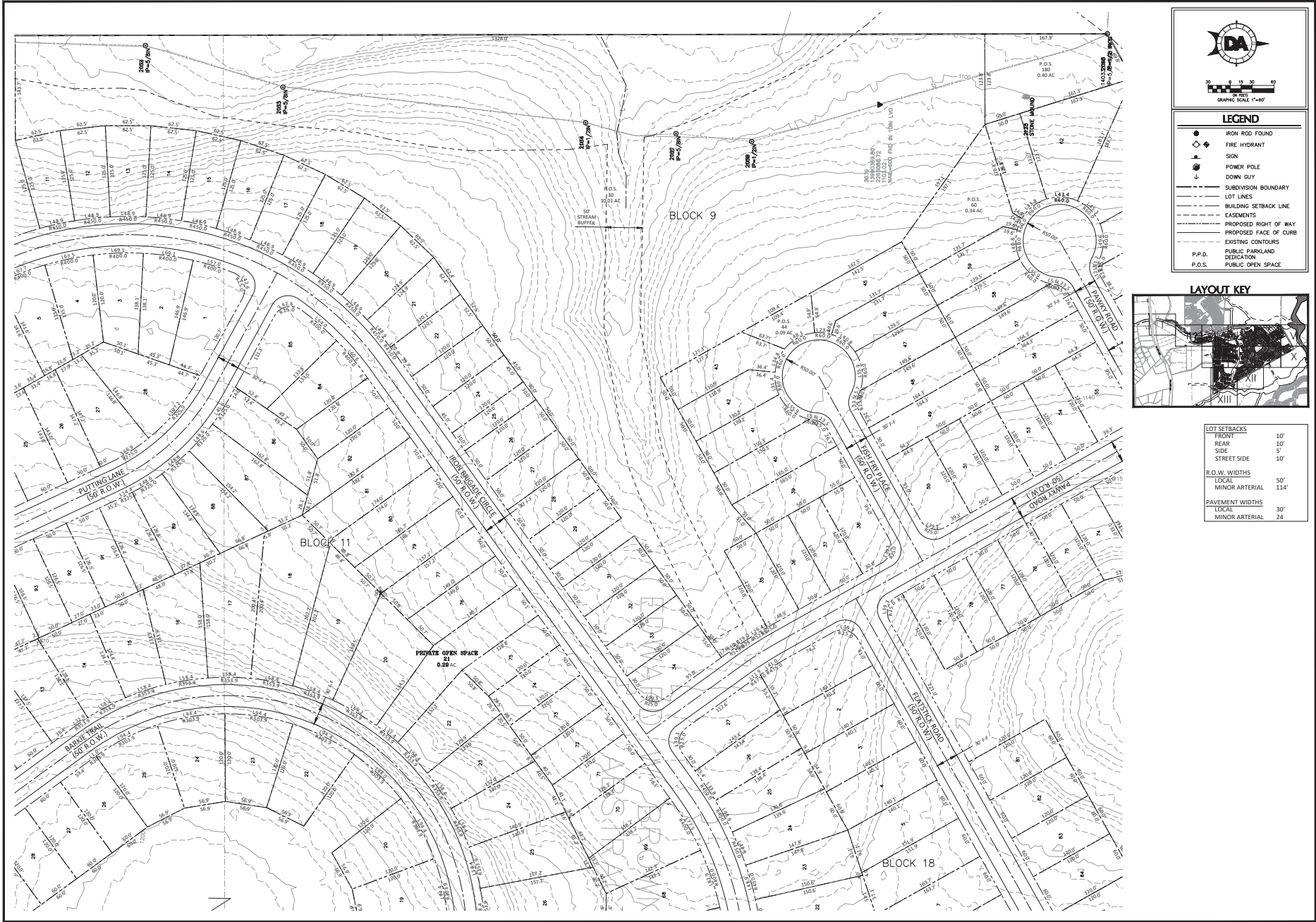



Designed: RP  
 Drawn: EGJW/AD  
 Reviewed: CR  
 Date:

SHEET  
**5**

Project No.:  
 1691-005







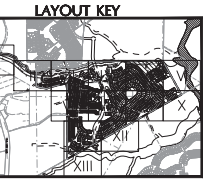
**DA**

1" = 40'

GRAPHIC SCALE 1"=40'

**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- EXISTING LOT LINES
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**

Civil Engineers / Estimators / Geographers  
 7403 S. Highway 71 W. Ste. 140  
 Austin, TX 78735, Tel: (512) 283-2400  
 Fax: (512) 283-2401  
 Email: doucet@doCKET.com  
 EIT# 51987  
 EIT# 51988  
 EIT# 51989  
 EIT# 51990  
 EIT# 51991  
 EIT# 51992  
 EIT# 51993  
 EIT# 51994  
 EIT# 51995  
 EIT# 51996  
 EIT# 51997  
 EIT# 51998  
 EIT# 51999  
 EIT# 52000

**PRELIMINARY PLAT V**

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620

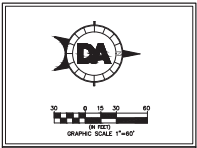


Designed: RP  
 Drawn: EQJW/AD  
 Reviewed: CR  
 Date:

**SHEET**  
**6**

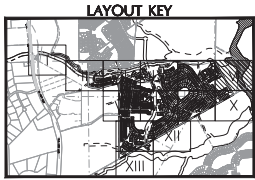
Project No.: 1691-005

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 User: EQJW  
 Date: 04/22/2023 11:00  
 Plot: 1691-005.PLT  
 Plot Date: 04/22/2023 11:00



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**  
 Civil Engineers / Surveyors / Geospatial  
 740 S. Highway 71 W. Ste. 110  
 Austin, TX 78735, Tel: (512) 583-2400  
 Email: doucet@dooucet.com  
 TXE Firm Number: 3937  
 TPELS Firm Number: 1010880

PRELIMINARY PLAT VI

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620

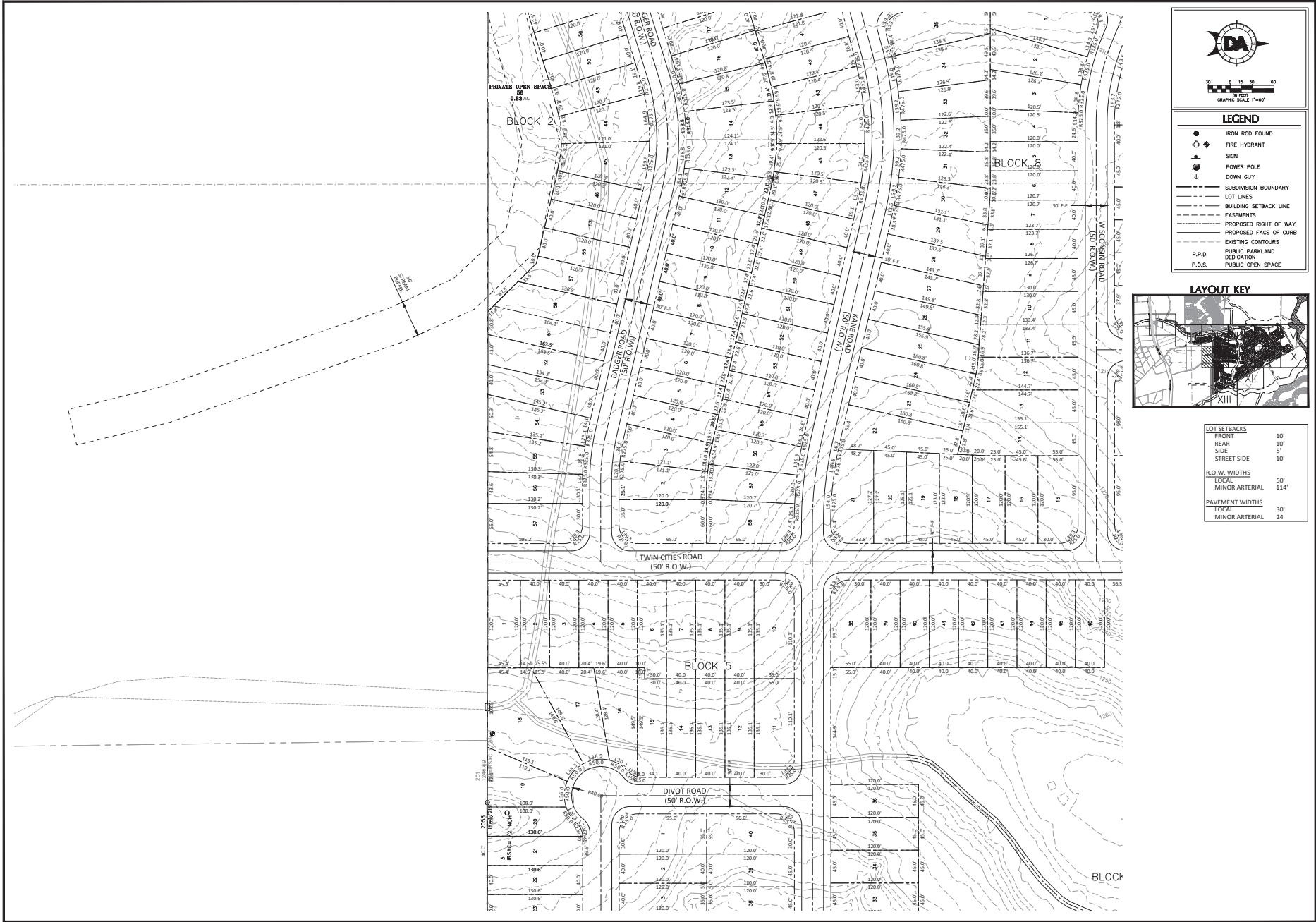



Designed: RP  
 Drawn: EGJW/AD  
 Reviewed: CG  
 Date:

SHEET  
**7**

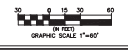
Project No.:  
 1691-005

Drawing: C:\pwworking\merritagehomes\platt\1691-005\1691-005.PDF  
 User: RICHARD PHAM  
 Date: 04/22/2023 11:30  
 Plot: 1691-005.PDF, 22, 23, 11:35:17





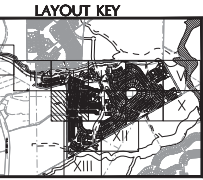
DA



GRAPHIC SCALE 1"=40'

**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- EXISTING PAVEMENT
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

Drawing: C:\pw\_working\civildwg\p169121616910000.P1691  
 User: RPHAM  
 Date: 04/22/2023 11:00  
 Plot: 16910000.P1691

**DOUCET**  
 Civil Engineers / Estimators / Geographers  
 740 S. Highway 71 W. Ste. 140  
 Austin, TX 78725, Tel: (512) 583-2400  
 Email: doucet@doCKET.com  
 TXPEL Firm Number: 7937  
 TP&LS Firm Number: 1010800

**PRELIMINARY PLAT VII**

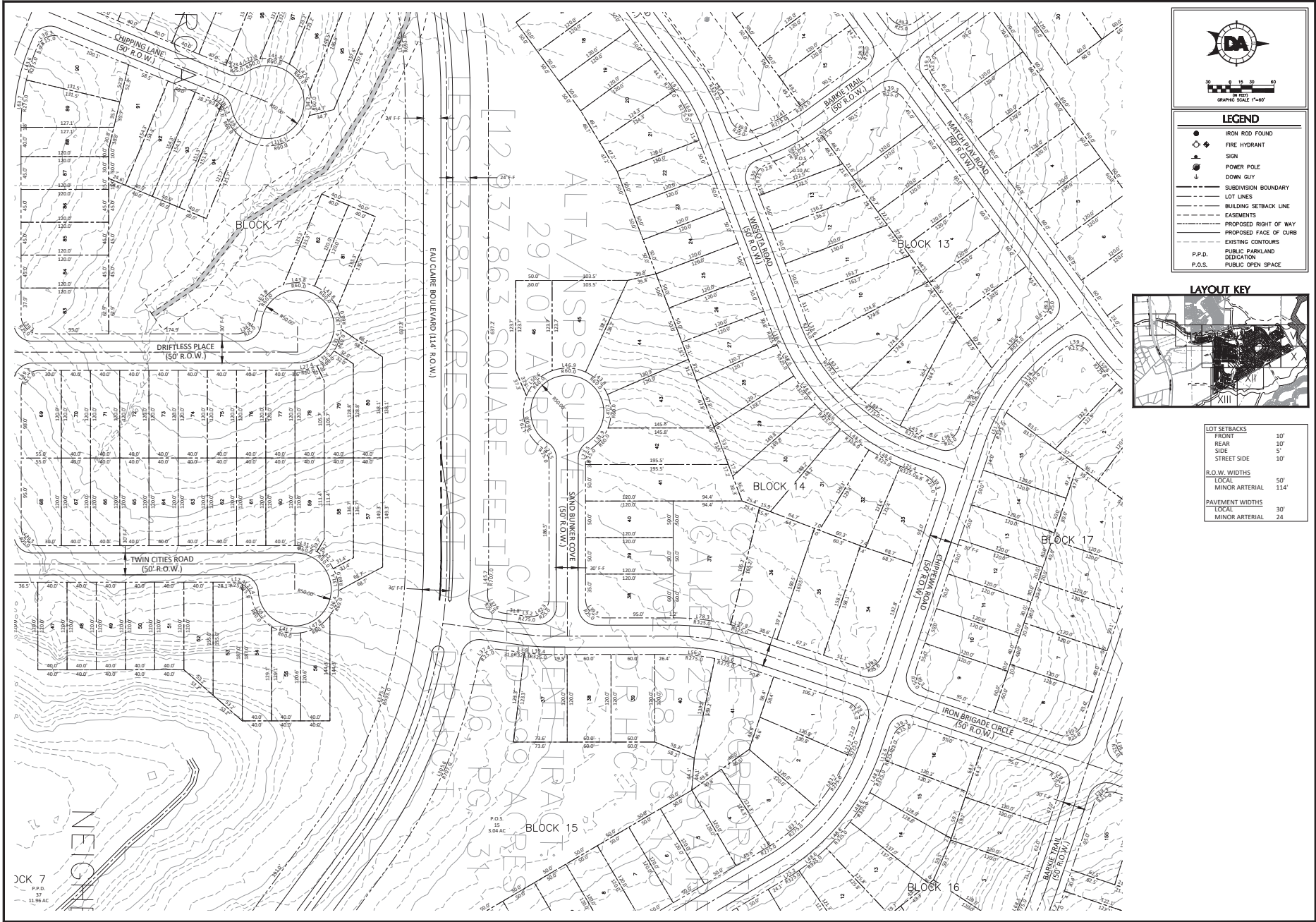
**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620




Designed: RP  
 Drawn: EGJW/AD  
 Reviewed: CG  
 Date:

**SHEET**  
**8**

Project No.:  
 1691-005

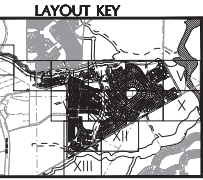




GRAPHIC SCALE 1"=40'

**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊕ POWER POLE
- ⊕ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



<b>LOT SETBACKS</b>	
FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'
<b>R.O.W. WIDTHS</b>	
LOCAL	50'
MINOR ARTERIAL	114'
<b>PAVEMENT WIDTHS</b>	
LOCAL	30'
MINOR ARTERIAL	24'

Drawing: C:\pwworking\merritt\p1691216\1691216.dwg  
 User: RICHARD PHAM  
 Date: 04/22/2023 11:00  
 Plot Date: 04/22/2023 11:00  
 Plot Size: 11.00 x 17.00

BLOCK 7  
 P.P.D.  
 31  
 13.90 AC

**DOUCET**  
 Civil Engineers / Estimators / Geographers  
 1403 S. Highway 71 W. Ste. 110  
 Austin, TX 78725, Tel: (512) 283-2400  
 Email: doucet@dooucet.com  
 1845 Farm Number 7937  
 TP&ES Firm Number: 1010800

PRELIMINARY PLAT VIII

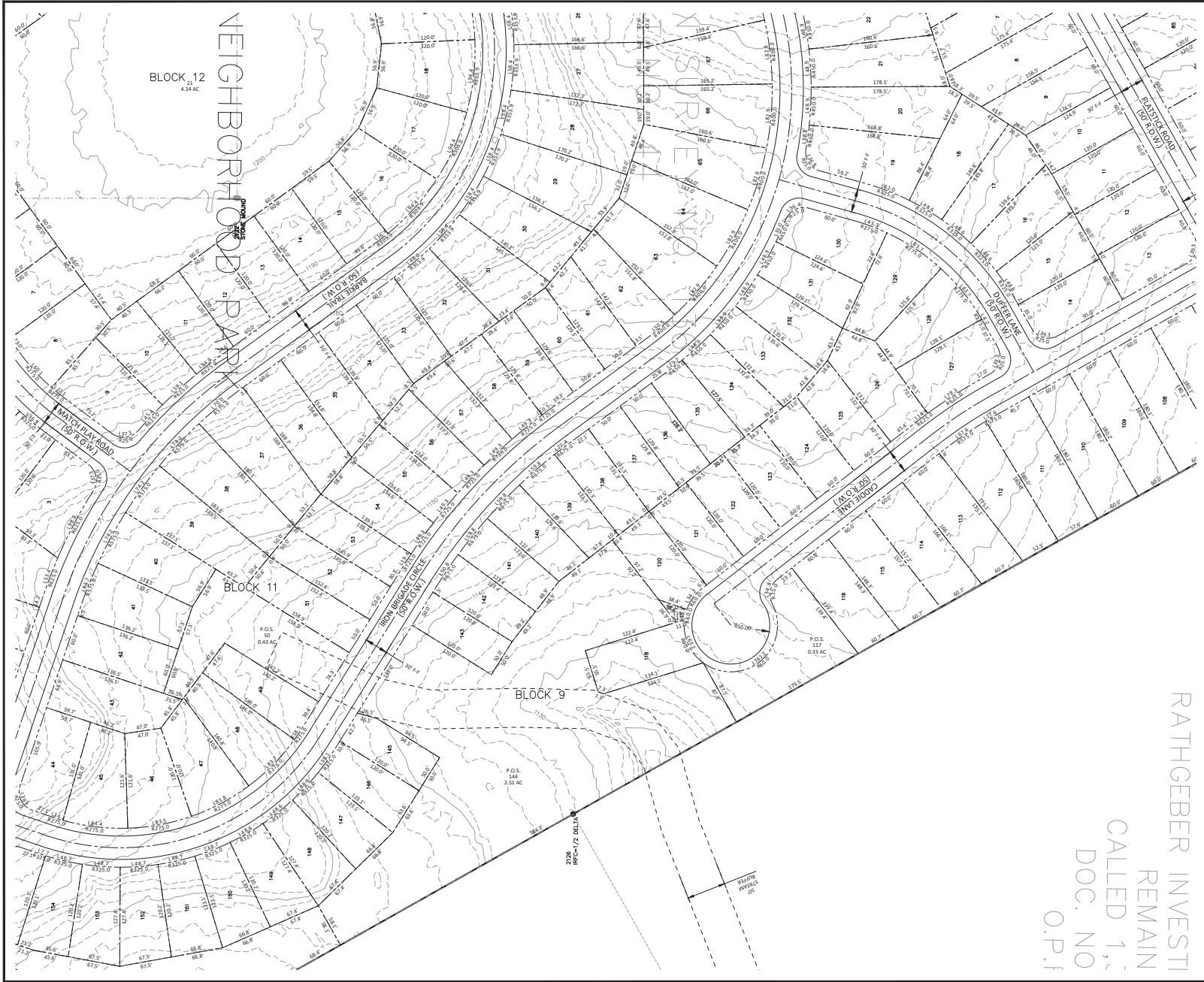
**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620



Designed: RP  
 Drawn: EQJW/AD  
 Reviewed: CR  
 Date:

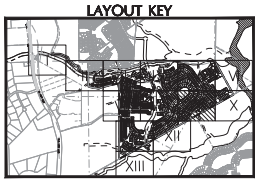
SHEET  
**9**

Project No.:  
 1691-005



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊕ POWER POLE
- ⊙ DOWN GUY
- - - SUBDIVISION BOUNDARY
- - - LOT LINES
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- - - PROPOSED CONTOURS
- - - EXISTING CONTOURS
- - - P.P.D.
- - - PUBLIC PARKLAND DEDICATION
- - - P.O.S.
- - - PUBLIC OPEN SPACE



<b>LOT SETBACKS</b>	
FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'
<b>R.O.W. WIDTHS</b>	
LOCAL	50'
MINOR ARTERIAL	114'
<b>PAVEMENT WIDTHS</b>	
LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**  
 Civil Engineers / Estimators / Geographers  
 7403 S. Highway 71 W. Ste. 140  
 Austin, TX 78735, Tel: (512) 283-2400  
 Fax: (512) 283-2401  
 Email: doucet@doacet.com  
 TPELS Firm Number: 7337

**PRELIMINARY PLAT IX**

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620

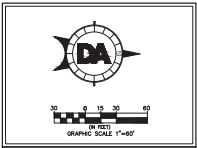


Designed: RP  
 Drawn: EGJW/AD  
 Reviewed: CG  
 Date:

**SHEET 10**

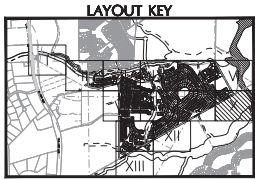
Project No.: 1691-005

Drawing: C:\pwworking\meritag\platt\1691-005\1691-005.PDF  
 Date: 04/22/2023 11:00  
 User: doucet  
 Plot Date: 04/22/2023 11:00



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
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- SUBDIVISION BOUNDARY
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- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

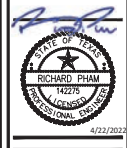
LOCAL	30'
MINOR ARTERIAL	24'

POSSIBLE  
DRAINFIELD EASEMENT  
VOL. 3446, PG. 173  
VOL. 3940, PG. 379  
VOL. 3940, PG. 445  
O.P.R.H.C.T.

**DOUCET**  
Civil Engineers / Planners / Geospatial  
1403 S. Highway 71 W. Ste. 110  
Austin, TX 78735, Tel: (512) 283-2400  
www.doucet-engineers.com  
TXS Reg. Number: 7937  
EP&S Firm Number: 1010800

PRELIMINARY PLAT X

**MERITAGE HOMES, LLC.**  
WILD RIDGE SUBDIVISION  
PRELIMINARY PLAT  
DRIPPING SPRINGS, HAYS COUNTY, TX 78620

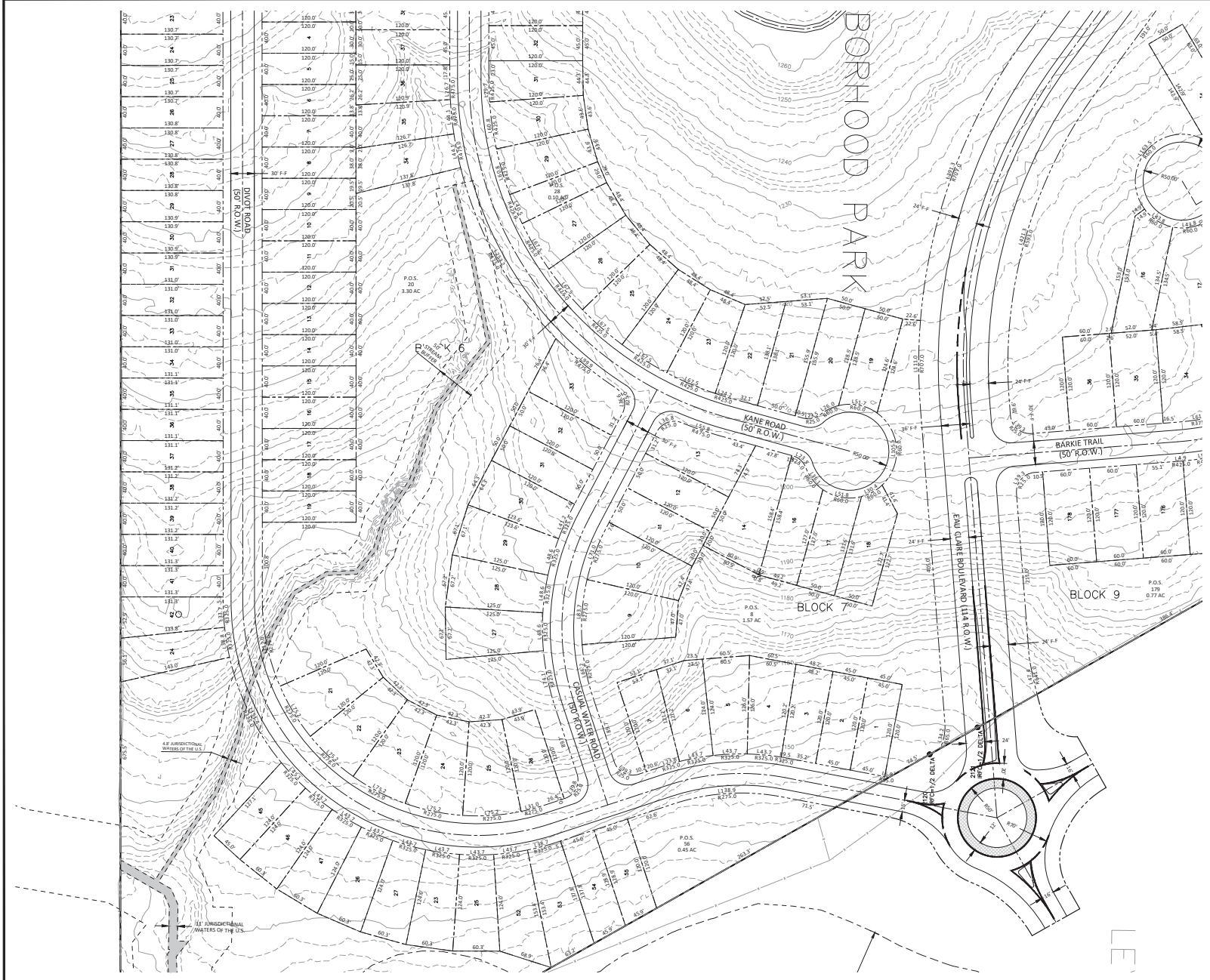


Designed: RP  
Drawn: EGJW/AD  
Reviewed: CG  
Date:

SHEET  
11

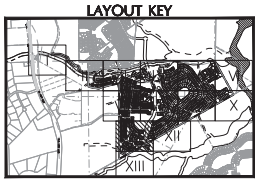
Project No.:  
1691-005

Drawing: C:\pwworking\mcgraw-hill\1691-005\1691-005.PDF  
 Date: 04/22/2024, 09:22:11:00  
 User: egjw/AD  
 Plot: 1691-005.PDF, 2024/04/22 09:22:11:00



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊕ POWER POLE
- ⌵ DOWN GUY
- - - SUBDIVISION BOUNDARY
- - - LOT LINES
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- - - EXISTING CONTOURS
- - - EXISTING PAVEMENT
- - - P.P.D.
- - - PUBLIC PARKLAND DEDICATION
- - - P.O.S.
- - - PUBLIC OPEN SPACE



**LOT SETBACKS**

FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'

**R.O.W. WIDTHS**

LOCAL	50'
MINOR ARTERIAL	114'

**PAVEMENT WIDTHS**

LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**  
Civil Engineers / Estimators / Geographers  
440 S. Highway 71 W. Ste. 140  
Austin, TX 78725, Tel: (512) 283-2400  
www.doucet-engineers.com  
EIT# 1996 Number: 7393  
EIT# 65 Firm Number: 1010880

PRELIMINARY PLAT XI

**MERITAGE HOMES, LLC.**  
WILD RIDGE SUBDIVISION  
PRELIMINARY PLAT  
DRIPPING SPRINGS, HAYS COUNTY, TX 78620

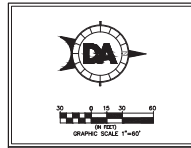
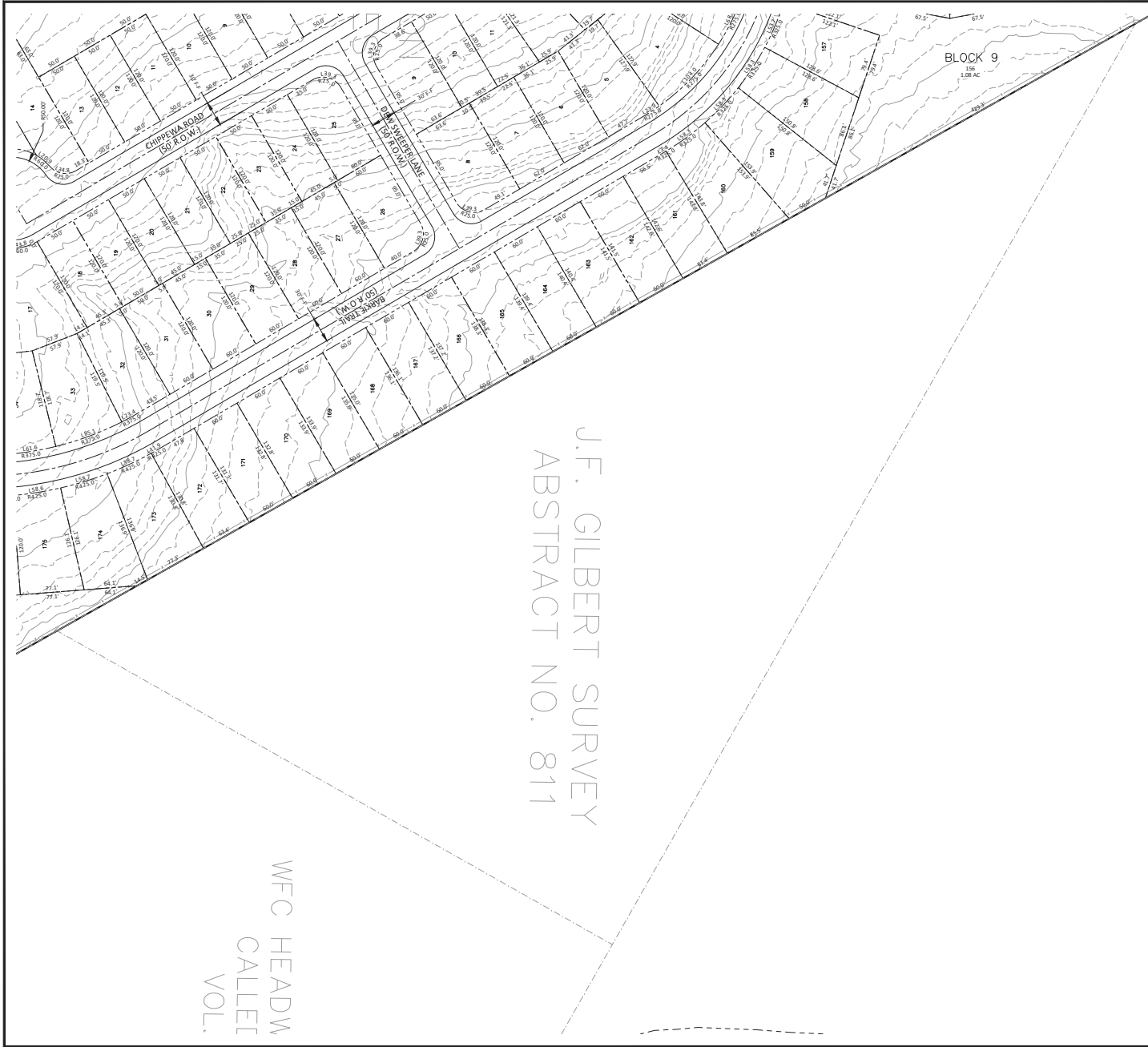


Designed: RP  
Drawn: EQJW/AD  
Reviewed: CG  
Date:

SHEET  
12

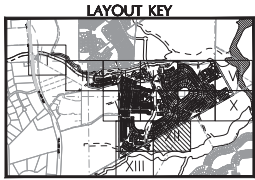
Project No.:  
1691-005

Drawing: C:\pw\working\new\p\1691005\1691005.PDF  
Date: 04/22/2023  
User: EQJW  
Plot Date: 04/22/2023 11:00  
Plot Path: C:\pw\working\new\p\1691005\1691005.PDF



**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
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- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- P.P.D. PUBLIC PARKLAND DEDICATION
- P.O.S. PUBLIC OPEN SPACE



LOT SETBACKS	
FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'
R.O.W. WIDTHS	
LOCAL	50'
MINOR ARTERIAL	114'
PAVEMENT WIDTHS	
LOCAL	30'
MINOR ARTERIAL	24'

J.F. GILBERT SURVEY  
ABSTRACT NO. 811

WFC HEADW  
CALLET  
VOL.

**DOUCET**  
Civil Engineers / Architects / Geospatial  
1403 S. Highway 71 W. Ste. 110  
Austin, TX 78725, Tel: (512) 283-2400  
www.doucet-engineers.com  
EPA Firm Number: 7357  
EPA Firm Number: 0108800

PRELIMINARY PLAT XII

**MERITAGE HOMES, LLC.**  
WILD RIDGE SUBDIVISION  
PRELIMINARY PLAT  
DRIPPING SPRINGS, HAYS COUNTY, TX 78620




4/22/2023  
Designed: RP  
Drawn: EGJW/AD  
Reviewed: CR  
Date:

SHEET  
13

Project No.:  
1691-005

Drawn: C:\pw\_working\chrisad\p1691-005\1691005.P1691  
Date: 4/22/2023 11:30  
User: chrisad  
Printed: 4/22/2023 11:37 PM

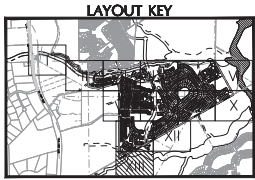


GRAPHIC SCALE 1"=40'

**LEGEND**

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊖ POWER POLE
- ⊥ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
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- P.O.S. PUBLIC OPEN SPACE



<b>LOT SETBACKS</b>	
FRONT	10'
REAR	10'
SIDE	5'
STREET SIDE	10'
<b>R.O.W. WIDTHS</b>	
LOCAL	50'
MINOR ARTERIAL	114'
<b>PAVEMENT WIDTHS</b>	
LOCAL	30'
MINOR ARTERIAL	24'

**DOUCET**  
 Civil Engineers / Land Surveyors / Geospatial  
 7403 S. Highway 71 W. Ste. 110  
 Austin, TX 78735, Tel: (512) 583-2400  
 Email: doucet@doacet.com  
 TSPS Firm Number: 7392  
 TPBSL Firm Number: 1010800

PRELIMINARY PLAT XIII

**MERITAGE HOMES, LLC.**  
 WILD RIDGE SUBDIVISION  
 PRELIMINARY PLAT  
 DRIPPING SPRINGS, HAYS COUNTY, TX 78620



4/22/2023  
 Designed: RP  
 Drawn: EGJ/RAD  
 Reviewed: CR  
 Date:

SHEET  
**14**

Project No.:  
 1691-005

Drawing: C:\pwworking\cmars\pwworking\1691-005\1691-005.P07.dwg  
 User: cmars  
 Date: 04/22/2023 11:00  
 Plot Date: 04/22/2023 11:00  
 Plot Path: C:\pwworking\cmars\pwworking\1691-005\1691-005.P07.dwg



# Planning and Zoning Commission

## Planning Department Staff Report

Item 5.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0009  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

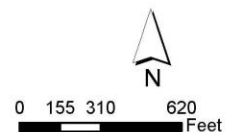
**Project Name:** Driftwood Subdivision, Phase 3 Preliminary Plat  
**Property Location:** 17901 FM 1826  
**Legal Description:** 43.7352 acres, out of the Freelove Woody Survey  
**Applicant:** John Blake, P.E., Murfee Engineering Company  
**Property Owner:** Driftwood DLC Investor I LP  
**Staff recommendation:** Conditional approval of the Preliminary Plat.



### Location Map

*Driftwood Phase 3  
Preliminary Plat*

— Roads  
— Parcel Lines



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# Planning Department Staff Report

## Overview

This preliminary plat consists of 12 single-family lots, one commercial lot, and one lot intended to be used as a vineyard.

## Access and Transportation

Primary access to the subdivision will be through Ranch Road 1826 and through the existing Driftwood Ranch development.

## Site Information

**Location:** Thurman Roberts Way near FM 1826

**Zoning Designation:** ETJ / Driftwood Development Agreement

## Property History

The driftwood development agreement was approved in 2015.

## Recommendation

Approval of the preliminary plat with the following condition:

1. Provide the Hays County 1445 Approval Letter.

## Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Driftwood Phase 3 Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Conditional approval of the Plat.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



**DRIPPING SPRINGS**  
Texas

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**PRELIMINARY PLAT APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: \_\_\_\_\_

DATE: 2/15/2022; 2pm

NOT SCHEDULED

NOT SCHEDULED

**CONTACT INFORMATION**

APPLICANT NAME John Blake, PE

COMPANY Murfee Engineering Company, Inc

STREET ADDRESS 1101 S Capital of Texas Hwy Bldg D

CITY Austin STATE Texas ZIP CODE 78746

PHONE 512-327-9204 EMAIL jblake@murfee.com

OWNER NAME Silver Garza, AUTHORIZED AGENT FOR M. SCOTT ROBERTS

COMPANY \_\_\_\_\_

STREET ADDRESS PO Box 311

CITY Driftwood STATE Texas ZIP CODE 78619

PHONE 512-917-8899 EMAIL silvergaza@sbcglobal.net

<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	M Scott Roberts c/o Silver Garza, Authorized Agent
PROPERTY ADDRESS	17901 FM 1826, Driftwood, TX 78619
CURRENT LEGAL DESCRIPTION	A0020 FREELove WOODY SURVEY, ACRES 43.7352 (1.00 AC @ MKT) (ACROSS FROM SALT LICK)
TAX ID #	R131141
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	43.7352
SCHOOL DISTRICT	Hays CISD
ESD DISTRICT(S)	North Hays Co ESD #1, Hays Co Fire ESD #6
ZONING/PDD/OVERLAY	NA
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: <u>FM 967, FM 1826</u> <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Driftwood Amended Development Agreement</u>

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Driftwood Subdivision Phase Three
TOTAL ACREAGE OF DEVELOPMENT	43.7352
TOTAL NUMBER OF LOTS	14
AVERAGE SIZE OF LOTS	3.1239
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL/OTHER: <u>OS, Private Road</u>
# OF LOTS PER USE	RESIDENTIAL: <u>12</u> COMMERCIAL: <u>1</u> INDUSTRIAL: <u>1</u>
ACREAGE PER USE	RESIDENTIAL: <u>25.7613</u> COMMERCIAL: <u>9.0700</u> INDUSTRIAL: <u>8.9039</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: _____ PRIVATE: <u>1315</u>
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO</p>	

COMMENTS: \_\_\_\_\_

TITLE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): Pedernales Electric Cooperative, Inc

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Charter Business - Spectrum

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): Texas Gas Service

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO



**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

John Blake, P.E.  
\_\_\_\_\_

Applicant Name

*John Blake*  
\_\_\_\_\_

*2-17-2022*  
\_\_\_\_\_

Applicant Signature

*Sandra B. Swinney*  
\_\_\_\_\_


Date

*2-17-2022*  
\_\_\_\_\_

Notary

Date

Notary Stamp Here



Silver Garza, Authorized Agent  
\_\_\_\_\_

Property Owner Name


*[Signature]*  
\_\_\_\_\_

*2/17/2022*  
\_\_\_\_\_

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 2/18/22

**For projects within the ETJ**, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

**PRELIMINARY PLAT CHECKLIST**  
**Subdivision Ordinance, Section 4**

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (3 copies required – 11 x 17)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Service Provider “Will Serve” Letters
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,)

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<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 addressing approval (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication Submittal (narrative, fees)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
<input type="checkbox"/>	<input type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(1)(4)]
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Hays Trinity Groundwater Conservation District approval of water well (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Preliminary Conference Form signed by City Staff
<b>PRELIMINARY PLAT INFORMATION REQUIREMENTS</b>		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

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		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including:  - The location and size of all watercourses; and  - 100-year floodplain according to Federal Emergency Management Agency

		<p>(FEMA) information; and</p> <ul style="list-style-type: none"> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and</li> <li>- Ravines; and</li> <li>- Bridges; and</li> <li>- Culverts; and</li> <li>- Existing structures; and</li> <li>- Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and</li> <li>- Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure</p>

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		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
<input type="checkbox"/>	<input type="checkbox"/>	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
<input type="checkbox"/>	<input type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input type="checkbox"/>	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
<input type="checkbox"/>	<input type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	If any amount of surface water is to be used by the subject property, the

	<p>Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).</p>
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**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>In accordance with DA and City of Dripping Springs regulations.</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Accordance with DA and City of Dripping Springs regulations. Is not required.</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>In accordance with DA.</p>

Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Improvements in accordance with DA and City and County regulations.</p>
Zoning, Article 30.02, Exhibit A	N/A



# DRIFTWOOD RANCH, PHASE THREE, PRELIMINARY PLAT

DRIFTWOOD RANCH - PHASE THREE  
PRELIMINARY PLAT  
DRIFTWOOD, TEXAS

COVER SHEET

SHEET: 1 OF 8

**GENERAL NOTES:**

- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF DRIPPING SPRINGS EXTRATERRITORIAL JURISDICTION.
- THIS SUBDIVISION IS WITHIN THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT.
- THIS SUBDIVISION IS LOCATED WITHIN HAYS COUNTY FIRE ESD #6 AND NORTH HAYS COUNTY ESD #1.
- NO FENCES SHALL BE PLACED SO AS TO IMPED THE FLOW OF DRAINAGE WITHIN AN EXISTING DRAINAGE WAY.
- TOTAL ACREAGE OF DEVELOPMENT: 43.732
- TOTAL ACREAGE OF LOT: 43.732
- INTENDED USE OF LOTS: RESIDENTIAL, AGRICULTURE, AND COMMERCIAL
- TOTAL NUMBER OF LOTS: 14
- AVERAGE SIZE OF LOTS: 3.124
- NUMBER OF LOTS: Greater than 10 acres: 0  
Larger than 5, less than 10: 0  
Between 2 & 5 acres: 0  
Between 1 & 2 acres: 0  
Less than an acre: 0
- ALL UTILITIES, WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARDS, PER HAYS COUNTY DEVELOPMENT REGULATIONS CHAPTER 706, SUBCHAPTER 8.8.3.
- WHILE THE WATER AVAILABILITY RULES ARE INTENDED TO PRESERVE AND PROTECT THE WATER RESOURCES OF HAYS COUNTY, THE COMMISSIONERS COURT OF HAYS COUNTY DOES NOT MAKE ANY WARRANTY, EXPRESSED, IMPLIED, OR OTHERWISE, THAT SUBDIVISIONS THAT COMPLY WITH THESE RULES WILL BE ABLE TO MEET THE WATER NEEDS OF THOSE PURCHASING LOTS WITHIN THE SUBDIVISION.
- THIS SUBDIVISION IS SUBJECT TO THE DEVELOPMENT AGREEMENT REACHED BETWEEN THE CITY OF DRIPPING SPRINGS AND M. SCOTT ROBERTS, RECORDED IN VOLUME 3381, PAGE 708 AND THE AMENDED AND THE RESTATED DEVELOPMENT AGREEMENT RECORDED IN VOLUME 5105, PAGE 594, BOTH OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, AS AMENDED FROM TIME TO TIME. SITE DEVELOPMENT AND BUILDING PERMITS ARE REQUIRED FOR COMMERCIAL DEVELOPMENT. BUILDING PERMITS ARE REQUIRED PRIOR TO CONSTRUCTION ON RESIDENTIAL LOTS.
- THE IMPERVIOUS COVER FOR THIS SUBDIVISION SHALL COMPLY WITH THE OVERALL IMPERVIOUS COVER OF 17% IN ACCORDANCE WITH THE AMENDED AND RESTATED DEVELOPMENT AGREEMENT RECORDED IN VOLUME 5105, PAGE 594, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.
- THE OPEN SPACE PROVIDED MEETS THE REQUIREMENTS OF THE PARKLAND DEDICATION ORDINANCE IN ACCORDANCE WITH THE AMENDED AND RESTATED DEVELOPMENT AGREEMENT RECORDED IN VOLUME 5105, PAGE 594, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.
- THE OWNER WILL ALLOW THE RIGHT-OF-ENTRY TO THE CITY, UTILITY OR PUBLIC SERVICE PROVIDERS AND EMERGENCY VEHICLES AS NECESSARY.
- DEVELOPMENT IN THE WATER QUALITY BUFFER ZONE IS REGULATED PER THE CITY'S WATER QUALITY PROTECTION ORDINANCE.
- THIS SUBDIVISION IS WITHIN THE JURISDICTION OF THE DRIFTWOOD ECONOMIC DEVELOPMENT MUNICIPAL MANAGEMENT DISTRICT.
- THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE EMERGENCY SERVICE DISTRICT NO. 6 OR ITS SUCCESSORS.
- ALL PRIVATE STREETS AND RIGHT-OF-WAY SHALL BE DEDICATED PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- NO DRIVEWAY CONSTRUCTION ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS A PERMIT FOR USE OF THE STATE ROADWAY RIGHT-OF-WAY HAS BEEN ISSUED.
- THE 10-YEAR FLOODPLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENT AS SHOWN HEREON.
- DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE OWNER OR HIS AGENT. A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE, OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.
- POST CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER/OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE, OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.
- US FISH AND WILDLIFE SERVICE BUFFER ZONES: THE USFWS BUFFER ZONES SHALL REMAIN FREE OF CONSTRUCTION, DEVELOPMENT, OR OTHER ALTERATIONS. THE NUMBER OF ROADWAYS CROSSING THROUGH THE BUFFER ZONES SHOULD BE MINIMIZED AND CONSTRUCTED ONLY WHEN NECESSARY TO SAFELY ACCESS PROPERTY THAT CANNOT OTHERWISE BE ACCESSED. OTHER ALTERATIONS WITHIN BUFFER ZONES COULD INCLUDE UTILITY CROSSINGS, BUT ONLY WHEN NECESSARY. FENCES, LOW IMPACT PARKS, AND OPEN SPACE, LOW IMPACT PARK DEVELOPMENT WITHIN THE BUFFER ZONE SHOULD BE LIMITED TO TRAILS, PONIC FACILITIES, AND SIMILAR CONSTRUCTION THAT DOES NOT SIGNIFICANTLY ALTER THE EXISTING VEGETATION, PARKING LOTS AND ROADS ARE NOT CONSIDERED LOW IMPACT. NUTRIENT GULF COURSE DEVELOPMENT FOR WASTEWATER EFFLUENT IRRIGATION SHOULD TAKE PLACE IN THE BUFFER ZONE. STORMWATER FROM DEVELOPMENT SHOULD BE DISPERSED INTO OVERLAND FLOW PATTERNS BEFORE REACHING THE BUFFER ZONES.
- THIS SUBDIVISION IS LOCATED WITHIN THE HAYS TRINITY GROUNDWATER CONSERVATION DISTRICT.
- NO CONSTRUCTION WILL OCCUR WITHIN THE WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY AND P.E.C. EASEMENTS WITHOUT PRIOR NOTIFICATION OF EASEMENT HOLDER.
- POST DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN PRE-DEVELOPED CONDITIONS FOR 2, 5, 10, 25, AND 100 YEAR STORM EVENTS, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 725, SUBCHAPTER 3.0. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
- MAL BOULETS PLACED WITHIN THE ROW, SHALL BE OF AN APPROVED TxDOT OR FHWA DESIGN, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 6, OR OTHER METHODS AS APPROVED.
- DRIVEWAYS SHALL COMPLY WITH CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS, AND BE PERMITTED THROUGH THE TRANSPORTATION DEPARTMENT OF HAYS COUNTY UNDER CHAPTER 151.
- LOT 13, BLOCK 4 SHALL NOT BE FURTHER DEVELOPED.
- LOTS IN THIS SUBDIVISION SHALL NOT BE RESUBDIVIDED.
- THE DRIFTWOOD MUNICIPAL MANAGEMENT DISTRICT OR ITS AGENTS SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORMWATER DRAINAGE AND WATER QUALITY FACILITIES.
- ALL ROADWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 6, OR OTHER METHODS AS APPROVED.
- LOT 13, BLOCK 4 IS HEREBY DEDICATED AS OPEN SPACE.
- THE ROADWAYS ARE PRIVATE ROADWAYS AND WILL NEVER BE DEDICATED OR MAINTAINED BY HAYS COUNTY, TEXAS.

**UTILITY NOTES:**

- WATER SERVICE TO BE PROVIDED DIRECTLY FROM THE CITY OF DRIPPING SPRINGS.
- ELECTRIC UTILITY SERVICE WILL BE PROVIDED BY FEDERAL ELECTRIC COOPERATIVE, INC.
- TELEPHONE UTILITY SERVICE WILL BE PROVIDED BY CHARTER SPECTRUM COMMUNICATIONS.
- WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF DRIPPING SPRINGS.

**ENGINEER'S NOTES:**

- NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
- THE ENTIRETY OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER.
- NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF ANY MUNICIPALITY CORPORATE CITY LIMITS, BUT IS WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.
- NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF A FLOOD HAZARD AREA AS DELINEATED ON HAYS COUNTY COMMUNITY PANEL MAP #803900 (2) F, EFFECTIVE DATE SEPTEMBER 2, 2006.

**SUBDIVISION PLAT NOTES:**

**SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION TO WIT:**

- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL OR STATE-APPROVED COMMUNITY WATER SYSTEM DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY. PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY THIS NOTICE TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS, MAY OFFER THE BEST RENEWABLE WATER RESOURCE.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.
- NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

**STREET AND ROW INFORMATION:**

**HOMEOWNER ASSOCIATION MAINTAINED PRIVATE STREETS**

MASA SCOTT ROBERTS, BY FILING OF THIS PLAT OF RECORD, AND ALL FUTURE OWNERS OF PROPERTY WITHIN THIS SUBDIVISION, BY PURCHASING SUCH PROPERTY, ACKNOWLEDGE AND AGREE THAT HAYS COUNTY SHALL HAVE NO OBLIGATION WHATSOEVER TO REPAIR OR ACCEPT MAINTENANCE OF THE ROADS SHOWN ON THIS SUBDIVISION.

**LUM HOWARD COVE - LOCAL STREET**

DATE, AND UNLESS MASA SCOTT ROBERTS OR THE DRIFTWOOD CONSERVATION DISTRICT HAS IMPROVED THE ROADWAYS TO THE THEN CURRENT STANDARDS REQUIRED BY HAYS COUNTY AND THE ROADS HAVE BEEN ACCEPTED FOR MAINTENANCE BY FORMAL, WRITTEN ACTION OF THE COUNTY COMMISSIONERS COURT AND THE ROADWAY, WITH ALL REQUIRED RIGHT OF WAY, HAS BEEN DEDICATED BY THE OWNERS THEREOF, AND ACCEPTED BY THE COUNTY, AS A PUBLIC STREET. MASA SCOTT ROBERTS AND ALL FUTURE OWNERS OF PROPERTY WITHIN THIS SUBDIVISION SHALL LOOK SOLELY TO THE DRIFTWOOD ECONOMIC DEVELOPMENT MUNICIPAL MANAGEMENT DISTRICT OR SUCCESSORS FOR FUTURE MAINTENANCE AND REPAIR OF THE ROADS AND STREETS SHOWN ON THIS SUBDIVISION.

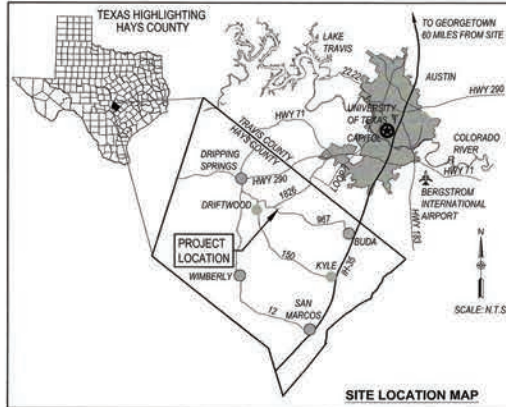
**ENGINEER'S CERTIFICATE:**

THIS IS TO CERTIFY THAT I AM CERTIFIED TO PRACTICE THE PROFESSION OF ENGINEERING IN THE STATE OF TEXAS. THAT I PREPARED THE PLAN SUBMITTED HERewith, AND THAT ALL INFORMATION SHOWN THEREON IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AS RELATED TO THE ENGINEERING PORTIONS THEREOF AND THAT SAID PLAN COMPLES WITH ORDINANCE NO. 1230.6, SETTING FORTH REQUIREMENTS AND OBLIGATIONS FOR SUBDIVISIONS IN THE CITY OF DRIPPING SPRINGS, AND THE SUBDIVISION AND DEVELOPMENT REGULATIONS OF HAYS COUNTY, TEXAS, EXCEPT FOR THOSE VARIANCES GRANTED BY THE COMMISSIONERS COURT OF HAYS COUNTY.

WITNESS MY HAND THIS 10 DAY OF Feb, 2022.

*John K. Blake*  
(SIGNATURE)

(SITE ADDRESS: 17901 FM 102K, DRIFTWOOD, TEXAS 78618)



**Sheet List Table**

Sheet Number	Sheet Title
1	COVER SHEET
2	OWNER'S MAP
3	PRELIMINARY PLAT
4	SLOPE MAP
5	OVERALL DRAINAGE AREA MAP
6	DRAINAGE PLAN
7	WATER PLAN
8	WASTEWATER PLAN

**LEGAL DESCRIPTION**

ADD'D FREE-LIVE WOODWAY SURVEY, ACRES 43.7322 (1.00 AC @ MKT) (ACROSS FROM SALT LICK)

**STREET DESIGN TABLE**

STREET NAME	ROW	ROAD WIDTH	LENGTH
LUM HOWARD COVE	50'	24' w/ 1.5' RIBBON CURB	1313'

**ROAD MAINTENANCE STATEMENT**

ALL ROADS IN THIS SUBDIVISION ARE TO BE PRIVATELY MAINTAINED.

**LAND USE SUMMARY**

BLOCK	BF	OPEN	ROW	PVT ST. DE & PUB	COMMERCIAL
SECTION 1	0	0	0	0	0
SECTION 2	11	1	0	1	0
<b>TOTAL</b>	<b>11</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>0</b>

**RESIDENTIAL**

AREA IN ACRES	% OF PROJECT	NUMBER OF LOTS	ROAD USAGE (PVT) AREA IN ACRES	% OF PROJECT	NUMBER OF LOTS
26.77	58.52%	11	1.50	3.43%	1

**OPEN SPACE**

AREA IN ACRES	% OF PROJECT	NUMBER OF LOTS	COMMERCIAL AREA IN ACRES	% OF PROJECT	NUMBER OF LOTS
7.46	16.82%	-	0.87	20.73%	1

**TOTAL**

14 LOTS  
43.732 ACRES

**DRIFTWOOD IMPERVIOUS COVER (IC)**

	TOTAL AC	IC (AC) ROADS	IC (AC) LOTS*	IC (AC) W/ RAIN WATER CAPTURE CREDIT	TOTAL IC (AC) W/ RAIN WATER CAPTURE CREDIT	% IC
PHASE ONE SECTION ONE	37.1	3.97	4.98	2.49	6.46	17%
PHASE ONE SECTION TWO	119.5	2.50	4.98	2.49	4.99	4.2%
PHASE ONE SECTION THREE	42.3	3.66	3.21	1.61	5.27	12.5%
PHASE TWO	19.3	0.11	2.89	1.45	3.56	6.1%
PHASE THREE, SECTION ONE**	0.1	-	-	-	1.55	17.0%
PHASE THREE, SECTION TWO	34.7	0.64	2.01	0.80	3.44	4.1%
PHASE FOUR	5.8	0.00	1.45	0.72	0.72	12.4%
CLUB CORE PH 1	30.1	0.52	0.89	0.45	0.97	9.0%
CLUB CORE PH 2	5.3	1.17	1.21	0.63	1.78	33.2%
CLUB CORE PH 3	3.0	0.79	0.63	0.31	1.10	36.5%
CLUB CORE PH 4	5.7	1.15	1.82	0.91	2.06	36.1%
<b>TOTAL</b>	<b>291.3</b>	<b>14.51</b>	<b>24.08</b>	<b>11.82</b>	<b>27.88</b>	<b>9.6%</b>

\* Assumes 7000 SF IC/LOT w/o Rain Water Capture Credit for Residential

\*\* Assumes 9300 SF IC/LOT w/o Rain Water Capture Credit for Club Core

\*\* Phase Three, Section One is anticipated maximum impervious cover

**OWNER:**  
MASA SCOTT ROBERTS  
ACTING HEREIN BY AND THROUGH SILVER GARZA, MANAGER  
PO BOX 211  
DRIFTWOOD, TX 78618

**SURVEYOR:**  
CAPITAL SURVEYING CO. INC.  
655 CAPITAL OF TX HWY. 6  
BUILDING B, SUITE 110  
AUSTIN, TX 78746  
PH: (817) 327-4000

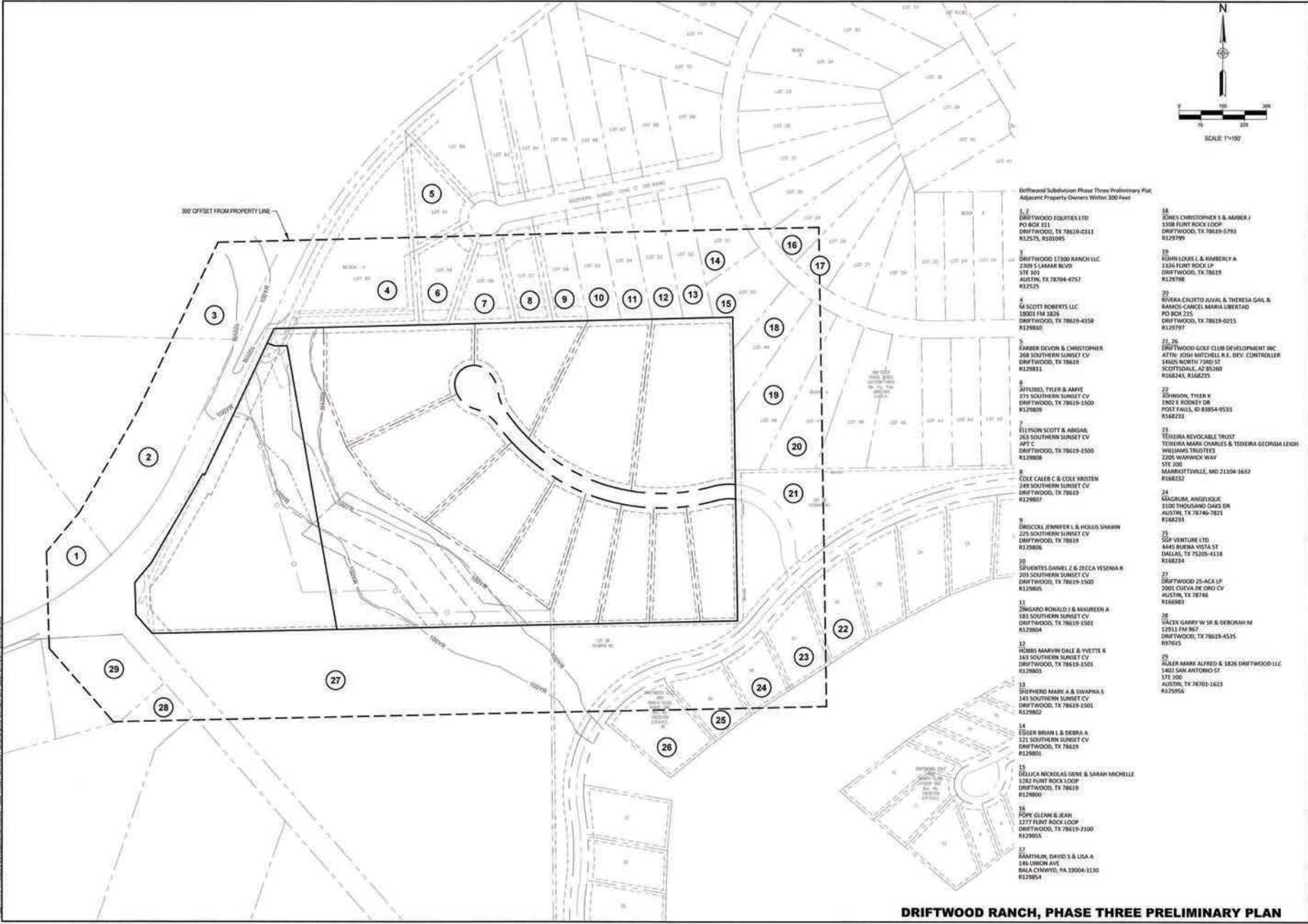
**PROPERTY OWNER NOTIFICATION LIST:**  
SEE SHEET 2

**ENGINEER'S NOTES:**  
OWNER: *Silver Garza, Manager* 2/17/22  
DATE: 2/17/22  
SURVEYOR: *Gregory A. Way* 2/18/22  
DATE: 2/18/22  
OWNER: *John K. Blake* 2/18/22  
DATE: 2/18/22

**PLANNING & ZONING COMMISSION** \_\_\_\_\_ DATE: \_\_\_\_\_  
**CITY SECRETARY** \_\_\_\_\_ DATE: \_\_\_\_\_



SUBMITTAL DATE: FEBRUARY 18, 2022

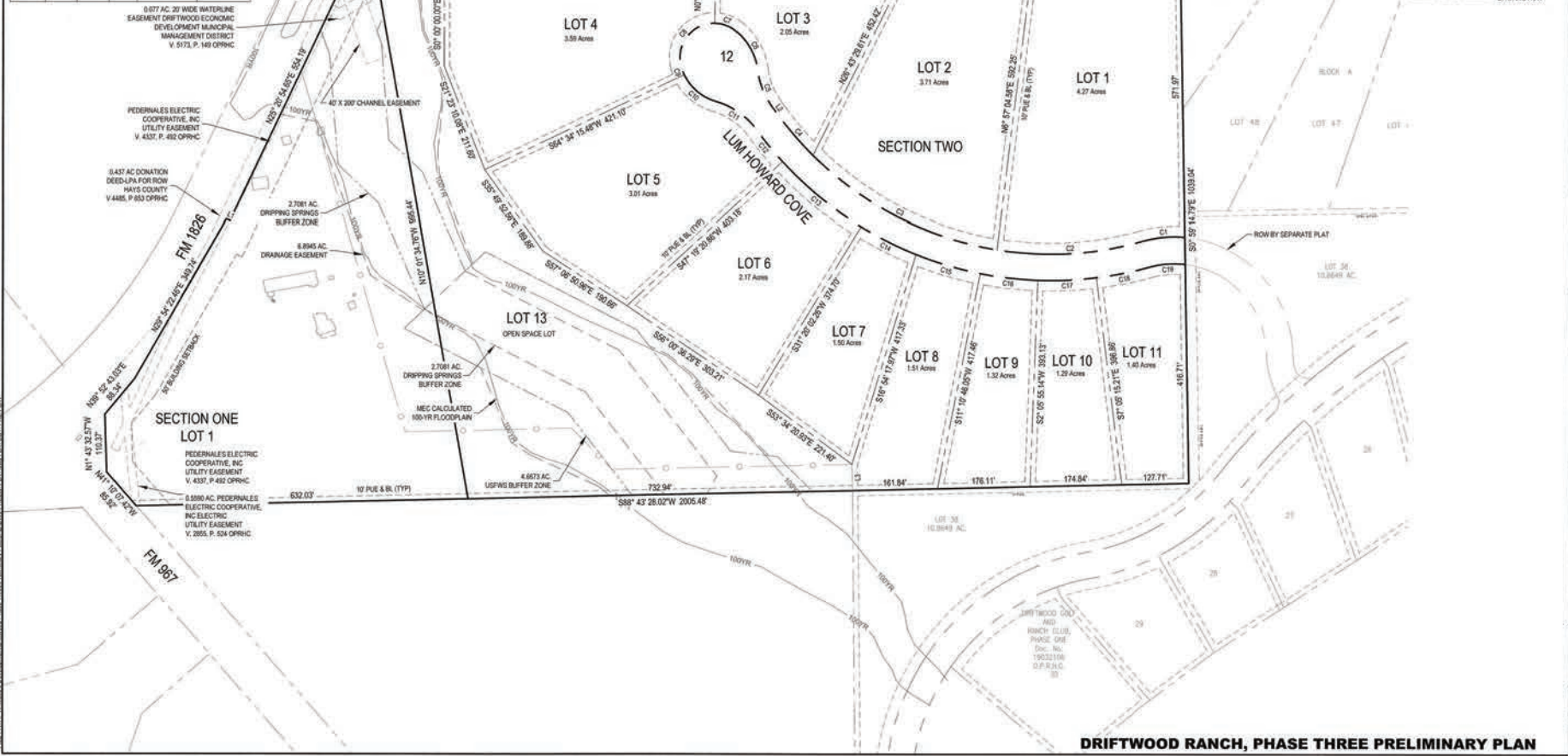


- Driftwood Subdivision Phase Three Preliminary Plan  
Adjacent Property Owners Within 300 Feet
- 1,2 DRIFTWOOD EQUITIES LTD  
PO BOX 311  
DRIFTWOOD, TX 78619-0311  
R12575, R120145
  - 3 DRIFTWOOD 13300 RANCH LLC  
2705 S LAMAR BLVD  
STE 101  
AUSTIN, TX 78704-4757  
R12525
  - 4 M SCOTT ROBERTS LLC  
1803 FM 5826  
DRIFTWOOD, TX 78619-4358  
R129810
  - 5 FARRER DEVON & CHRISTOPHER  
268 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619  
R129811
  - 6 AFFUSIO, TYLER & AMYE  
275 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619-1500  
R129809
  - 7 ELLISON, SCOTT & ABIGAIL  
263 SOUTHERN SUNSET CV  
APT C  
DRIFTWOOD, TX 78619-1500  
R129808
  - 8 COLE CALER C & COLE KRISTEN  
249 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619  
R129907
  - 9 BRISCOLL JENNIFER L & HOLDS SHAWN  
225 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619  
R129806
  - 10 SIVENTES DANIEL J & ZECCA YESENIA R  
205 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619-1500  
R129805
  - 11 ZINGARO RONALD J & MAUREEN A  
183 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619-1501  
R129804
  - 12 HOBBS MARVIN DALE & YVETTE R  
143 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619-1501  
R129803
  - 13 STEPHENO MARK A & SHAPALA S  
143 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619-1501  
R129802
  - 14 EGGER BRIAN L & DEBRA A  
121 SOUTHERN SUNSET CV  
DRIFTWOOD, TX 78619  
R129801
  - 15 DELUCA NICKOLAS GENE & SARAH MICHELLE  
1282 FLINT ROCK LOOP  
DRIFTWOOD, TX 78619  
R129800
  - 16 POPE GLENN & JEAN  
1277 FLINT ROCK LOOP  
DRIFTWOOD, TX 78619-2100  
R129555
  - 17 RAMATHUN, DAVID S & LISA A  
146 UNION AVE  
BALA CYNWYD, PA 19004-3130  
R129854
  - 18 JONES CHRISTOPHER S & AMBER J  
1308 FLINT ROCK LOOP  
DRIFTWOOD, TX 78619-5793  
R129799
  - 19 JOHN LOUIS L & HEMBERLY A  
1324 FLINT ROCK LP  
DRIFTWOOD, TX 78619  
R129798
  - 20 RIVERA CALISTO JAVIL & THERESA GAIL R  
PO BOX 315  
DRIFTWOOD, TX 78619-0215  
R129797
  - 21, 26 DRIFTWOOD GOLF CLUB DEVELOPMENT INC  
ATTN: JOSH MITCHELL R.E. DEV. CONTROLLER  
3405 NORTH 73RD ST  
SCOTTSDALE, AZ 85260  
R168243, R168235
  - 22 JOHNSON, TYLER K  
1902 F ROCKNEY DR  
POST FALLS, ID 83854-9531  
R168234
  - 23 TEIXEIRA REVOCABLE TRUST  
TEIXEIRA MARK CHARLES & TEIXEIRA GEORGIA LEIGH  
WILLIAMS TRUSTEES  
2305 WARWICK WAY  
STE 200  
MARBOTTVILLE, MO 21104-1632  
R168232
  - 24 KACIURA, ANGELOUE  
3100 THOUSAND OAKS DR  
AUSTIN, TX 78746-7821  
R168233
  - 25 GGP VENTURE LTD  
4445 BURINA VISTA ST  
DALLAS, TX 75209-4118  
R168234
  - 27 DRIFTWOOD 25-ACA LP  
2005 CURVA DE ORO CV  
AUSTIN, TX 78746  
R166989
  - 28 SACEK GARRY W SR & GERORAH M  
12911 FM 967  
DRIFTWOOD, TX 78619-4535  
R97815
  - 29 AULER MARK ALFRED & 1826 DRIFTWOOD LLC  
1402 SAN ANTONIO ST  
STE 100  
AUSTIN, TX 78701-1623  
R125956

	<p>DRIFTWOOD RANCH, PHASE THREE PRELIMINARY PLAN DRIFTWOOD, TEXAS OWNER'S MAP</p>
	<p>1301 CAPITAL OF TEXAS HIGHWAY SOUTH SUITE 110 AUSTIN, TEXAS 78746 (512) 372-6904 Texas Registered Engineering Firm F-353</p>
DESIGNED BY: NIA DRAWN BY: SJA CHECKED BY: JH APPROVED BY: JH DATE: 05/20/22 FILE NO: 2022-042 JOB NO: 2022-042 SHEET NO: 2 OF 8	

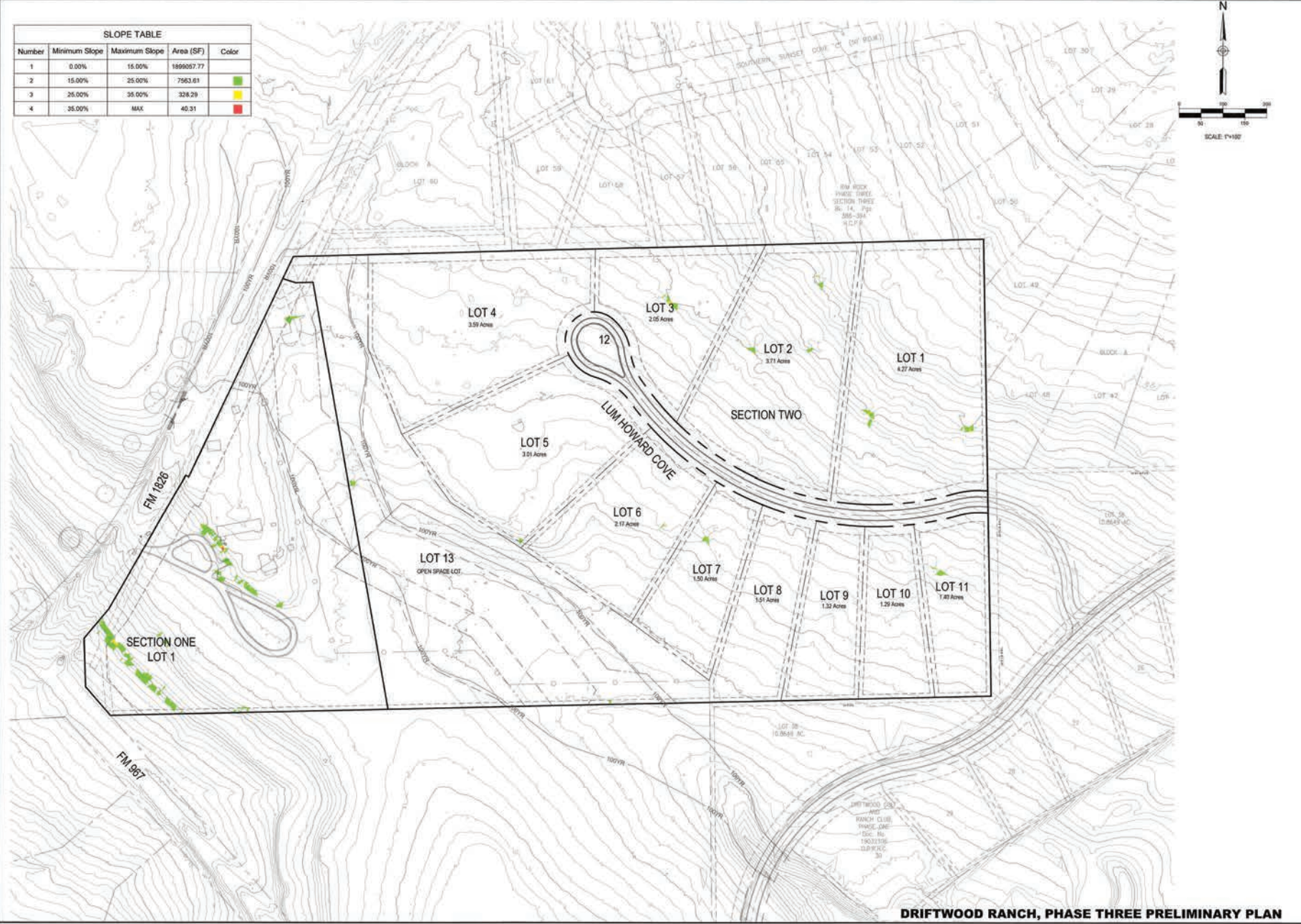
DRIFTWOOD RANCH, PHASE THREE PRELIMINARY PLAN

PARCEL CURVE TABLE					LINE TABLE			
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Line #	Length	Direction
C1	81.25	225.47	20.85	S84° 42' 14"W	30.81	L1	7.71	S62° 21' 07.72"E
C2	275.59	648.43	24.78	S94° 48' 14"W	277.42	L2	18.12	N30° 29' 44.17"W
C3	400.22	648.43	35.47	N40° 09' 12"W	293.86	L3	50.90	S1° 19' 31.24"E
C4	191.73	648.43	8.02	N40° 09' 12"W	101.68	L4	28.97	S88° 31' 49.21"W
C5	76.10	143.27	29.41	N21° 49' 54"W	75.27	L5	30.29	N72° 11' 40.41"W
C6	88.78	114.00	45.12	N20° 49' 54"W	87.47	L6	15.53	N25° 29' 54.79"E
C7	41.60	85.00	36.72	N70° 41' 12"W	49.95			
C8	120.34	85.00	106.88	S37° 54' 45"W	103.88			
C9	17.08	95.00	19.30	S20° 10' 40"E	17.08			
C10	89.81	95.00	49.56	S49° 42' 29"E	78.12			
C11	88.78	150.00	33.90	S37° 01' 59"E	87.47			
C12	86.24	896.43	7.10	S30° 57' 48"E	86.19			
C13	194.35	896.43	15.09	S50° 40' 18"E	193.72			
C14	117.09	896.43	5.63	S63° 28' 58"E	116.59			
C15	127.90	896.43	19.52	S73° 52' 34"E	127.72			
C16	116.38	896.43	9.08	S83° 21' 30"E	116.27			
C17	111.66	896.43	9.19	N87° 30' 30"E	111.54			
C18	103.71	896.43	8.53	N78° 38' 47"E	103.61			
C19	68.51	175.47	22.37	N67° 33' 56"E	68.50			



<p>DRIFTWOOD RANCH, PHASE THREE PRELIMINARY PLAN DRIFTWOOD, TEXAS</p>	<p>PRELIMINARY PLAT</p>		<p>1101 CAPITAL OF TEXAS HIGHWAY, SOUTH DRIFTWOOD, TEXAS 75845 ALLEN, TEXAS 75015 Phone: (409) 532-6204 Texas Registered Engineering Firm F.433</p>	
DESIGNED BY:	SA	DRAWN BY:	SA	CHECKED BY:
APPROVED BY:		DATE:	4/22/2024	FILE NO:
JOB NO.		SHEET NO.	3 OF 8	

SLOPE TABLE				
Number	Minimum Slope	Maximum Slope	Area (SF)	Color
1	0.00%	15.00%	189907.77	
2	15.00%	25.00%	7563.61	Green
3	25.00%	35.00%	326.29	Yellow
4	35.00%	MAX	40.31	Red



NO.	DESCRIPTION	BY	DATE	APPROVED	DATE

DRIFTWOOD RANCH, PHASE THREE  
PRELIMINARY PLAN  
DRIFTWOOD, TEXAS  
SLOPE MAP

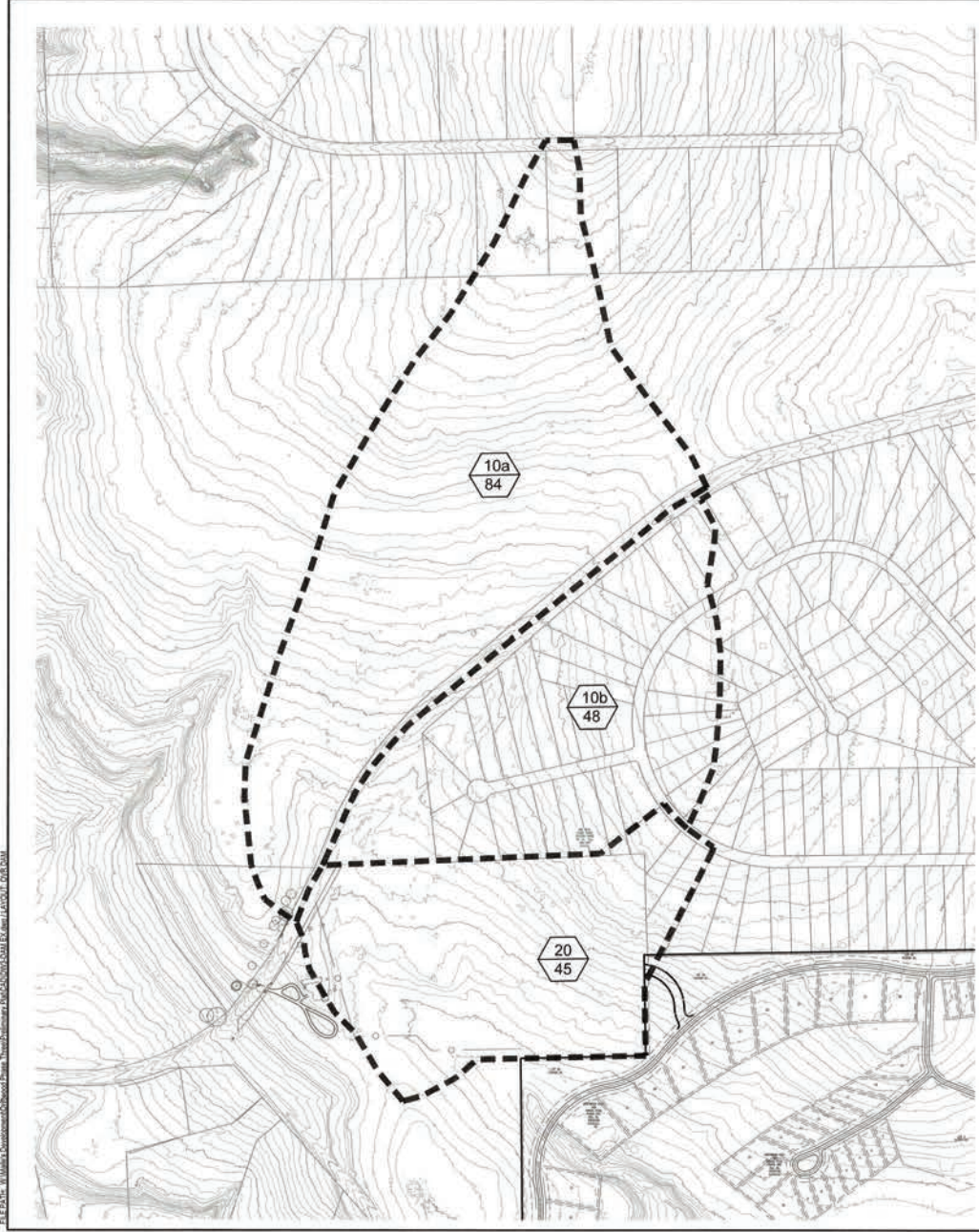


MURFRE ENGINEERING COMPANY  
1501 CAPITAL OF TEXAS HIGHWAY SOUTH  
DOWNSIDE PLAZA, SUITE 110  
MCKINNEY, TEXAS 75069  
817.337.8204  
Texas Registered Engineering Firm F-633



DESIGNED BY:	N/A
DRAWN BY:	SJA
CHECKED BY:	JG
APPROVED BY:	JG
DATE:	4/22/2022
TITLE:	DRIFTWOOD RANCH AND RANCH CLUB PHASE THREE PRELIMINARY PLAN
JOB NO:	1000-0010
SHEET NO:	4 OF 8

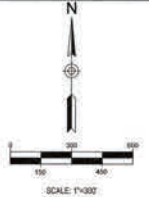
PLOT DATE: 2024.02  
 FILED: 2024.02  
 1501 CAPITAL OF TEXAS HIGHWAY SOUTH, DOWNSIDE PLAZA, SUITE 110, MCKINNEY, TEXAS 75069



**LEGEND**

--- DRAINAGE AREA BOUNDARY

10b  
48 DRAINAGE AREA NUMBER  
DRAINAGE AREA ACREAGE



**DRIFTWOOD PHASE 3: CALCULATION OF IMPERVIOUS COVER FOR HEC-HMS**

AREA	ACRES	Lot Category						I.F. of Roadway (Imperv. width, curb/ft.)				SF R. Col-4s Size	SF R. Col-6s Size	Other Imperv. (ac)	Imperv. Cover	
		1	2	3	4	5	6	26	24	N/A	N/A					
<b>EXISTING/EXISTING</b>																
10a-Office Bldg	84.0	0	0	0	0	1	1,350	0	0	0	0	0	0	0	0	1.2%
10a-TOTAL EXIST	84.0	0	0	0	0	1	1,350	0	0	0	0	0	0	0	0	1.2%
10b-Roadway Front	48.0	0	0	0	0	0	33	2,055	0	0	0	1	0	0	16.4%	
10b-Other Office Front	7.0	0	0	0	0	0	0	1,350	0	0	0	0	0	0	11.0%	
10b-TOTAL EXIST	48.0	0	0	0	0	0	33	3,405	0	0	0	1	0	0	15.7%	
20-Driftwood Ph. 3 Front	38.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%	
20-Roadway Front - 100'	6.5	0	0	0	0	0	0	315	0	0	0	0	0	0	10.7%	
20-TOTAL EXIST	45.0	0	0	0	0	0	0	315	0	0	0	0	0	0	1.5%	
<b>EXISTING/FUTURE (Areas 10a and 10b unchanged)</b>																
20-Driftwood Ph. 3 Proposed	38.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%	
20-Roadway Front - 100'	6.5	0	0	0	0	0	0	315	0	0	0	0	0	0	10.0%	
20-TOTAL FUTURE	45.0	0	0	0	0	0	0	315	1,170	0	0	0	0	0	6.0%	
<b>FUTURE/FUTURE (Areas 20 unchanged, Roadway fully developed as existing)</b>																
10a-Office Bldg	84.0	0	0	0	0	0	0	0	0	0	0	0	0	0	17.8	16.4%
10a-TOTAL FUTURE	84.0	0	0	0	0	0	0	0	0	0	0	0	0	0	17.8	16.4%
10b-Roadway Front	48.0	0	0	0	0	0	0	0	0	0	0	1	0	0	16.4%	
10b-Other Office Front	7.0	0	0	0	0	0	0	0	0	0	0	0	0	0	16.4%	
10b-TOTAL FUTURE	48.0	0	0	0	0	0	0	0	0	0	0	1	0	0	16.4%	
20-Driftwood Ph. 3 Future	38.5	0	0	0	0	0	0	0	0	0	0	0	0	0	7.0%	
20-Roadway Front - 100'	6.5	0	0	0	0	0	0	0	0	0	0	0	0	0	10.0%	
20-TOTAL FUTURE	45.0	0	0	0	0	0	0	0	315	1,170	0	0	0	0	8.0%	

**Accumulation:**

Lot Category	1	2	3	4	5	6
Size	<5,750	5,750+ 10k	10k+ 15k	15k+ 1ac	1+ 1 ac	>1 ac
Impervious (ft <sup>2</sup> )	2,000	2,500	3,500	5,000	7,000	10,000

Area 10a is assumed to develop at same intensity as Roadway, i.e., 16.4%.  
 500 inches Catch-Size @ 1500 ft/c.  
 100 inches Catch-Size @ 800 ft/c.

**IMPERVIOUS SUMMARY (E = Ex. Existing, F = Future, O = Office, F/F = Future Office and/or)**

AREA	EX	FP	FF
10a	1.2%	1.2%	16.4%
10b	15.7%	15.7%	16.4%
20	1.5%	1.5%	8.0%

**WEST BASIN: TIME OF CONCENTRATION**

Reference: Urban Hydrology for Small Watersheds, TR55 (SDA-SCS, June 1986)  
 Note: SCS-10 - Shallow concentrated flow - unpaired, SCS-P - paired.  
**EXISTING AND DEVELOPED UNCHANGED DUE TO LOW IMPERVIOUS**

Drain Area	Elev-1	Elev-2	L (ft)	S (ft/ft)	Flow Type	n	Vel (ft/s)	ti (s)
10a	1120	1117	300	0.005	Sheet	0.30	-	10.1
	1117	1014	1000	0.022	SCV-A	-	2.4	27.0
	-	-	-	-	SS	-	-	8.0
	-	-	-	-	Stream	-	-	6.0
								Total (min)
								(ft/s)
								37.1
								(ft/s)
								22.1
10b	1078.5	1078	300	0.005	Sheet	0.30	-	20.7
	1078	1032	2450	0.019	SCV-A	-	2.2	18.3
	-	-	-	-	SS	-	-	8.0
	-	-	-	-	Stream	-	-	6.0
								Total (min)
								(ft/s)
								39.2
								(ft/s)
								23.5
20	1064	1060	300	0.003	Sheet	0.2	-	9.0
	1060	1018	1200	0.033	SCV-A	-	2.9	7.4
	-	-	-	-	SS	-	-	8.0
	-	-	-	-	Stream	-	-	4.0
								Total (min)
								(ft/s)
								19.4
								(ft/s)
								16.8

**WEST BASIN HEC-HMS INPUT/OUTPUT SUMMARY**

**Existing/Existing**

AREA	ACRES	SQ.M.	CN	IMPERV.	(ft/s)
10a	84	0.1313	80	1.2%	22.1
10b	48	0.0750	78	15.7%	23.5
20	45	0.0703	54	1.0%	9.8

**PEAK DISCHARGE (CFS)**

AREA	2-YR	10-YR	25-YR	100-YR
10a	84	294	374	497
10b	48	115	154	221
RCT 10	132	318	431	638
20	46	138	182	271
RCT 20	161	392	531	769

**Existing/Future**

AREA	ACRES	SQ.M.	CN	IMPERV.	(ft/s)
10a	84	0.1313	80	1.2%	22.1
10b	48	0.0750	78	15.7%	23.5
20	45	0.0703	54	6.0%	9.8

**PEAK DISCHARGE (CFS)**

AREA	2-YR	10-YR	25-YR	100-YR
10a	84	294	374	497
10b	48	115	154	221
RCT 10	132	318	431	638
20	46	138	182	271
RCT 20	161	392	531	769

**Future/Future**

AREA	ACRES	SQ.M.	CN	IMPERV.	(ft/s)
10a	84	0.1313	80	16.4%	22.1
10b	48	0.0750	78	16.4%	23.5
20	45	0.0703	54	6.0%	9.8

**PEAK DISCHARGE (CFS)**

AREA	2-YR	10-YR	25-YR	100-YR
10a	94	218	286	407
10b	48	118	154	222
RCT 10	143	329	441	628
20	46	133	182	271
RCT 20	172	408	549	798

DRIFTWOOD RANCH, PHASE THREE  
 PRELIMINARY PLAN  
 DRIFTWOOD, TEXAS

OVERALL DRAINAGE AREA MAP

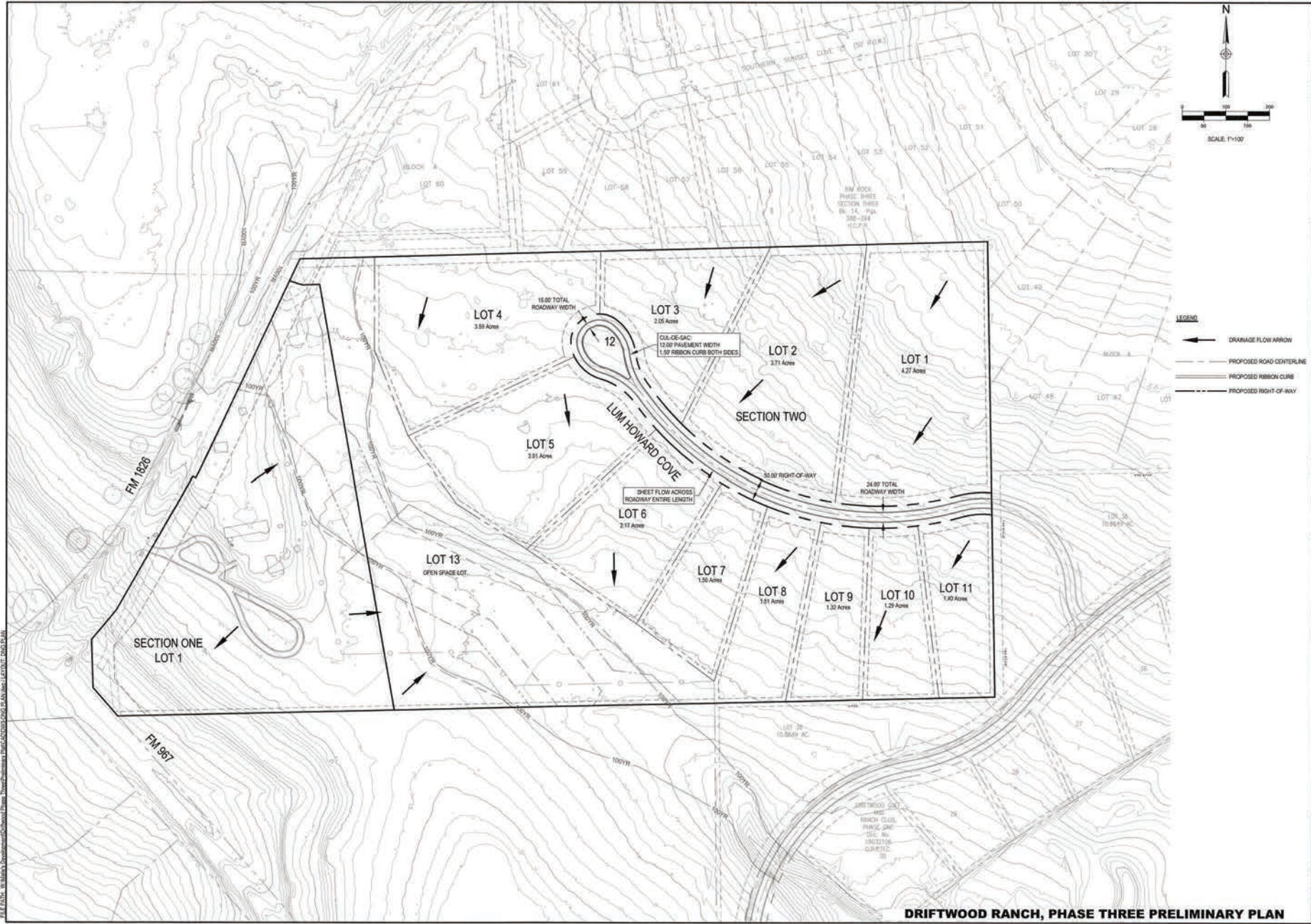
JOHN K. BLAKE  
 143418  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 11792-23

1101 CAPITAL OF TEXAS HIGHWAY SOUTH  
 SUITE 100  
 AUSTIN, TEXAS 78746  
 Tarrant Registered Engineering Firm F-533

**MURFEE ENGINEERING COMPANY**

DESIGNED BY: N/A  
 DRAWN BY: S.M.  
 CHECKED BY: J.B.  
 APPROVED BY: J.B.  
 DATE: 4/22/2022  
 FILE NO.: MURFEE-20-000  
 LAYOUT: 1000-0000

JOB NO.:  
 SHEET NO.: 5 OF 8



NO.	DESCRIPTION	BY	DATE	APPROVED

DRIFTWOOD RANCH, PHASE THREE  
PRELIMINARY PLAN  
DRIFTWOOD, TEXAS  
ROADWAY AND DRAINAGE PLAN

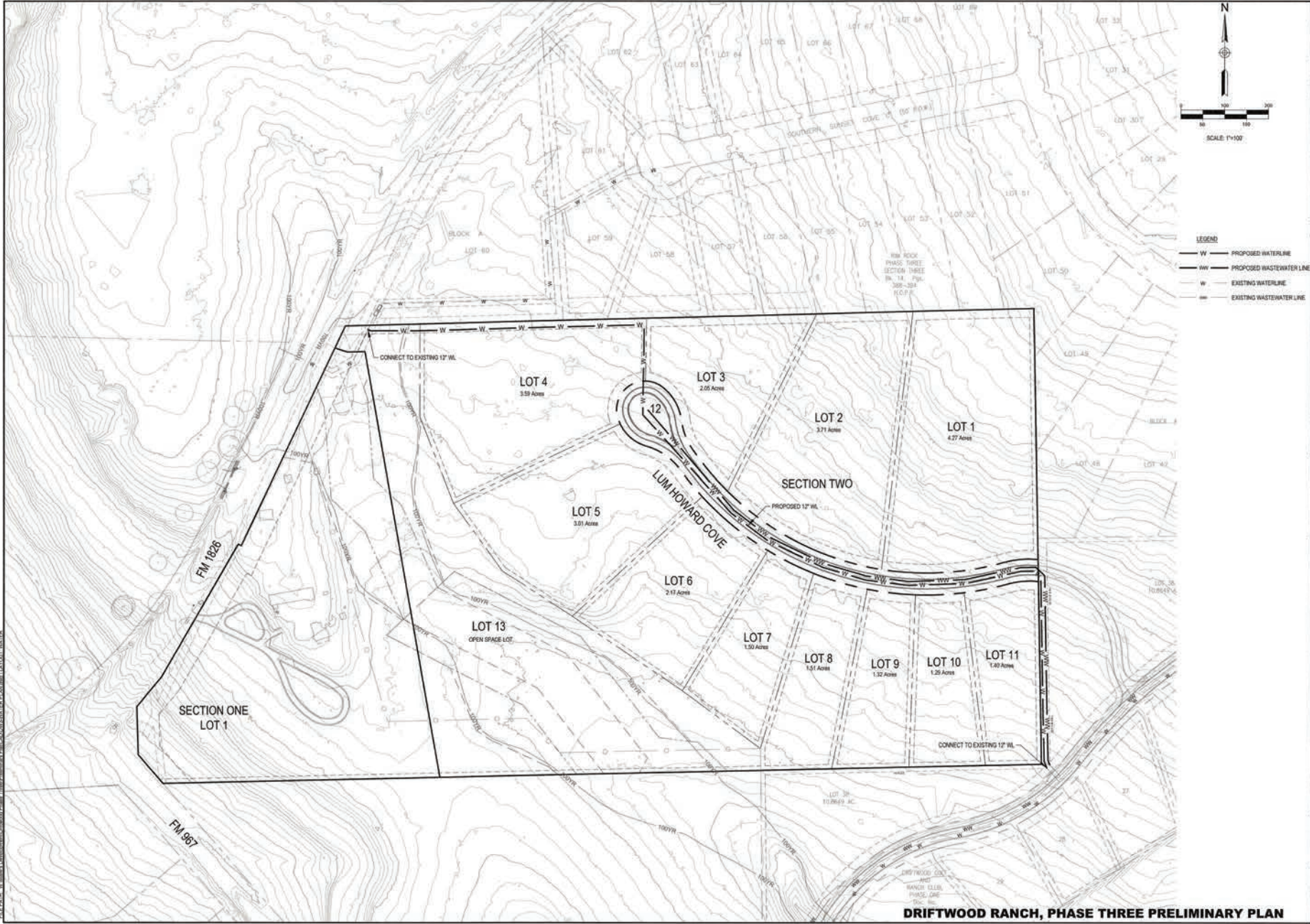


1101 CAPITAL OF TEXAS HIGHWAY, SOUTH  
EAST AUSTIN, TEXAS 78704  
AUSTIN, TEXAS 78704  
Phone: 512.327.6804  
Texas Registered Engineering Firm F-353

**MEC**  
MURFEE ENGINEERING COMPANY

DESIGNED BY:	N/A
DRAWN BY:	SJA
CHECKED BY:	
APPROVED BY:	
DATE:	4/27/23
PLOT NO.:	
JOB NO.:	
SHEET NO.:	6 OF 8

DRIFTWOOD RANCH, PHASE THREE PRELIMINARY PLAN



NO.	DESCRIPTION	DATE	APPROVED

DRIFTWOOD RANCH, PHASE THREE  
 PRELIMINARY PLAN  
 DRIFTWOOD, TEXAS  
 WATER PLAN

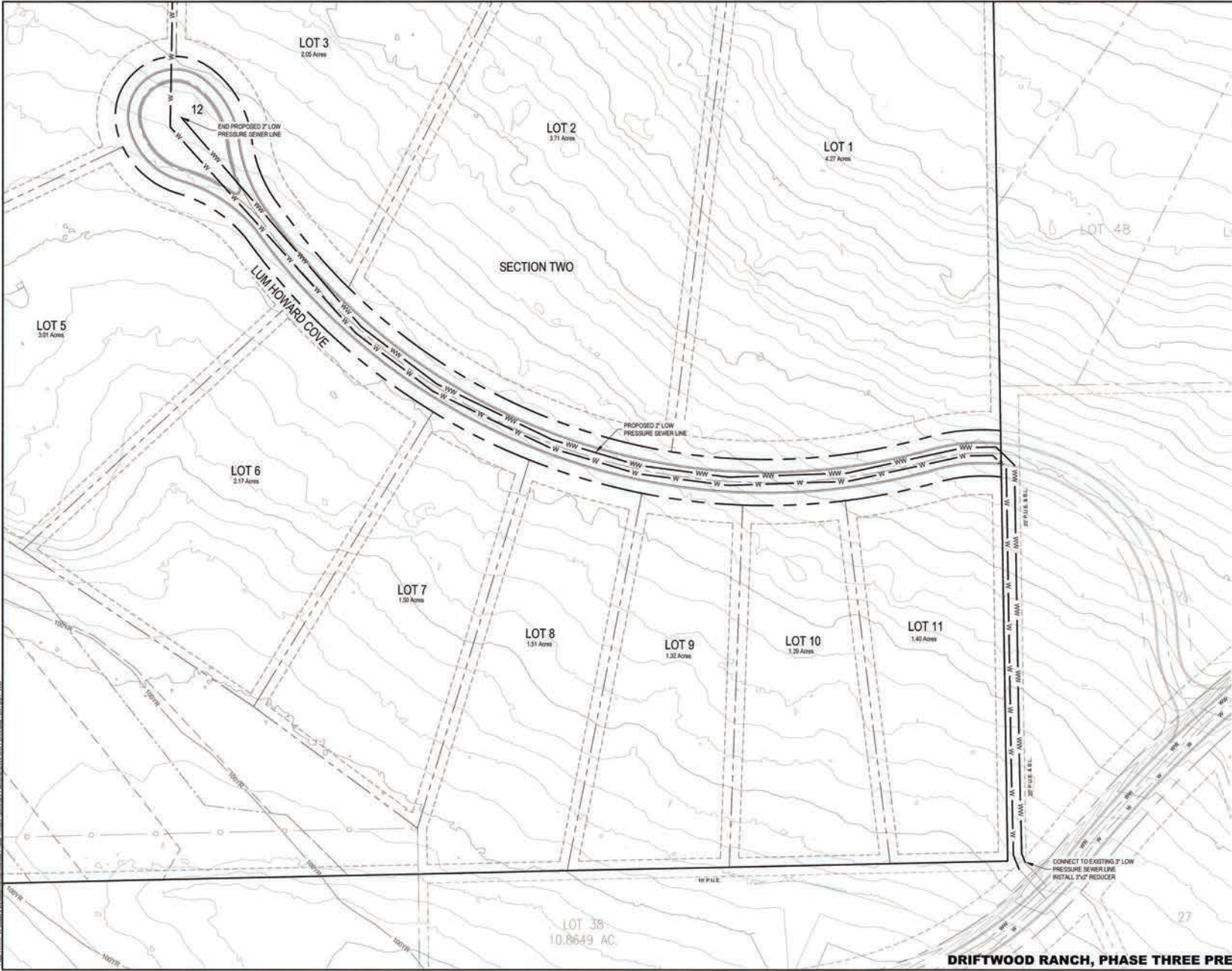


1101 CAPITAL OF TEXAS HIGHWAY SOUTH  
 SUITE 1170  
 AUSTIN, TEXAS 78748  
 (512) 372-6264  
 Texas Registered Engineering Firm F-333

**MFC**  
 MURFEE ENGINEERING COMPANY

DESIGNED BY: SEA  
 DRAWN BY: SEA  
 CHECKED BY: JB  
 APPROVED BY: JB  
 DATE: 4/22/2022  
 FEES: \$1000.00 (Professional Engineer Fee) + \$1000.00 (Printing Fee)  
 JOB NO.: DRIFTWOOD RANCH AND WOODHOLLOW PHASE THREE WATER PLAN  
 SHEET NO.: 7 OF 8

PLOT DATE: 2022-02-22  
 PLT LAYOUT: M:\Projects\2022\Driftwood Ranch\Phase Three\DWG\DRIFTWOOD RANCH PHASE THREE WATER PLAN.DWG



N

SCALE: 1"=50'

**LEGEND:**

- W — PROPOSED WATERLINE
- WW — PROPOSED WASTEWATER LINE
- W — EXISTING WATERLINE
- WW — EXISTING WASTEWATER LINE

NO.	DESCRIPTION	BY	DATE	APPROVED

**DRIFTWOOD RANCH, PHASE THREE  
PRELIMINARY PLAN**

DRIFTWOOD, TEXAS

WASTEWATER PLAN



1101 CAPITAL OF TEXAS HIGHWAY SOUTH  
 SUITE 110  
 DALLAS, TEXAS 75241  
 PHONE: 972.452.4647  
 FAX: 972.452.6904  
 Texas Registered Engineering Firm F-233



DESIGNED BY: N/A  
 DRAWN BY: SJA  
 CHECKED BY: JB  
 APPROVED BY: JB  
 DATE: 4/22/23  
 JOB NO.:  
 SHEET NO.: 8 OF 8

PLOT DATE: 2023-04-22  
 FILE LOCATION: C:\Users\jblake\OneDrive\Documents\Projects\Driftwood\Phase Three\DWG\DWG\DRIFTWOOD PHASE THREE PRELIMINARY PLAN WASTEWATER.DWG





# Planning and Zoning Commission Planning Department Staff Report

Item 6.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2021-0012  
**Project Planner:** Tory Carpenter, AICP, Senior Planner

### Item Details

**Project Name:** Caliterra Phase 4 Section 12 Final Plat  
**Property Location:** Premier Park Loop  
**Legal Description:** A0415 Philip A Smith Survey, AC 158.048  
**Applicant:** Bill Couch, Carlson Brigance and Doering, Inc.  
**Property Owner:** Development Solutions Cat, LLC  
**Request:** Final Plat Caliterra Phase 4 Section 12  
**Staff recommendation:** Approval of the Final Plat based on outstanding comments



### Location Map

SUB2021-0012  
 Caliterra Phase 4 Section 12  
 Final Plat

- Site
- Roads
- Dripping Springs ETJ
- Parcel Lines



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# Planning Department Staff Report

## Overview

The applicant is requesting to Final Plat Caliterra Phase 4 Section 12. The Caliterra development is planned as a low-density single-family residential development located South of Hwy 290 on Ranch Road 12, within the City of Dripping Springs Extraterritorial Jurisdiction (ETJ). Caliterra Phase 4 Section 12 is a portion of the Caliterra Concept Plan approved with the Caliterra Development Agreement. The 65.17-acre Final Plat consists of a total of 47 lots and right of way. The lots include 42 single family lots, and 5 open space lot.

## ACCESS AND TRANSPORTATION

Access to this project shall be from a continuation of existing Canal Drive and Bridgewater Loop built and barricaded with Section 8. The roadways in this subdivision compromise of 60' R.O.W.

## Recommendation:

Staff is recommending *approval* of the final plat.

The property is within a Development Agreement, once all comments have been met the proposed plat will be consistent and comply with the development standards set forth in the Development Agreement and City Ordinances.

## Outstanding Comments:

None

## Attachments

Subdivision Application

Caliterra Phase 4 Section 12 Final Plat

Recommended Action	Approve the Plat; Approve the Plat with Conditions
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	None received at this time
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



# CITY OF DRIPPING SPRINGS

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384  
Dripping Springs, TX 78620

• 512.858.4725 • www.cityofdrippingsprings.com

## SUBDIVISION APPLICATION

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

### MEETINGS REQUIRED

(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL  
CONSULTATION

DATE:  
\_\_\_\_\_

NOT  
SCHEDULED

PRE-APPLICATION  
CONFERENCE

DATE:  
\_\_\_\_\_

NOT SCHEDULED

### PLAT TYPE

Amending Plat

Minor Plat

Replat

Final Plat

Plat Vacation

Other: \_\_\_\_\_

### CONTACT INFORMATION

**APPLICANT NAME** Bill E. Couch  
**COMPANY** Carlson Brigrance and Doering, Inc.  
**STREET ADDRESS** 5501 W. Wm Cannon Dr.  
**CITY** Austin **STATE** TX **ZIP CODE** 78610  
**PHONE** 512 280-5160 **EMAIL** bill@cbdeng.com

**OWNER NAME** Greg Rich  
**COMPANY** Development Solutions CAT,  
**STREET ADDRESS** 12222 Merit Dr. Suite 1050  
**CITY** Dallas **STATE** TX **ZIP CODE** 78251  
**PHONE** (972) 960-2777 Ext. 103 **EMAIL** grich@siepiela.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Development Solutions CAT, LLC
PROPERTY ADDRESS	Premier Park Loop
CURRENT LEGAL DESCRIPTION	A0415 Philip A Smith Survey, AC 158.048
TAX ID #	R17804
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	158.048
SCHOOL DISTRICT	NA
ESD DISTRICT(S)	6
ZONING/PDD/OVERLAY	PDD
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: <u>Premier Park Loop</u>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Caliterra Development Agreement</u>

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Caliterra Phse 4 Section 12 Final Plat
TOTAL ACREAGE OF DEVELOPMENT	65.172
TOTAL NUMBER OF LOTS	47
AVERAGE SIZE OF LOTS	Min 3500 Sq ft. Lots
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>42</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: _____ COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>2.918</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY
<p><b>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</b></p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input checked="" type="checkbox"/> NO</p>	

COMMENTS: \_\_\_\_\_

TITLE: SR. Project Manager SIGNATURE: \_\_\_\_\_

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): PEC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): DSWSC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Bill E. Couch

Applicant Name

*Bill E. Couch*

2-1-21

Applicant Signature

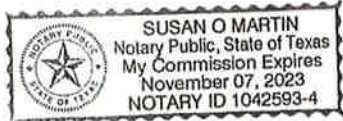
*Susan O. Martin*

Date  
*02/01/2021*

Notary

Date

Notary Stamp Here



Greg Rich

*Attorney-in-Fact*

Property Owner Name

*Greg Rich*

*2/1/21*  
Date





<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable).  *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Preliminary Conference Form signed by City Staff

<b>FINAL PLAT INFORMATION REQUIREMENTS</b>		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

512.858.4725 • [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com)

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

<b>NARRATIVE OF COMPLIANCE</b>	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	As required per Development Agreement
Parkland Dedication, Article 28.03	Parkland dedication provided
Landscaping and Tree Preservation, Article 28.06	Not subject to requirement (Development Agreement)

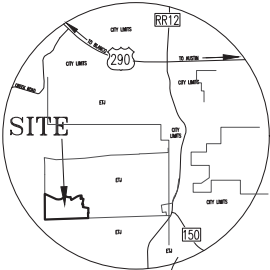
<p><b>Subdivision, 28.02, Exhibit A</b></p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>This project is subject to the water quality provisions of the Texas Commission on Environmental Quality (TCEQ) for the Edwards Aquifer Contributing Zone (CZP) with enhanced measures under RG-348A. The run-off from this project will be treated by proposed vegetative filter strips and two batch detention ponds. The ponds will control the 2 year, 10 year, 25 year, and 100 year storm event as described by the City of Austin Drainage Criteria Manual and return flows to below existing conditions. Majority of the storm runoff from onsite and entering the site from offsite will travel overland to streets, storm sewer lines and channels to the three batch detention ponds. Per the Development Agreement, the BMP's will be in series and will remove the required overall load to more than 80% for the site.</p> <p>Per the Development Agreement, TCEQ Optional Enhanced Measures apply to the project and all drainage is routed through a series of two BMP's minimum unless the runoff from the lots is naturally directed offsite.</p> <p>The tract is within the City of Dripping Springs Water Supply Corporation water service area. Caliterra Phase 4 Section 12 will utilize water stubs through existing water lines plugged at the boundary of the project which were provided in Caliterra Ph. 2 Section 8 subdivision construction.</p> <p>Wastewater service is within the City of Dripping Springs wastewater system installed with the subdivision. An 8" wastewater line was installed with the Caliterra Ph. 3 Section 9 through Bridgewater Loop.</p> <p>There is an existing treated effluent water line on the project site and will be extended from Phase 2 Section 8.</p> <p>Sedimentation/erosion controls are required and will be in accordance with TCEQ Contributing Zone requirements and City of Dripping Springs guidelines. The project proposes to use silt fence, stabilized construction entrances and inlet protections as temporary measures. Our revegetation plan will comply with City of Dripping Springs and Hays County standards.</p>
<p><b>Zoning, Article 30.02, Exhibit A</b></p>	<p><b>PDD Zoning</b></p>

# CALITERRA PHASE FOUR SECTION TWELVE

DATE: AUGUST 2, 2021  
 FEMA PANEL NO. 48209C0115F  
 EFFECTIVE DATE: SEPTEMBER 2, 2005

ENGINEER & SURVEYOR:  
 CARLSON, BRIGANCE & DOERING, INC.  
 5501 WEST WILLIAM CANNON DRIVE  
 AUSTIN, TX 78749  
 PHONE: 512-280-5160  
 FAX: 512-280-5165

OWNER:  
 DEVELOPMENT SOLUTIONS CAT, LLC.  
 901 IDS CENTER  
 80 SOUTH 8TH STREET  
 MINNEAPOLIS, MINNESOTA 55402



VICINITY MAP  
(N.T.S.)

SCALE 1" = 100'  
 GRAPHIC SCALE

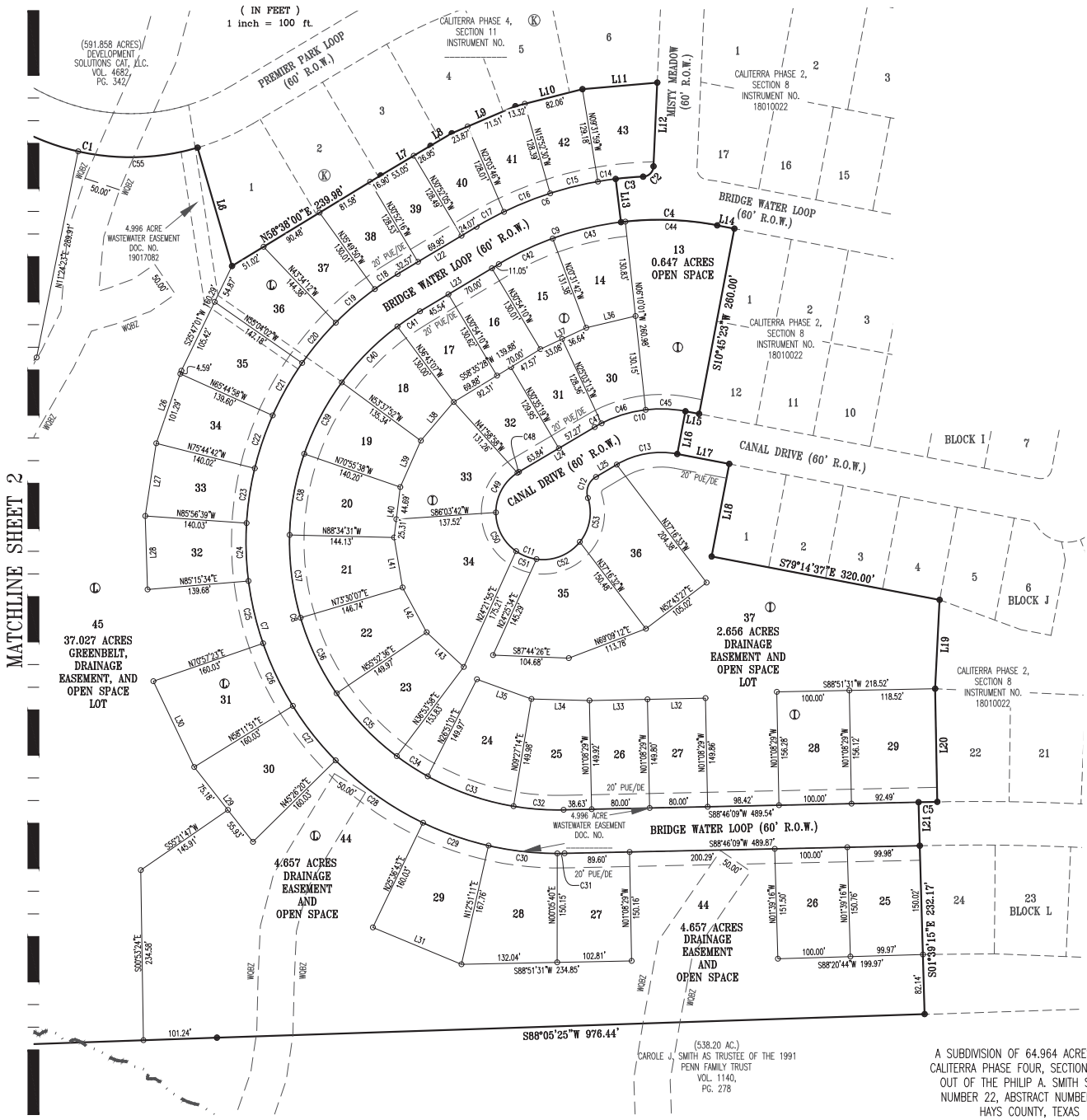


- LEGEND**
- 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
  - 1/2" CAPPED IRON ROD SET (UNLESS OTHERWISE NOTED)
  - ⊙ 5/8" IRON ROD FOUND
  - 17 LOT NUMBER
  - Ⓚ BLOCK DESIGNATION
  - (XX.XX) EASEMENT ANNOTATION

LINEAR FOOTAGE OF RIGHT-OF-WAY			
BRIDGE WATER LOOP (LOCAL STREET)	60' R.O.W.	1,857'	
CANAL DRIVE (LOCAL STREET)	60' R.O.W.	259'	
<b>TOTAL</b>		<b>2,116'</b>	

ACREAGE: 64.964 ACRES  
 SURVEY: PHILIP A. SMITH SURVEY NO. 26  
 ABSTRACT NO. 415  
 HAYS COUNTY, TEXAS

TOTAL NO. LOTS	47
NO. OF SINGLE FAMILY LOTS	42
NO. OF OPEN SPACE LOTS	2
NO. OF DRAINAGE & OPEN SPACE LOTS	2
NO. OF GREENBELT & OPEN SPACE LOTS	1
NO. OF BLOCKS	2



MATCHLINE SHEET 2

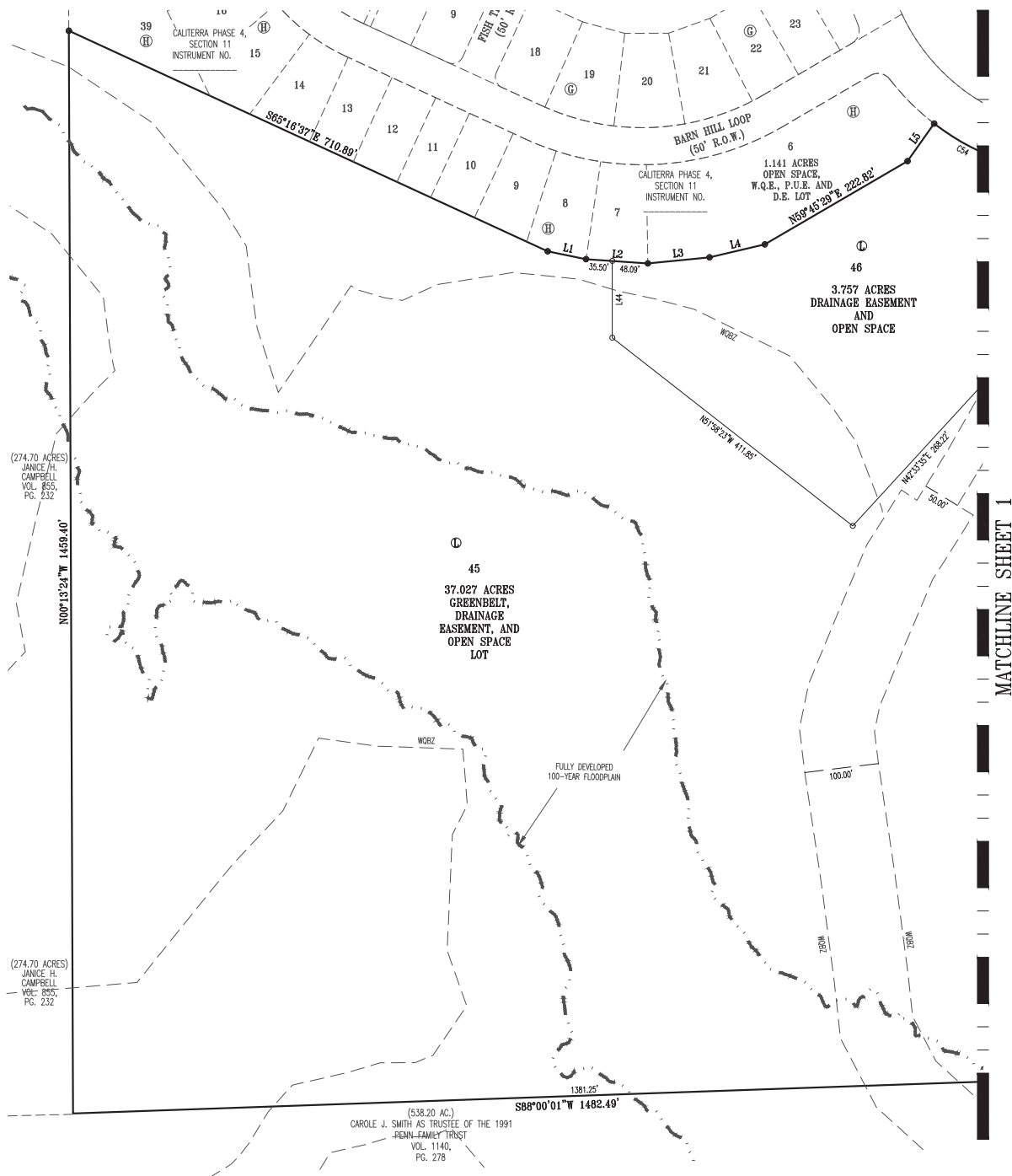
A SUBDIVISION OF 64.964 ACRES BEING CALITERRA PHASE FOUR, SECTION ELEVEN, OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, HAYS COUNTY, TEXAS

**SHEET NO. 1 OF 4**

**Carlson, Brigance & Doering, Inc.**  
 FIRM ID #13791 REG. # 10024900  
 Civil Engineering Surveying  
 5501 West William Cannon Austin, Texas 78749  
 Phone No. (512) 280-5160 Fax No. (512) 280-5165

# CALITERRA PHASE FOUR SECTION TWELVE

Item 6.



MATCHLINE SHEET 1

A SUBDIVISION OF 64.964 ACRES BEING  
CALITERRA PHASE FOUR, SECTION ELEVEN,  
OUT OF THE PHILIP A. SMITH SURVEY  
NUMBER 22, ABSTRACT NUMBER 415,  
HAYS COUNTY, TEXAS

**SHEET NO. 2 OF 4**

**Carlson, Brigrance & Doering, Inc.**

FIRM ID #F3791    REG. # 10024900

Civil Engineering    Surveying  
5501 West William Cannon    Austin, Texas 78749  
Phone No. (512) 280-5160    Fax No. (512) 280-5160



# CALITERRA PHASE FOUR SECTION TWELVE

Item 6.

Line #	Length	Direction
L1	52.83	S78°26'21"E
L2	83.59	S86°08'21"E
L3	83.59	N84°25'16"E
L4	76.48	N76°50'25"E
L5	62.10	N35°18'00"E
L6	169.97	S16°13'37"E
L7	80.00	N59°17'16"E
L8	34.03	N59°27'15"E

Line #	Length	Direction
L9	95.38	N68°58'24"E
L10	95.38	N75°47'48"E
L11	103.55	N84°57'05"E
L12	115.52	S02°33'18"W
L13	60.00	S06°59'33"E
L14	24.12	S79°14'37"E
L15	19.30	N79°14'37"W
L16	60.00	S10°45'23"W

Line #	Length	Direction
L17	72.95	S79°14'37"E
L18	130.00	S10°45'23"W
L19	122.73	S02°52'14"W
L20	155.91	S01°03'14"E
L21	60.00	S01°32'30"E
L22	126.59	S59°05'39"W
L23	126.59	S59°05'39"W
L24	121.11	S59°24'41"W

Line #	Length	Direction
L25	33.36	S59°24'41"W
L26	105.88	S19°05'13"W
L27	101.33	S08°39'10"W
L28	101.33	S01°47'57"E
L29	131.11	S38°10'55"E
L30	131.11	S25°25'23"E
L31	132.20	S67°25'53"E
L32	80.00	S86°43'23"W

Line #	Length	Direction
L33	80.00	S88°51'31"W
L34	80.00	S88°25'26"E
L35	80.00	S70°08'22"E
L36	70.00	S76°39'08"W
L37	69.72	S64°56'47"W
L38	70.00	S40°29'26"W
L39	70.00	S23°46'31"W
L40	70.00	S07°03'44"W

Line #	Length	Direction
L41	70.00	S09°38'54"E
L42	70.00	S28°11'04"E
L43	70.00	S46°59'49"E
L44	103.44	N00°01'33"E

Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C1	310.21	330.00	S79°17'49"E	298.91	167.64	53°51'36"
C2	22.23	15.00	S45°00'10"W	20.25	13.72	84°53'43"
C3	37.99	490.00	S85°13'44"W	37.98	19.01	4°26'33"
C4	133.20	430.00	S88°07'05"E	132.67	67.14	17°44'55"
C5	25.79	3030.00	S88°42'08"W	25.79	12.90	0°29'16"
C6	204.47	490.00	S71°02'57"W	202.99	103.74	23°54'31"
C7	1128.18	430.00	S16°04'06"E	831.32	1623.18	150°19'30"
C8	970.76	370.00	S16°04'06"E	715.33	1396.69	150°19'30"
C9	179.43	430.00	S71°02'56"W	178.13	91.04	23°54'29"
C10	129.85	180.00	S80°04'29"W	127.06	67.90	41°20'03"
C11	291.74	65.00	S69°10'08"E	101.63	81.48	25°09'38"
C12	33.67	25.00	S20°49'52"W	31.18	19.94	77°09'37"
C13	86.57	120.00	S80°04'29"W	84.70	45.27	41°20'03"
C14	24.71	490.00	S81°33'32"W	24.71	12.36	2°53'21"
C15	67.86	490.00	S76°08'50"W	67.80	33.98	7°56'04"
C16	68.68	490.00	S68°09'52"W	68.62	34.40	8°01'51"
C17	43.22	490.00	S61°37'19"W	43.21	21.63	5°03'15"
C18	37.81	430.00	S56°34'30"W	37.80	18.92	5°02'17"
C19	71.10	430.00	S49°19'09"W	71.02	35.63	9°28'24"

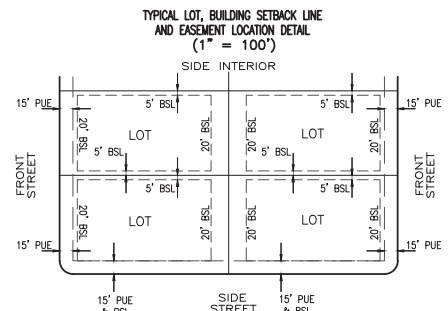
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C20	72.45	430.00	S39°45'20"W	72.36	36.31	9°39'13"
C21	83.14	430.00	S29°23'23"W	83.01	41.70	11°04'41"
C22	77.04	430.00	S18°43'06"W	76.94	38.62	10°15'54"
C23	76.54	430.00	S08°29'11"W	76.44	38.37	10°11'56"
C24	80.00	430.00	S01°56'33"E	79.88	40.11	10°39'33"
C25	88.35	430.00	S13°09'30"E	88.20	44.33	11°46'21"
C26	95.75	430.00	S29°25'25"E	95.55	48.07	12°45'28"
C27	95.75	430.00	S38°10'53"E	95.55	48.07	12°45'28"
C28	148.79	430.00	S54°28'23"E	148.05	75.15	19°49'32"
C29	95.75	430.00	S70°45'53"E	95.55	48.07	12°45'29"
C30	95.75	430.00	S83°31'22"E	95.55	48.07	12°45'29"
C31	9.96	430.00	N89°26'04"E	9.96	4.98	1°19'40"
C32	69.24	370.00	S89°52'06"E	69.14	34.72	10°43'22"
C33	125.96	370.00	S70°45'16"E	125.35	63.59	19°30'17"
C34	51.05	370.00	S57°02'57"E	51.01	25.57	7°54'21"
C35	120.49	370.00	S43°46'01"E	119.96	60.78	18°39'30"
C36	115.74	370.00	S29°28'07"E	115.37	58.40	17°56'18"
C37	115.83	370.00	S07°32'19"E	115.26	58.34	17°55'18"
C38	113.96	370.00	S10°14'44"W	113.51	57.43	17°38'48"

Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C39	111.69	370.00	S27°42'59"W	111.26	56.27	17°17'43"
C40	109.21	370.00	S44°49'13"W	108.82	55.01	16°54'44"
C41	37.57	370.00	S56°11'07"W	37.55	18.80	5°49'04"
C42	82.47	430.00	S64°35'22"W	82.35	41.36	10°59'21"
C43	103.03	430.00	S76°56'53"W	102.78	51.76	13°43'40"
C44	127.13	430.00	N87°43'10"W	126.67	64.03	16°56'23"
C45	54.98	180.00	N88°00'31"W	54.77	27.71	17°30'03"
C46	64.03	180.00	S73°03'00"W	63.69	32.36	20°22'55"
C47	10.84	180.00	S61°08'00"W	10.84	5.42	3°27'04"
C48	2.54	60.00	S58°12'03"W	2.54	1.27	2°25'16"
C49	64.87	65.00	S28°35'35"W	62.21	35.42	57°10'42"
C50	62.89	65.00	S27°37'38"E	60.29	34.03	55°15'43"
C51	30.47	65.00	S68°41'08"E	30.19	15.52	26°51'17"
C52	67.25	65.00	N68°14'51"E	64.29	36.98	59°16'47"
C53	63.93	65.00	N10°25'45"E	61.39	34.82	56°21'24"
C54	143.74	330.00	S64°50'44"E	142.61	73.03	24°57'25"
C55	166.47	330.00	N88°13'28"E	164.71	85.05	28°54'11"

AREA TABLE		
AREA WITHIN SUBDIVISION	64.964 ACRES	(2,829,836 sq. ft.)
AREA OF SINGLE FAMILY LOTS	13.120 ACRES	(571,507 sq. ft.)
AREA WITHIN PRIVATE STREETS	3.071 ACRES	(133,772 sq. ft.)
BLOCK 'I'		
LOT NO.	ACREAGE	SQ. FT.
25	0.345 ACRES	15,036 SQ. FT.
26	0.347 ACRES	15,113 SQ. FT.
27	0.349 ACRES	15,187 SQ. FT.
28	0.406 ACRES	17,706 SQ. FT.
29	0.421 ACRES	18,357 SQ. FT.
30	0.410 ACRES	17,854 SQ. FT.
31	0.410 ACRES	17,854 SQ. FT.
32	0.288 ACRES	12,531 SQ. FT.
33	0.283 ACRES	12,310 SQ. FT.
34	0.283 ACRES	12,323 SQ. FT.
35	0.314 ACRES	13,672 SQ. FT.
36	0.305 ACRES	13,298 SQ. FT.
37	0.251 ACRES	10,915 SQ. FT.
38	0.224 ACRES	9,769 SQ. FT.
39	0.206 ACRES	8,995 SQ. FT.
40	0.224 ACRES	9,777 SQ. FT.
41	0.225 ACRES	9,818 SQ. FT.
42	0.220 ACRES	9,579 SQ. FT.
43	0.263 ACRES	11,445 SQ. FT.
44	4.657 ACRES	202,854 SQ. FT.
45	37.027 ACRES	1,612,891 SQ. FT.
46	3.757 ACRES	163,676 SQ. FT.

BLOCK 'J'		
LOT NO.	ACREAGE	SQ. FT.
13	0.647 ACRES	29,370 SQ. FT.
14	0.263 ACRES	11,448 SQ. FT.
15	0.247 ACRES	10,765 SQ. FT.
16	0.209 ACRES	9,122 SQ. FT.
17	0.230 ACRES	10,000 SQ. FT.
18	0.276 ACRES	12,013 SQ. FT.
19	0.290 ACRES	12,646 SQ. FT.
20	0.303 ACRES	13,215 SQ. FT.
21	0.313 ACRES	13,651 SQ. FT.
22	0.320 ACRES	13,930 SQ. FT.
23	0.335 ACRES	14,614 SQ. FT.
24	0.360 ACRES	15,665 SQ. FT.
25	0.326 ACRES	14,199 SQ. FT.
26	0.275 ACRES	11,989 SQ. FT.
27	0.275 ACRES	11,987 SQ. FT.
28	0.359 ACRES	15,620 SQ. FT.
29	0.424 ACRES	18,743 SQ. FT.
30	0.252 ACRES	10,962 SQ. FT.
31	0.222 ACRES	9,659 SQ. FT.
32	0.236 ACRES	10,267 SQ. FT.
33	0.374 ACRES	16,309 SQ. FT.
34	0.530 ACRES	23,096 SQ. FT.
35	0.461 ACRES	20,093 SQ. FT.
36	0.466 ACRES	12,361 SQ. FT.
37	2.656 ACRES	115,678 SQ. FT.

LOT SIZE	NO.
< 1 ACRE	43
1-2 ACRE	0
2-5 ACRE	3
5-10 ACRE	0
> 10 ACRE	1
MINIMUM LOT SIZE: 0.220 AC (9,579 sq. ft.)	
AVERAGE LOT SIZE: 1.316 AC (57,324 sq. ft.)	



A SUBDIVISION OF 64.964 ACRES BEING CALITERRA PHASE FOUR, SECTION ELEVEN, OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, HAYS COUNTY, TEXAS

**SHEET NO. 3 OF 4**

**Carlson, Brigrance & Doering, Inc.**  
 FIRM ID #13791      REG. # 10024900  
 Civil Engineering      Surveying  
 5501 West William Cannon      Austin, Texas 78749  
 Phone No. (512) 280-5160      Fax No. (512) 280-5160

# CALITERRA PHASE FOUR SECTION TWELVE

Item 6.

STATE OF TEXAS }  
COUNTY OF HAYS }

KNOW ALL MEN BY THESE PRESENTS:  
THAT DEVELOPMENT SOLUTIONS CAT, LLC, ACTING BY AND THROUGH ITS MANAGER, GREGORY L. RICH, BEING THE OWNER OF A CALLED 591.858 ACRES OF LAND OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, SITUATED IN HAYS COUNTY, TEXAS, AS CONVEYED BY DEED RECORDED IN VOLUME 4682, PAGE 342 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE 64.964 ACRES OF LAND IN ACCORDANCE WITH THIS PLAT, TO BE KNOWN AS:

**"CALITERRA PHASE FOUR SECTION TWELVE"**

SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETO GRANTED AND NOT RELEASED, AND DO HEREBY DEDICATED TO THE PUBLIC USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_ A.D.

By: \_\_\_\_\_  
GREGORY L. RICH, MANAGER  
DEVELOPMENT SOLUTIONS CAT, LLC  
901 IDS CENTER  
80 SOUTH 8TH STREET  
MINNEAPOLIS, MINNESOTA 55402

STATE OF TEXAS }  
COUNTY OF HAYS }

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY NAME \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

CITY OF DRIPPING SPRINGS ADMINISTRATIVE PLAT APPROVAL

THIS PLAT, CALITERRA PHASE FOUR SECTION TWELVE, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS, AS A FINAL PLAT FOR ADMINISTRATIVE APPROVAL PURSUANT TO ORDINANCE 1230.09, AND HAS BEEN FOUND TO COMPLY WITH THE DEVELOPMENT CODE OF ORDINANCES, AND IS HEREBY APPROVED ADMINISTRATIVELY.

\_\_\_\_\_  
MICHELLE FISCHER, CITY ADMINISTRATOR

DATE: \_\_\_\_\_

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION, TO-WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR STATE APPROVED COMMUNITY WATER SYSTEM

\_\_\_\_\_  
CHAD GILPIN, P.E. - CITY ENGINEER

DATE: \_\_\_\_\_

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLY AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER SOURCE.

NO STRUCTURE OR OTHER DEVELOPMENT IN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED.

\_\_\_\_\_  
MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

\_\_\_\_\_  
ERIC VAN GAASBEEK, R.S., C.F.M.  
INTERIM HAYS COUNTY FLOODPLAIN ADMINISTRATOR

STATE OF TEXAS }  
COUNTY OF HAYS }

I, THE UNDERSIGNED, DIRECTOR OF HAYS COUNTY DEVELOPMENT SERVICES, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF DRIPPING SPRINGS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.

\_\_\_\_\_  
MARCUS PACHECO, DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

DATE: \_\_\_\_\_

I, ELAINE HANSON CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_ A.D., AT \_\_\_\_\_ O'CLOCK \_\_\_\_M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, AS DOCUMENT NO. \_\_\_\_\_

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_ A.D.

\_\_\_\_\_  
ELAINE HANSON CARDENAS BY: \_\_\_\_\_  
COUNTY CLERK  
HAYS COUNTY, TEXAS

GENERAL NOTES:

1. THIS FINAL PLAT IS WITHIN THE EXTRA TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF DRIPPING SPRINGS.
2. NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
3. THIS PLAT LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER ZONE.
4. THIS PLAT IS LOCATED WITHIN THE BOUNDARIES OF THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT.
5. THIS PLAT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
6. ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
7. NO PORTION OF THE SUBJECT PLAT PROPERTY IS LOCATED WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN AS DELINEATED ON F.I.R.M. PANEL NO 48209C 0115F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
8. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM THE DRIPPING SPRINGS WATER SUPPLY CORPORATION.
9. ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF DRIPPING SPRINGS.
10. ELECTRIC SERVICE WILL BE PROVIDED BY THE PEDERNALES ELECTRIC COOPERATIVE.
11. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.
12. IF GAS LINES ARE NOT INCLUDED IN THE CONSTRUCTION PLANS, THERE WILL BE SEPARATE SITE DEVELOPMENT PLAN, APPLICATION, AND FEES REQUIRED.
13. MINIMUM FRONT SETBACK SHALL BE 20'.
14. MINIMUM REAR SETBACK SHALL BE 20'.
15. MINIMUM SIDE AND INTERIOR SIDE YARD SETBACKS SHALL BE 5'.
16. MINIMUM SIDE YARD SETBACKS ADJACENT TO A PUBLIC STREET SHALL BE 15'.
17. UTILITY EASEMENTS OF 15 FEET SHALL BE LOCATED ALONG EACH SIDE OF DEDICATED R.O.W.
18. ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF DRIPPING SPRINGS AND HAYS COUNTY DEVELOPMENT REGULATIONS.
19. NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
20. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED COMMUNITY WATER SYSTEM.
21. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED ORGANIZED WASTE WATER SYSTEM.
22. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL OF HAYS COUNTY DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED.
23. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE CITY RIGHT-OF-WAY HAS BEEN ISSUED UNDER AND (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENTS FOR DRIVEWAYS AS SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
24. DEVELOPMENT AND RESTRICTIONS WITHIN THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S (TCEQ) OPTIONAL ENHANCED MEASURES FOR THE PROTECTION OF WATER QUALITY IN THE EDWARDS AQUIFER (REVISED) OR AS PERMITTED BY THE TCEQ.
25. ALL LOTS ARE REQUIRED TO COMPLY WITH THE THEN CURRENT ADOPTED BUILDING CODE AS ADOPTED BY THE CITY OF DRIPPING SPRINGS, AND THE FIRE CODE ADOPTED BY ESD #6. THIS IS TO INCLUDE THE PULLING OF BUILDING PERMITS THROUGH THE CITY OF FOR ALL APPLICABLE CONSTRUCTION.
26. PER THE DEVELOPMENT AGREEMENT BETWEEN CITY OF DRIPPING SPRINGS AND DEVELOPMENT SOLUTIONS CAT, LLC, THE CALITERRA DEVELOPMENT PROJECT IS SUBJECT TO AN INTEGRATED PEST MANAGEMENT (IPM) PLAN.
27. POST-DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN THE PRE-DEVELOPED CONDITION FOR 2, 5, 10, 25, AND 100 YEAR STORM EVENTS, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 725, SUBCHAPTER 3.02. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
28. ALL ROADWAYS IN THIS DEVELOPMENT ARE TO BE DEDICATED TO THE PUBLIC AND MAINTAINED BY HAYS COUNTY.
29. THIS DEVELOPMENT IS SUBJECT TO THE DEVELOPMENT AGREEMENT DATED JANUARY 14, 2014 BETWEEN THE CITY OF DRIPPING SPRINGS AND DEVELOPMENT SOLUTIONS CAT, LLC., RECORDED IN VOLUME 4978, PAGE 215 (DOCUMENT NUMBER 14022130 OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS).
30. HAYS COUNTY DEVELOPMENT DISTRICT NO. 1 WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORMWATER UTILITIES AND PONDS.
31. THE INTENT OF THIS PROJECT IS TO COMPLY WITH THE CITY OF DRIPPING SPRINGS LIGHTING ORDINANCE.
32. PEC EASEMENTS OF FIVE (5) FEET SHALL BE LOCATED ALONG EACH SIDE LOT LINE, A/C PADS AND A/C UNITS SHALL BE ALLOWED TO ENCROACH WITHIN THE PEC EASEMENT PER CONSULTATION WITH PEC.
33. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.

STATE OF TEXAS:  
COUNTY OF TRAVIS:

I, BRETT R. PASQUARELLA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT. I CERTIFY TO THE COMPLETENESS, ACCURACY AND COMPLIANCE TO THE CITY OF DRIPPING SPRINGS SUBDIVISION ORDINANCES.

FLOOD PLAIN NOTE: NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL INSURANCE RATE MAP PANEL NO. 48209C0115F, BOTH DATED SEPTEMBER 02, 2005.

ENGINEERING BY: \_\_\_\_\_  
BRETT R. PASQUARELLA, P.E., No. 84769 DATE \_\_\_\_\_  
CARLSON, BRIGANCE & DOERING, INC.  
5501 WEST WILLIAM CANNON DRIVE,  
AUSTIN, TEXAS 78749



STATE OF TEXAS:  
COUNTY OF TRAVIS:

I, AARON V. THOMASON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF THE CITY OF DRIPPING SPRINGS, TEXAS, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

SURVEYED BY: \_\_\_\_\_  
AARON V. THOMASON, R.P.L.S. NO. 6214 DATE \_\_\_\_\_  
CARLSON, BRIGANCE & DOERING, INC.  
5501 WEST WILLIAM CANNON DRIVE  
AUSTIN, TEXAS 78749



THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

A SUBDIVISION OF 64.964 ACRES BEING CALITERRA PHASE FOUR, SECTION ELEVEN, OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, HAYS COUNTY, TEXAS

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF ENGINEER OR SURVEYOR.

**SHEET NO. 4 OF 4**

**Carlson, Brigance & Doering, Inc.**

FIRM ID #F3791    REG. # 10024900

Civil Engineering    Surveying

5501 West William Cannon    Austin, Texas 78749

Phone No. (512) 280-5160    Fax No. (512) 280-5160

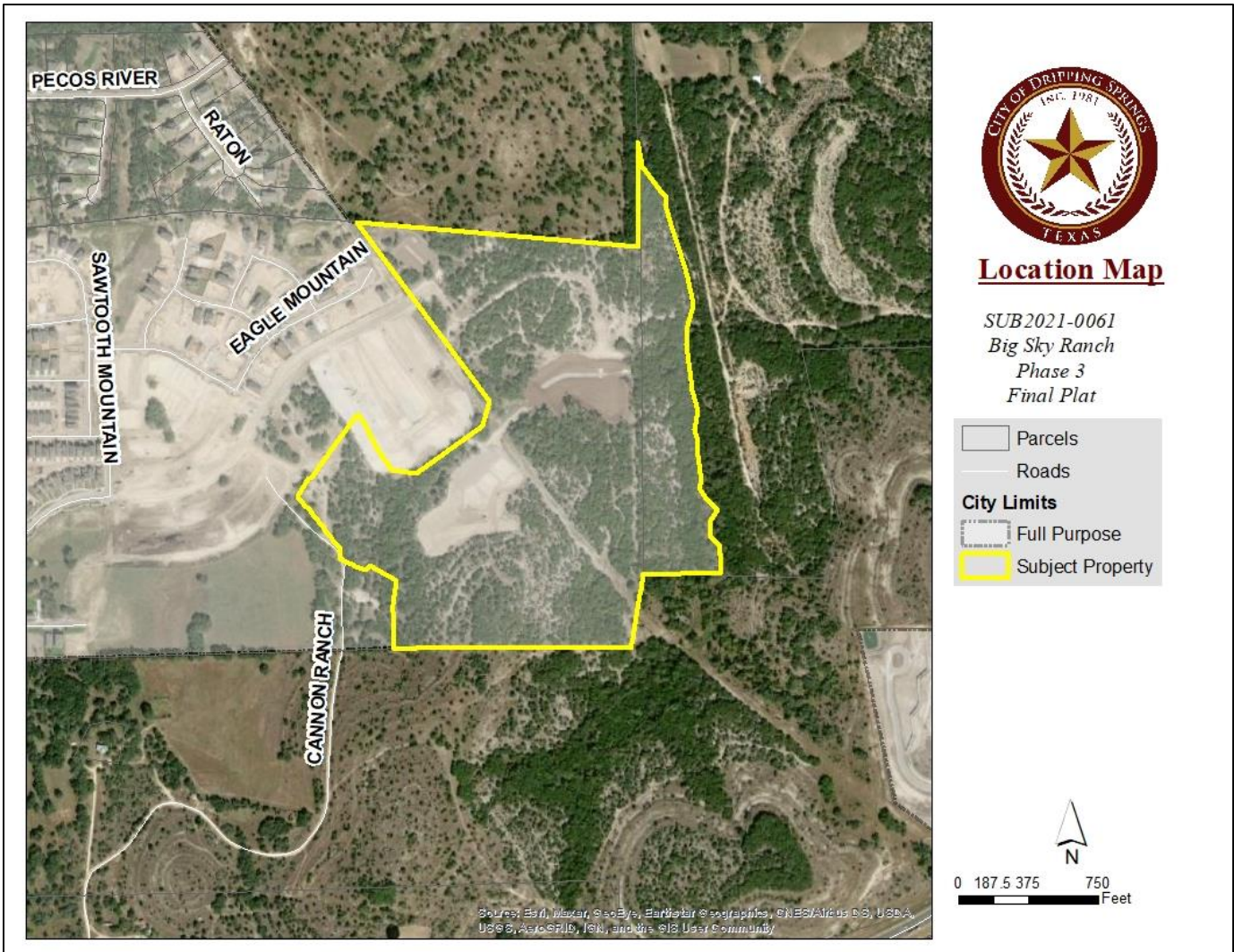


# Planning & Zoning Commission Planning Department Staff Report

**P&Z Meeting:** November 9, 2021  
**Project Number:** SUB2021-0061  
**Project Planner:** Tory Carpenter, Senior Planner

### Item Details

**Project Name:** Big Sky Phase 3  
**Property Location:** Sue Peaks Loop and Diablo Rim Terrace  
**Legal Description:** 81.71 acres out of the Philip A. Smith Survey  
**Applicant:** Christopher Reid, P.E. – Doucet & Associates  
**Property Owner:** Meritage Homes of Texas, LLC  
**Request:** A residential final plat.



## Overview

The applicant is requesting approval of a final plat consisting of 215 residential lots.

## Action Requested

*Conditional approval to address comments.*

## Site Information

**Location:**

Sue Peaks Loop and Diablo Rim Terrace

**Zoning Designation:** PDD 10

## Property History

PDD 10 was approved in October 2018 and the revised preliminary plat was approved May 2021.

## Recommendation

Staff is recommending approval with the following conditions.

1. Replace Michelle Fischer’s signature with one for the “Planning & Zoning Commission Chair or Vice Chair,” and another for the “City Secretary.”
2. Complete the public improvements or provide surety for the public improvements.

## Attachments

Exhibit 1 – Plat

Exhibit 2 - Application

Recommended Action:	Conditional approval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



**DRIPPING SPRINGS**  
Texas

Item 7.

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

## SUBDIVISION APPLICATION

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**  
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL	PRE-APPLICATION
CONSULTATION	CONFERENCE
DATE:	DATE:
_____	9/28/21
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

**PLAT TYPE**

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: \_\_\_\_\_

### CONTACT INFORMATION

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**APPLICANT NAME** Christopher Reid, PE  
**COMPANY** Doucet  
**STREET ADDRESS** 7401B Hwy. 71 W., Ste. 160  
**CITY** Austin **STATE** Texas **ZIP CODE** 78735  
**PHONE** (512)583-2600 **EMAIL** creid@doucetengineers.com

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**OWNER NAME** Elliot Jones  
**COMPANY** Meritage Homes of Texas, LLC  
**STREET ADDRESS** 8920 Business Park Drive, Suite 350  
**CITY** Austin **STATE** Texas **ZIP CODE** 78759  
**PHONE** (512) 610-4853 **EMAIL** elliot.jones@meritagehomes.com

**PROPERTY INFORMATION**


PROPERTY OWNER NAME	Meritage Homes of Texas, LLC	
PROPERTY ADDRESS	n/a	
CURRENT LEGAL DESCRIPTION	ABS 415 Philip A Smith Survey	
TAX ID #	R18077	
LOCATED IN	<input checked="" type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction	
CURRENT LAND ACREAGE	212.4	
SCHOOL DISTRICT	Dripping Springs Independent School District	
ESD DISTRICT(S)	ESD 6	
ZONING/PDD/OVERLAY	PDD 10	
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: <u>Sue Peaks Loop</u>	
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Scott Ranch</u>	

**ENVIRONMENTAL INFORMATION**

IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Big Sky Ranch Phase 3 at Dripping Springs
TOTAL ACREAGE OF DEVELOPMENT	81.71 acres
TOTAL NUMBER OF LOTS	224
AVERAGE SIZE OF LOTS	7,901 SF
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>215</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>81.71</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>8,959</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO   <span style="color: red;">Not applicable</span></p>	

COMMENTS: \_\_\_\_\_

TITLE: Senior Project Manager SIGNATURE:  10/1/21

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): Pedernales Electric Cooperative (PEC)

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Charter Communications dba Spectrum

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): Dripping Springs Water Supply Corporation

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): Texas Gas Service

VERIFICATION LETTER ATTACHED  NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE



**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Christopher A. Reid, P.E.  
\_\_\_\_\_

Applicant Name

*Elliot Jones*  
\_\_\_\_\_

10/1/21  
\_\_\_\_\_

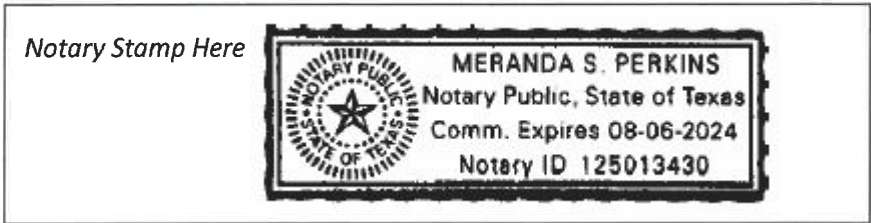
Applicant Signature

*Meranda S. Perkins*  
\_\_\_\_\_

Date  
10/01/2021  
\_\_\_\_\_

Notary

Date



Meritage Homes of Texas, LLC (Elliot Jones)  
\_\_\_\_\_


Property Owner Name

*Elliot Jones*  
\_\_\_\_\_

10-1-21  
\_\_\_\_\_

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 10/1/21

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	N/A <input type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	N/A <input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	N/A <input type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	N/A <input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	N/A <input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	N/A <input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	N/A <input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff <span style="color: red;">Meeting was held 9/28/21, no form was provided.</span>

**FINAL PLAT INFORMATION REQUIREMENTS**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

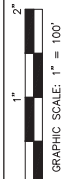
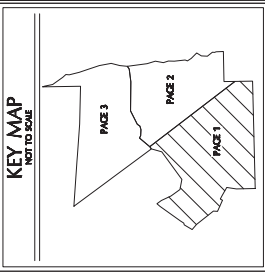
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>Outdoor lighting will be constructed in accordance to Development Agreement and City standards.</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Minimum parkland required is 1 acre per 25 LUEs for residential development. Big Sky Ranch Subdivision proposes 804 LUEs with a minimum required parkland of 32.2 acres. Provided public parkland is 33.8 acres, provided private parkland is 3.5 acres, and provided private open space is 15.7 acres. See Preliminary Plat for Site Data Table and Parkland Summary.</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>Per Planned Development District No. 10 (PDD #10), a cash-in-lieu credit of \$1,056,000 is provided for the development and the total cost of tree replacement exceeds the minimum total cost per acre of disturbance.</p>

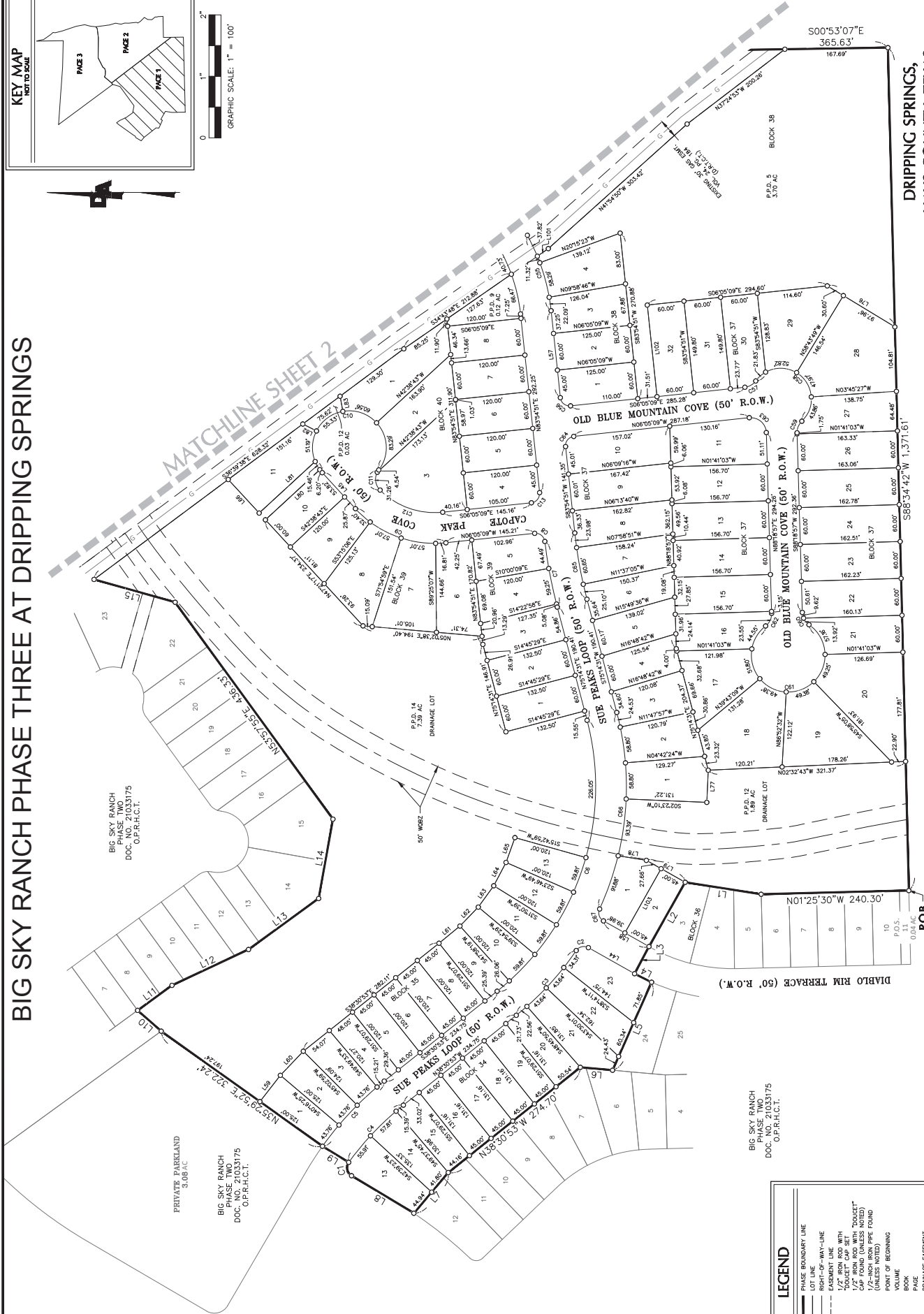
Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable). Public and private improvements are in conformance with the approved Development Agreement and Preliminary Plat. Additionally, a Contributing Zone Plan Application was submitted and approved by TCEQ for water quality treatment for the proposed development. A copy of the recorded approval letter is enclosed.
Zoning, Article 30.02, Exhibit A	Proposed use is in conformance with approved Development Agreement and PDD #10.



# BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS



**MATCHLINE SHEET 2**



**LEGEND**

—	PHASE BOUNDARY LINE
—	LOT LINE
- - -	RIGHT-OF-WAY LINE
—	EASEMENT LINE
○	1/2" IRON ROD WITH 'DOUCET' BRAND ENGRAVING (PER PERMITS) (UNLESS NOTED)
●	1/2" IRON ROD (UNLESS NOTED)
○	POINT OF BEGINNING
—	VOLUME
P.A.B.	PUBLIC ADDRESS BOX
P.C.	PARK
D.E.	DRAINAGE EASEMENT
R.O.W.	RIGHT-OF-WAY
P.P.D.	PUBLIC PARK DISTRICT
P.O.S.	PRIVATE OPEN SPACE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
W.M.E.	WASTEWATER EASEMENT
W.B.Z.	WATER QUALITY BUFFER ZONE
P.L.S.	PLAT RECORDS
O.P.R.H.C.T.	OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
C.T.	C.O.R.
C.T.	C.O.R.

**DA DOUCET & ASSOCIATES**  
 Civil and Surveying Engineers  
 7401 B. Highway 71 W., Suite 400  
 Austin, Texas 78735. Phone: (512) 583-2400  
 www.doucetengineers.com  
 1846 Elmwood Drive, Suite 100  
 Drilling Springs, TX 77950

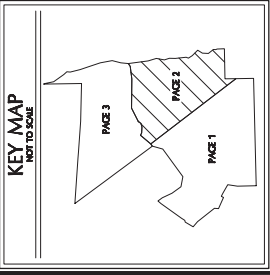
**Item 7.**

Date: 04/04/2022  
 Scale: 1" = 100'  
 Drawn by: JMF  
 Project: 168  
 Sheet: 1  
 Field Book:  
 Party Chgt:  
 Survey Date:

**DRIPPING SPRINGS, TEXAS**  
**HAYS COUNTY, TEXAS**

CANNON FAMILY LTD.  
 CALLED 237.3545 ACRES  
 VOL. 65, P. 313  
 O.P.R.H.C.T.

# BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS

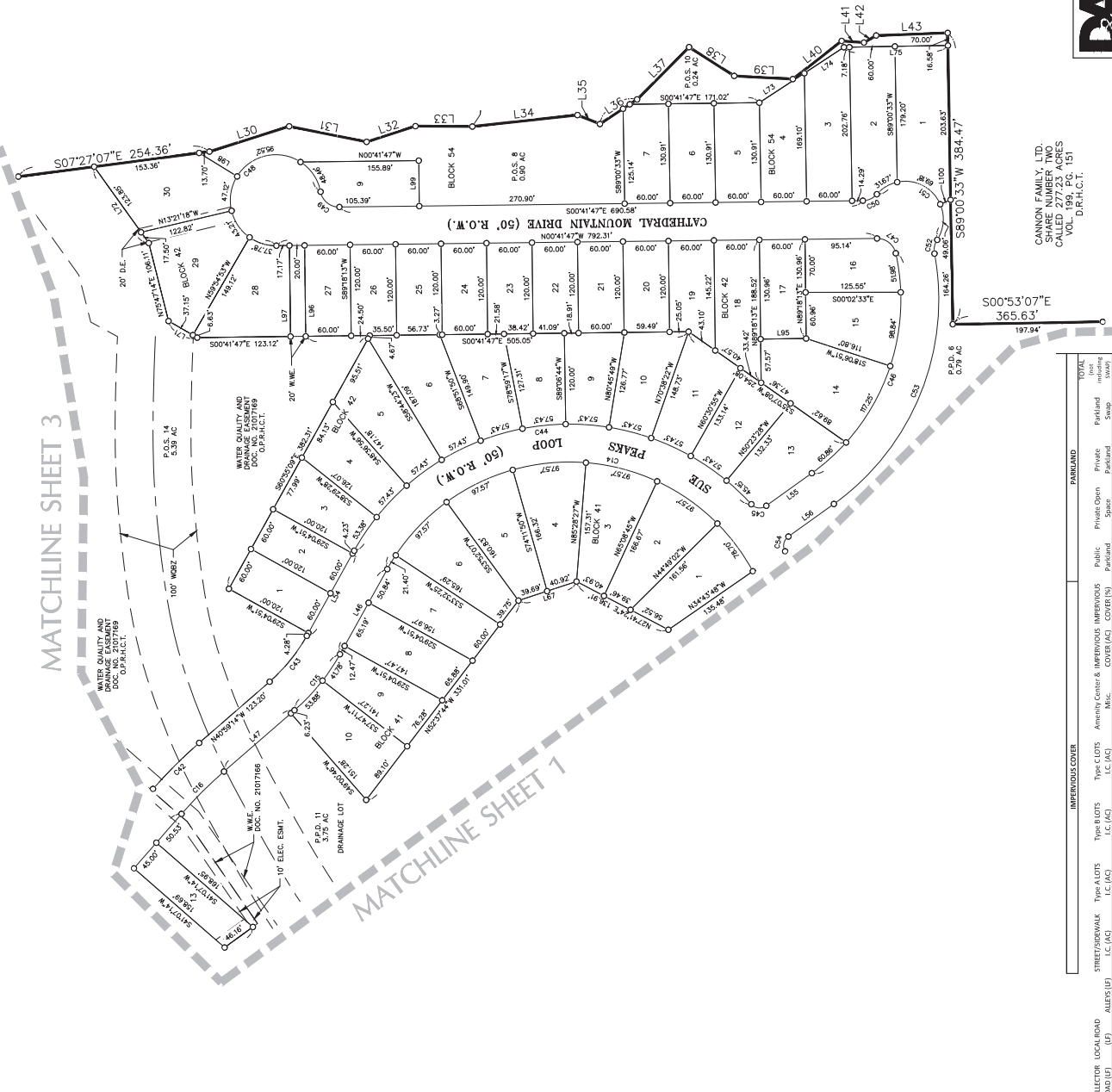


GRAPHIC SCALE: 1" = 100'

CYANURE CORPORATION  
CALLED 294-1/3 ACRES  
VOL. 258, PG. 123  
D.R.H.C.T.

MATCHLINE SHEET 3

MATCHLINE SHEET 1



CANNON FAMILY, LTD.  
SHARE NUMBER TWO  
CALLED 199.70 ACRES  
VOL. 199, PG. 151  
D.R.H.C.T.

DRIPPING SPRINGS,  
HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
Professional Engineers and Surveyors  
7400 B. Highway 71 W, Suite 40  
Austin, Texas 78735. Phone: (512)-583-2600  
www.douceterengineers.com  
Firm No. 2100880  
FBE Firm No. 51387

Date: 04/04/2022  
Scale: 1" = 100'  
Drawn by: JWF  
Reviewer: [Name]  
Project: 168  
Sheet: 2  
Field Book: [Number]  
Party Chgr: [Name]  
Survey Date: [Date]

Item 7.

SITE DATA TABLE

REQUIRED	Type A		Type B		Type C		Type D		Type E		Type F		TOTAL	
	LOTS	AC.	LOTS	AC.	LOTS	AC.	LOTS	AC.	LOTS	AC.	LOTS	AC.		LOTS
STRETA	200.00	1580	250	1950	300	2300	350	2700	400	3100	500	3900	1350	10500
RESIDENTIAL	100	7012	100	7012	100	7012	100	7012	100	7012	100	7012	100	7012
IMPERVIOUS COVER	0	0	0	0	0	0	0	0	0	0	0	0	0	0
PERMANENT	0	0	0	0	0	0	0	0	0	0	0	0	0	0
AMENITY CENTER	0	0	0	0	0	0	0	0	0	0	0	0	0	0
IMPERVIOUS IMPROVEMENTS	0	0	0	0	0	0	0	0	0	0	0	0	0	0
SWAMP	0	0	0	0	0	0	0	0	0	0	0	0	0	0
PRIVATE SWAMP	0	0	0	0	0	0	0	0	0	0	0	0	0	0
PARCEL SWAMP	0	0	0	0	0	0	0	0	0	0	0	0	0	0
PARKLAND SWAMP	0	0	0	0	0	0	0	0	0	0	0	0	0	0
SWAMP	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	200.00	1580	250	1950	300	2300	350	2700	400	3100	500	3900	1350	10500

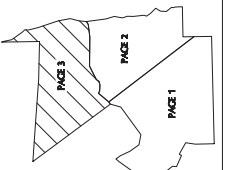
**LEGEND**

- PHASE BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- 1/2" IRON ROD WITH DOUGLET CAP SET (CAP FOUND (UNLESS NOTED) (UNLESS NOTED)
- 1/2-INCH IRON PIPE FOUND (UNLESS NOTED)
- P.O.B. POINT OF BEGINNING
- BK. BOOK
- FS. PAGE
- D.E. DRAINAGE EASEMENT
- P.S.W. PUBLIC WORKS DISTRICT
- P.A.S. PRIVATE OPEN SPACE
- B.S.L. BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- W.W.E. WASTEWATER EASEMENT
- W.B. WASTEWATER BUFFER ZONE
- P.R.H.C.T. HAYS COUNTY, TEXAS
- O.P.A.H.C.T. HAYS COUNTY, TEXAS
- D.R.H.C.T. HAYS COUNTY, TEXAS

# BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS

## KEY MAP

NOT TO SCALE

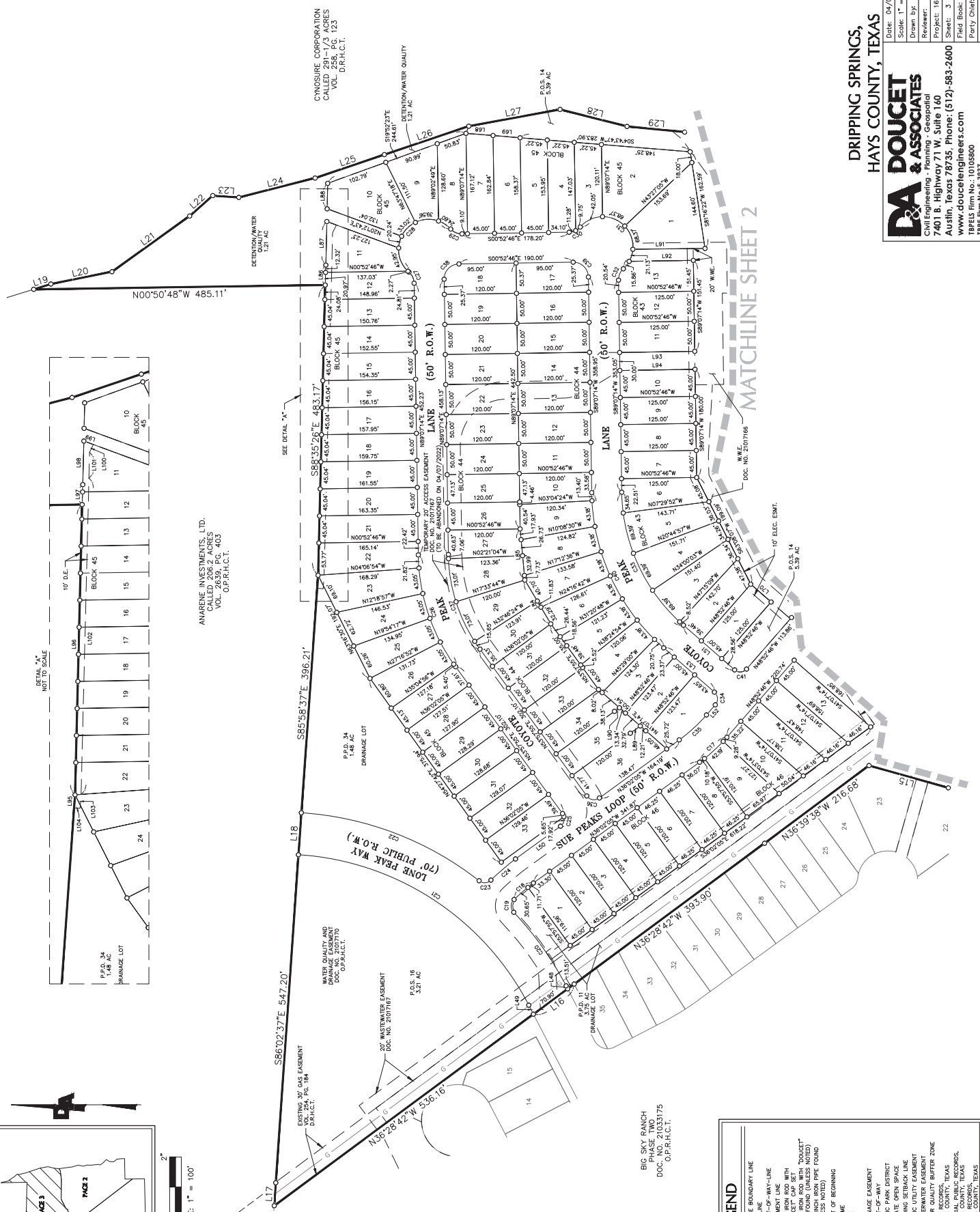


GRAPHIC SCALE: 1" = 100'

LOT 26, BLOCK C  
FOUNTHOUSE HILLS  
SECTION TWO  
VOL. 151, P.C. 204  
O.P.R.H.C.T.

ANARENE INVESTMENTS, LTD.  
CALLED 206.2 ACRES  
VOL. 79, P.C. 403  
O.P.R.H.C.T.

CYNOSURE CORPORATION  
CALLED 258.7 AC  
VOL. 258, P.C. 123  
O.P.R.H.C.T.



LEGEND	
---	PHASE BOUNDARY LINE
---	LOT LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
○	1/2" IRON ROD WITH 'DOUGLET' (UNLESS NOTED)
●	1/2" IRON ROD WITH 'DOUGLET' (UNLESS NOTED)
○	POINT OF BEGINNING
○	VOLUME
○	P.A.B.
○	P.C.
○	P.T.
○	D.E.
○	R.O.W.
○	P.P.D.
○	P.S.
○	P.U.E.
○	W.A.S.
○	W.M.E.
○	W.B.Z.
○	PLAT RECORDS
○	OFFICIAL PUBLIC RECORDS
○	HAYS COUNTY, TEXAS
○	HAYS COUNTY, TEXAS

BIG SKY RANCH  
PHASE TWO  
DOC. NO. 21033175  
O.P.R.H.C.T.

123

DATE: 04/04/2022  
SCALE: 1" = 100'  
DRAWN BY: JWF  
PROJECT: 168  
SHEET: 3  
FIELD BOOK:  
PARTY DNR:  
SURVEY DATE:

DRIPPING SPRINGS,  
HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
Professional Engineers & Surveyors  
7401 B. Highway 771 W. Suite 400  
Austin, Texas 78735. Phone: (512)-583-2400  
www.doucetengineers.com  
188E Firm No. 3-100880

Item 7.

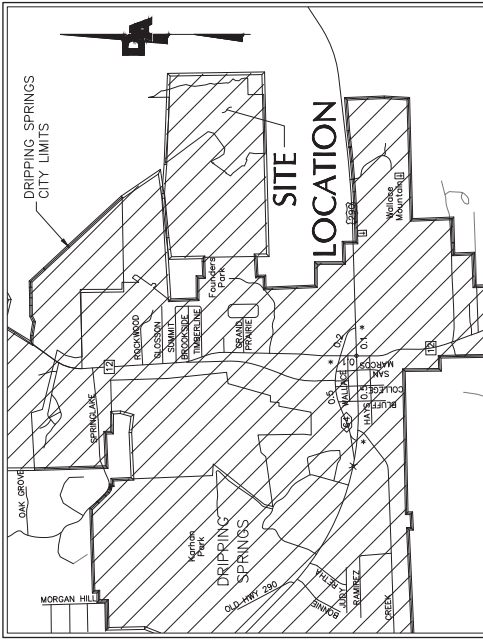
Matchline SHEET 2

BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS

LINE TABLE with columns: LINE, BEARING, DISTANCE

LINE TABLE with columns: LINE, BEARING, DISTANCE

VICINITY MAP NOT TO SCALE



THE PHILIP A. SMITH LEAGUE, SURVEY #26, ABSTRACT NUMBER 415

BEARING BASIS: ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM...

UTILITY NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN ARE EXACTLY AS SHOWN...

ENGINEER: DOUCET & ASSOCIATES

PROJECT: 7401 B. HIGHWAY 71 WEST, SUITE 160 AUSTIN, TX 78735

SURVEYOR: DOUCET & ASSOCIATES

PROJECT: 7401 B. HIGHWAY 71 WEST, SUITE 160 AUSTIN, TX 78735

DRIPPING SPRINGS, HAYS COUNTY, TEXAS

DOUCET & ASSOCIATES

Item 7.

7401 B. HIGHWAY 71 WEST, SUITE 160 AUSTIN, TEXAS 78735

# BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS

**OWNER'S ACKNOWLEDGMENT:**  
 THE STATE OF TEXAS }  
 THE COUNTY OF TRAVIS }

KNOW ALL ME BY THESE PRESENTS, THAT MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BEING THE OWNER OF 200.4 ACRES IN THE PHILLIP A. SMITH SURVEY NUMBER 26 ABSTRACT NUMBER 2415 IN HAYS COUNTY, TEXAS, COMEVED BY DEED OF RECORD IN DOCUMENT NO. 18036374 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

DO HEREBY SUBDIVIDE 81.71 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS **BIG SKY RANCH PHASE THREE AT DRIPPING SPRINGS**

SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED, AND DO HEREBY DEDICATE TO THE PUBLIC USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

ELLIOT JONES, DIVISION VICE PRESIDENT  
 MERITAGE HOMES

THE STATE OF TEXAS }  
 THE COUNTY OF TRAVIS }

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND THE STATE, ON THIS DAY PERSONALLY APPEARED MATTHEW W. HANSON, COUNTY CLERK OF HAYS COUNTY, TEXAS, WHO HAS IDENTIFIED HIMSELF TO ME AS THE PERSON WHO HAS EXECUTED THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE HAS EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

NOTARY PUBLIC IN AND FOR TRAVIS COUNTY, TEXAS

**DEVELOPMENT NOTE:**

THIS DEVELOPMENT IS SUBJECT TO ORDINANCE 2018-24 PD #10 BIG SKY (OCT 9, 2018)

**ENVIRONMENTAL NOTE:**

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED PUBLIC WATER SUPPLY SYSTEM. THE SELLER SHALL OBTAIN AN APPROVED WATER CONNECTION FROM THE CITY OF DRIPPING SPRINGS, TEXAS, AND OFFER TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. GROUND WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER SOURCE. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SANITARY SYSTEM. THE SELLER SHALL OBTAIN AN APPROVED SANITARY CONNECTION FROM THE CITY OF DRIPPING SPRINGS, TEXAS, AND OFFER TO QUESTION THE SELLER CONCERNING ENVIRONMENTAL HEALTH DEPARTMENT. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BE UNLESS ALL CITY OF DRIPPING SPRINGS DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MADE.

CHAD GELPIN \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER

STATE OF TEXAS }  
 CITY OF DRIPPING SPRINGS }  
 HAYS COUNTY, TEXAS }

BIG SKY RANCH PHASE THREE, HAS BEEN APPROVED BY THE PLANNING & ZONING COMMISSION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2022.

MICHELLE FISHER, CITY ADMINISTRATOR OF DRIPPING SPRINGS

STATE OF TEXAS }  
 COUNTY OF TRAVIS }

KNOW BY ALL WHOM THESE PRESENTS, THAT THE UNDERSIGNED, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT COMPLES WITH THE SURVEY RELATED REQUIREMENTS OF THE CITY OF DRIPPING SPRINGS, TEXAS, AND FURTHER CERTIFY THAT THIS PLAT IS TRUE AND CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

J. DULON FIGUATE \_\_\_\_\_ DATE \_\_\_\_\_  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 TEXAS REGISTRATION NO. 6360

STATE OF TEXAS }  
 COUNTY OF TRAVIS }

I, CHRISTOPHER A. REDD, A LICENSED PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A CONCENTRATED STORM WATER RUNOFF FROM THE 100 YEAR STORM EVENT SHALL BE CONTAINED WITHIN THE DRAINAGE FACILITIES TO BE LOCATED WITHIN THE RIGHTS-OF-WAY AND/OR DRAINAGE EASEMENTS AND DRAINAGE LOTS SHOWN ON THE ATTACHED PLAT.

CHRISTOPHER A. REDD \_\_\_\_\_ DATE \_\_\_\_\_  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS NO. 91546

STATE OF TEXAS }  
 COUNTY OF HAYS }

I, ELAINE HANSON, CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH THIS CERTIFICATE OF AUTHENTICATION WAS FILED FOR \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN \_\_\_\_\_

WITNESS MY SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

ELAINE HANSON CARRENAS, MBA, PHD, COUNTY CLERK  
 HAYS COUNTY, TEXAS

**FINAL PLAT NOTES:**

- THIS FINAL PLAT IS LOCATED WITHIN THE CITY OF DRIPPING SPRINGS CITY LIMITS.
- THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
- THIS PLAT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
- ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
- NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN AS DELINEATED ON MAP NUMBER 482090105F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- WATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE DRIPPING SPRINGS WATER SUPPLY CORPORATION.
- ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF DRIPPING SPRINGS SEWER CONNECTION SHALL BE IN ACCORDANCE WITH THE CITY OF DRIPPING SPRINGS WASTE WATER UTILITY SERVICE AND FEE AGREEMENT BETWEEN THE CITY AND MERITAGE HOMES OF TEXAS, DATED SEPTEMBER 18, 2018.
- ELECTRIC SERVICE WILL BE PROVIDED BY THE FEDERALELES ELECTRIC COOPERATIVE.
- TELEPHONE SERVICE WILL BE PROVIDED BY SPECTRUM.
- GAS SERVICE WILL BE PROVIDED BY TEXAS GAS SERVICES.
- MINIMUM FRONT SETBACK SHALL BE 10 FEET.
- MINIMUM REAR SETBACK SHALL BE 10 FEET.
- MINIMUM INTERIOR SIDE YARD SETBACKS SHALL BE 5 FEET.
- MINIMUM SIDE YARD SETBACKS ADJACENT TO A PUBLIC STREET SHALL BE 7.5 FEET.
- ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF DRIPPING SPRINGS AND HAYS COUNTY DEVELOPMENT REGULATIONS AS AMENDED BY PD #10.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED COMMUNITY WATER SYSTEM.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED ORGANIZED WASTEWATER SYSTEM.
- NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGUN UNTIL ALL DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED ACCORDING TO THE CITY OF DRIPPING SPRINGS.
- NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
- IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE CITY RIGHT-OF-WAY HAS BEEN ISSUED.
- DEVELOPMENT AND RESTRICTIONS WITHIN THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS WATER QUALITY PROTECTION ORDINANCE (REVISED) OR AS PERMITTED BY THE TCEQ AND IN COMPLIANCE WITH THE CITY OF DRIPPING SPRINGS WATER QUALITY PROTECTION ORDINANCE.
- TWO SHADE TREES WILL BE REQUIRED FOR EACH RESIDENTIAL LOT PER THE CITY OF DRIPPING SPRINGS LANDSCAPE ORDINANCE.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR MAINTENANCE OF THE PRIVATE PARK.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR MAINTENANCE OF THE PUBLIC PARKS AND OPEN SPACE LOTS.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL STORM WATER DETENTION AND WATER QUALITY PONDS.
- THIS DEVELOPMENT IS SUBJECT TO DRIPPING SPRINGS ORDINANCE 2018-24, PLANNED DEVELOPMENT DISTRICT NO. 10-BIG SKY AS AMENDED BY ORDINANCE #2020-25 ON JUNE 9, 2020.
- ALL PROPOSED LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4 FOOT WIDE CONCRETE SIDEWALK ALONG BOTH SIDES OF THE STREET.
- ALL PROPOSED LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4 FOOT WIDE CONCRETE SIDEWALK ALONG BOTH SIDES OF THE STREET.
- OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS AND DRAINAGE EASEMENTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- A 7.5 FOOT PUBLIC UTILITY EASEMENT ALONG THE FRONT OF LOTS ADJACENT TO PUBLIC STREETS IS HEREBY DEDICATED, UNLESS OTHERWISE NOTED.
- A 7.5 FOOT PUBLIC UTILITY EASEMENT ALONG THE SIDE OF LOTS ADJACENT TO PUBLIC STREETS IS HEREBY DEDICATED, UNLESS OTHERWISE NOTED.
- NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING, THAT OBSTRUCT OR LIMIT FLOW SHALL BE ALLOWED IN A DRAINAGE EASEMENT.
- INSPECTION, OPERATION AND MAINTENANCE.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
- STREET LIGHTING WILL COMPLY WITH LIGHTING ORDINANCE [SRDA 3.11].
- LAND DEDICATION REQUIREMENTS HAVE BEEN SATISFIED WITHIN THIS DEVELOPMENT THROUGH A COMBINATION OF PRIVATE AND PUBLIC PARK LAND AND OPEN SPACE.
- ELECTRICAL, CABLE TELEVISION, AND TELEPHONE SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY FOR UNDERGROUND INSTALLATIONS IN SUBDIVISIONS SHALL BE PAD MOUNTED OR PLACED UNDERGROUND IN A PUBLIC UTILITY EASEMENT.

DRIPPING SPRINGS,  
 HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
 CONSULTING ENGINEERS, ARCHITECTS AND PLANNERS  
 7401 B. Highway 71 W, Suite 140  
 Austin, Texas 78735. Phone: (512)-583-2400  
 www.douceterengineers.com

Date: 04/04/2022  
 Scale: N/A  
 Drawn by: JWF  
 Project: 168  
 Sheet: 5  
 Field Book:  
 Party Ditch:  
 Survey Date:  
**Item 7.**



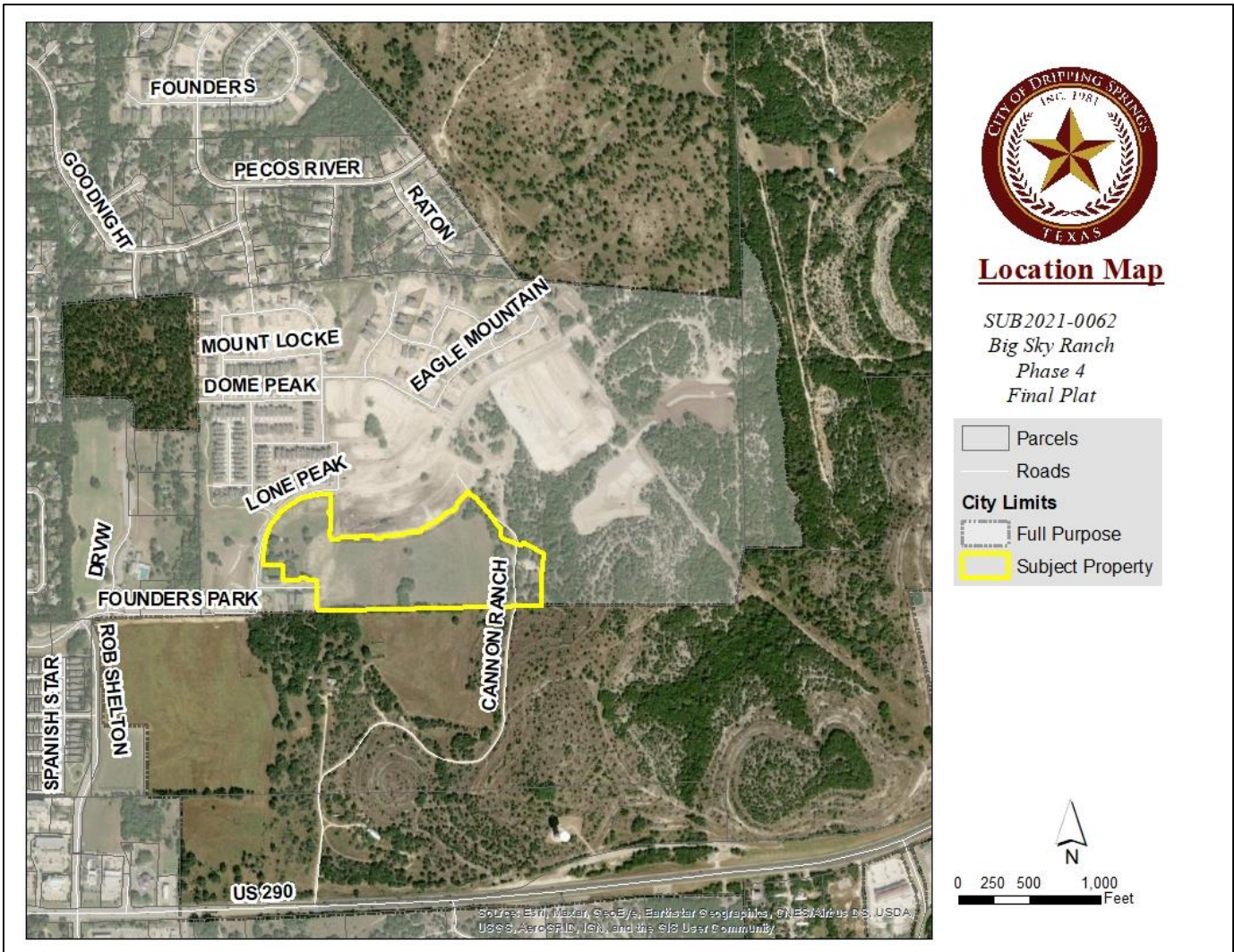
# Planning & Zoning Commission Planning Department Staff Report

Item 8.

**P&Z Meeting:** November 9, 2021  
**Project Number:** SUB2021-0062  
**Project Planner:** Tory Carpenter, Senior Planner

### Item Details

**Project Name:** Big Sky Phase 4  
**Property Location:** Lone Peak Way and Bartlett Peak Lane  
**Legal Description:** 24.86 acres out of the Philip A. Smith Survey  
**Applicant:** Christopher Reid, P.E. – Doucet & Associates  
**Property Owner:** Meritage Homes of Texas, LLC  
**Request:** A residential final plat.



## Overview

The applicant is requesting approval of a final plat consisting of 134 residential lots.

## Action Requested

*Conditional approval to address comments.*

## Site Information

**Location:**

Lone Peak Way and Bartlett Peak Lane

**Zoning Designation:** PDD 10

## Property History

PDD 10 was approved in October 2018 and the revised preliminary plat was approved May 2021.

## Recommendation

Staff is recommending approval with the following conditions.

1. Replace Michelle Fischer’s signature with one for the “Planning & Zoning Commission Chair or Vice Chair,” and another for the “City Secretary.”
2. Complete the public improvements or provide surety for the public improvements.

## Attachments

Exhibit 1 – Plat

Exhibit 2 - Application

Recommended Action:	Conditional approval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



**DRIPPING SPRINGS**  
Texas

Item 8.

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

## SUBDIVISION APPLICATION

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**  
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL	PRE-APPLICATION
CONSULTATION	CONFERENCE
DATE:	DATE:
_____	9/28/21
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

**PLAT TYPE**

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: \_\_\_\_\_

### CONTACT INFORMATION

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**APPLICANT NAME** Christopher Reid, PE  
**COMPANY** Doucet  
**STREET ADDRESS** 7401B Hwy. 71 W., Ste. 160  
**CITY** Austin **STATE** Texas **ZIP CODE** 78735  
**PHONE** (512)583-2600 **EMAIL** creid@doucetengineers.com

---

**OWNER NAME** Elliot Jones  
**COMPANY** Meritage Homes of Texas, LLC  
**STREET ADDRESS** 8920 Business Park Drive, Suite 350  
**CITY** Austin **STATE** Texas **ZIP CODE** 78759  
**PHONE** (512) 610-4853 **EMAIL** elliott.jones@meritagehomes.com




<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	Meritage Homes of Texas, LLC
PROPERTY ADDRESS	n/a
CURRENT LEGAL DESCRIPTION	ABS 415 Philip A Smith Survey
TAX ID #	R18077
LOCATED IN	<input checked="" type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	212.4
SCHOOL DISTRICT	Dripping Springs Independent School District
ESD DISTRICT(S)	ESD 6
ZONING/PDD/OVERLAY	PDD 10
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: <u>Bartlett Peak Lane</u>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Scott Ranch</u>

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Big Sky Ranch Phase 4 at Dripping Springs
TOTAL ACREAGE OF DEVELOPMENT	24.86 acres
TOTAL NUMBER OF LOTS	136
AVERAGE SIZE OF LOTS	5,236 SF
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>134</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>22.91</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>3,994 LF</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO   <span style="color: red;">Not applicable</span></p>	

COMMENTS: \_\_\_\_\_

TITLE: Senior Project Manager SIGNATURE:  10/1/21

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): Pedernales Electric Cooperative (PEC)  
 VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Charter Communications dba Spectrum  
 VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): Dripping Springs Water Supply Corporation  
 VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs  
 VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): Texas Gas Service  
 VERIFICATION LETTER ATTACHED     NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Christopher A. Reid, P.E.  
\_\_\_\_\_

Applicant Name

*Elliot Jones*  
\_\_\_\_\_

10/1/21  
\_\_\_\_\_

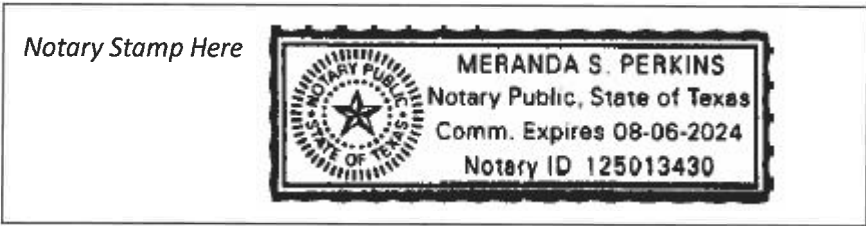
Applicant Signature

*Meranda S. Perkins*  
\_\_\_\_\_

Date  
10/01/2021  
\_\_\_\_\_

Notary

Date



Meritage Homes of Texas, LLC (Elliot Jones)  
\_\_\_\_\_

Property Owner Name


*Elliot Jones*  
\_\_\_\_\_

10-1-21  
\_\_\_\_\_

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 10/1/21

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	N/A <input type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	N/A <input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	N/A <input type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	N/A <input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	N/A <input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	N/A <input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	N/A <input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff <b>Meeting held 9/28/21, no form provided afterwards.</b>

**FINAL PLAT INFORMATION REQUIREMENTS**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>



		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>Outdoor lighting will be constructed in accordance to Development Agreement and City standards.</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Minimum parkland required is 1 acre per 25 LUEs for residential development. Big Sky Ranch Subdivision proposes 804 LUEs with a minimum required parkland of 32.2 acres. Provided public parkland is 33.8 acres, provided private parkland is 3.5 acres, and provided private open space is 15.7 acres. See Preliminary Plat for Site Data Table and Parkland Summary.</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>Per Planned Development District No. 10 (PDD #10), a cash-in-lieu credit of \$1,056,000 is provided for the development and the total cost of tree replacement exceeds the minimum total cost per acre of disturbance.</p>

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable). Public and private improvements are in conformance with the approved Development Agreement and Preliminary Plat. Additionally, a Contributing Zone Plan Application was submitted and approved by TCEQ for water quality treatment for the proposed development. A copy of the recorded approval letter is enclosed.
Zoning, Article 30.02, Exhibit A	Proposed use is in conformance with approved Development Agreement and PDD #10.

# BIG SKY RANCH PHASE FOUR AT DRIPPING SPRINGS

**KEY MAP**  
NOT TO SCALE

PHASE 1

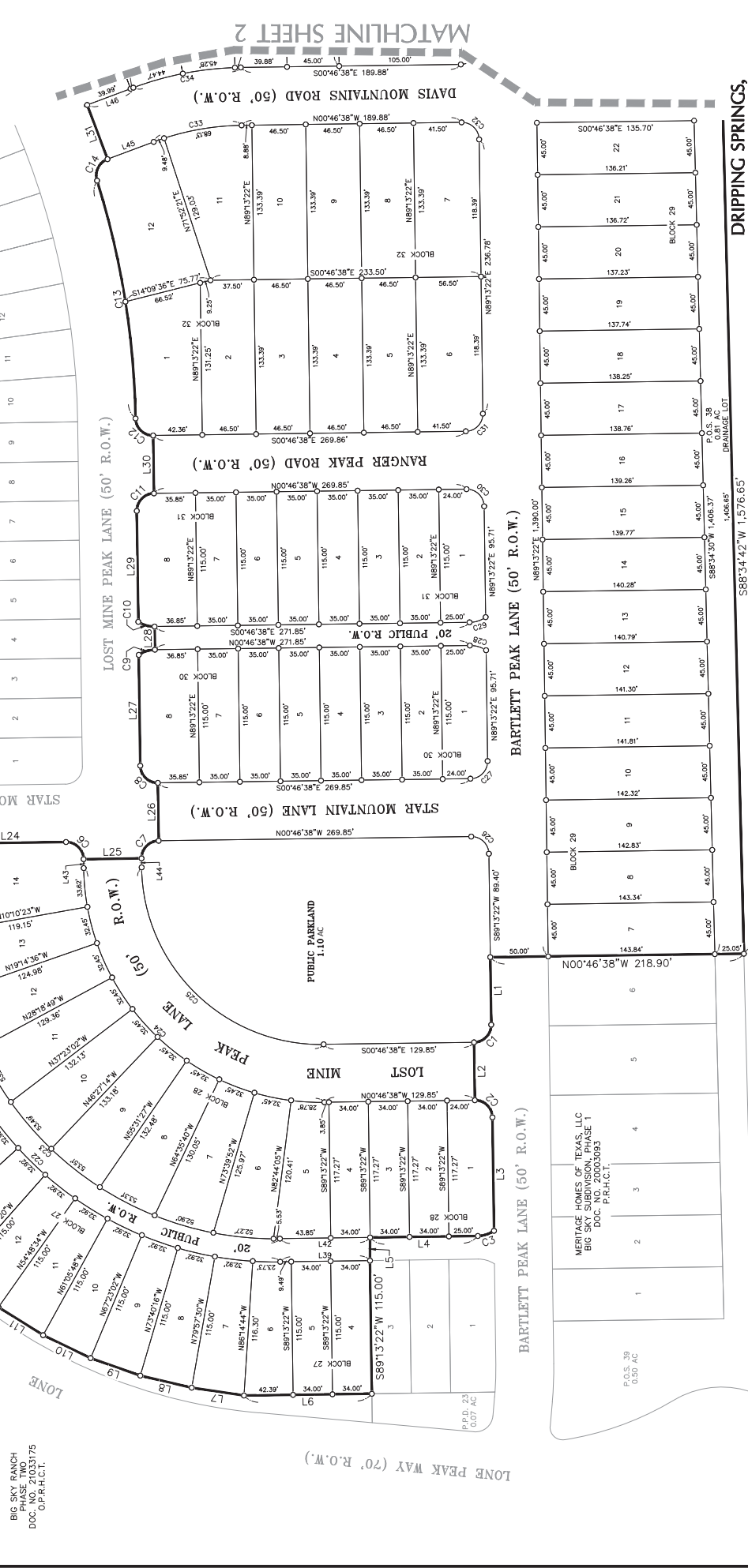
GRAPHIC SCALE: 1" = 60'

0 1" 2'

BIG SKY RANCH  
PHASE TWO  
DOC. NO. 21033175  
O.P.R.H.C.T.

**LEGEND**

- PHASE BOUNDARY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- 1/2" IRON ROD WITH PLASTER CAP
- POINT OF BEGINNING
- VOLUME
- BOOK
- P.O.B.
- VOL.
- BK.
- PAGE
- DRAINAGE EASEMENT
- D.E.
- DEED
- P.A.S.
- PUBLIC PARK DISTRICT
- PRIVATE OPEN SPACE
- B.S.L.
- BUILDING TRACK LINE
- PUBLIC UTILITY EASEMENT
- W.E.Z.
- WATER COUPLER BUFFER ZONE
- PHASE 1
- HAYS COUNTY, TEXAS
- O.P.R.H.C.T.
- DEED RECORDS
- HAYS COUNTY, TEXAS
- D.R.H.C.T.



**DRIPPING SPRINGS, TEXAS**  
HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
Civil Engineering - Surveying - Planning  
7401 B. Highway 71 W. Suite 410  
Austin, Texas 78735. Phone: (512)-583-2600  
www.doucetengineers.com  
HBE Firm No. 1005880

Date: 04/04/2022  
Scale: 1" = 60'  
Drawn by: JWF  
Reviewed by: JWF  
Project: 168  
Sheet: 1  
Field Book:  
Party Chief:  
Survey Date:

CANNON FAMILY, LTD.  
CALLED 237.3845 ACRES  
VOL. 1619, P.C. 313  
O.P.R.H.C.T.

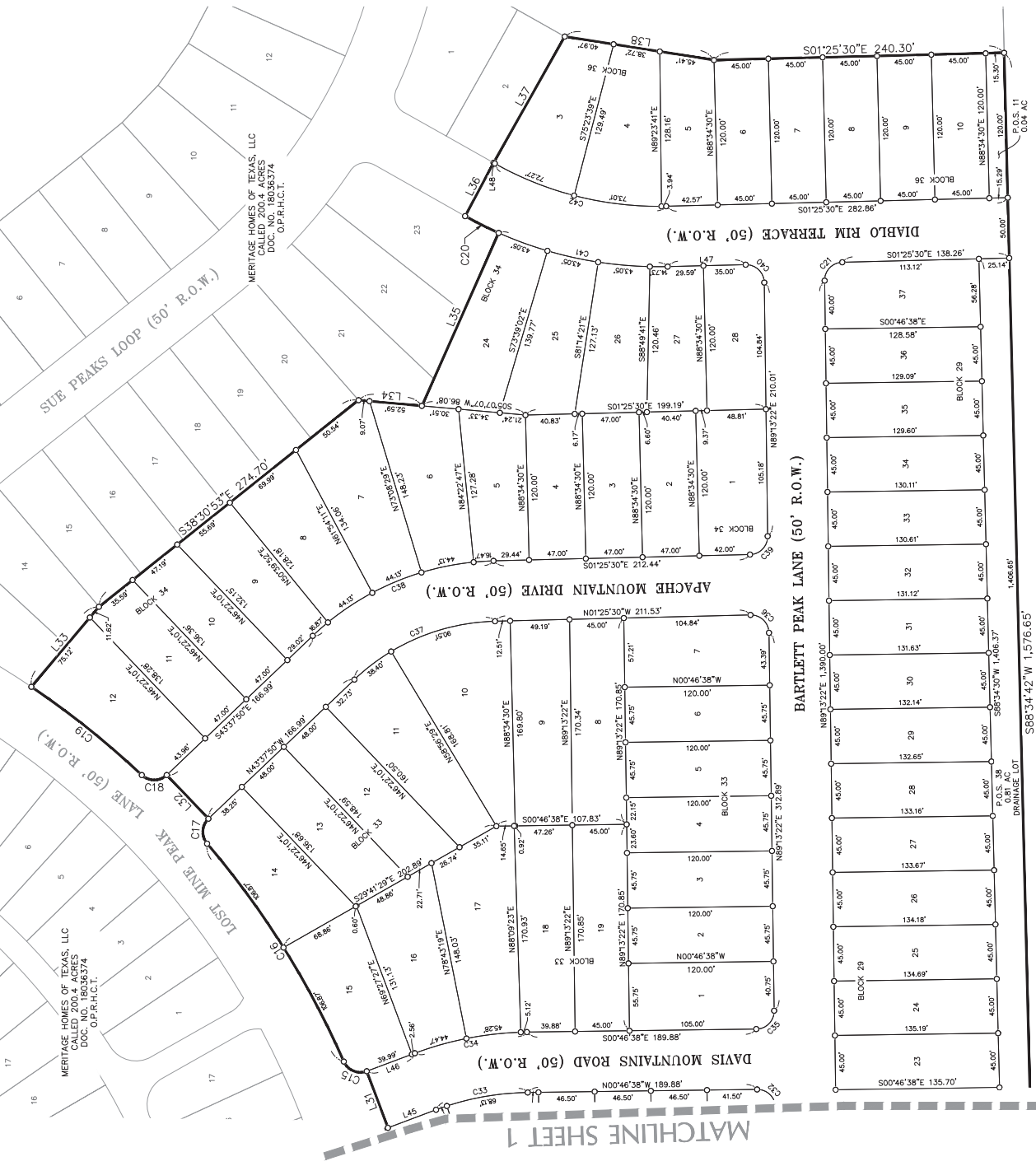
Item 8.

MATCHLINE SHEET 2

# BIG SKY RANCH PHASE FOUR AT DRIPPING SPRINGS

**KEY MAP**  
NOT TO SCALE

GRAPHIC SCALE: 1" = 60'



**LEGEND**

- PHASE BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- 1/2" IRON ROD WITH "DOUCET" CAP SET
- POINT OF BEGINNING
- CONCRETE CURB
- BOOK
- P.A.S.E.
- PAVE
- DRAINAGE EASEMENT
- RIGHT-OF-WAY
- P.D.L.
- PUBLIC PARK DISTRICT
- WATER UTILITY EASEMENT
- BUILDING SETBACK LINE
- P.U.E.
- PUBLIC UTILITY EASEMENT
- W.B.Z.
- WATER QUALITY BUFFER ZONE
- HAYS COUNTY, TEXAS
- OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- DEED RECORDS, HAYS COUNTY, TEXAS
- D.A.P.A.C.T.

**DA DOUCET & ASSOCIATES**  
Civil Engineering - Surveying - Professional  
7401 B. Highway 771 W. Suite 400  
Austin, Texas 78735. Phone: (512)-583-2400  
www.doucetengineers.com  
Hays County, Texas  
HBE Firm No. 9-3357

Date: 04/04/2022  
Scale: 1" = 60'  
Drawn by: JWF  
Reviewed by: JWF  
Project: 168  
Sheet: 2  
Field Book:  
Party Chief:  
Survey Date:

**Item 8.**

**DRIPPING SPRINGS, TEXAS**  
**HAYS COUNTY, TEXAS**

CANNON FAMILY, LTD.  
CALLED 237.3545 ACRES  
VOL. 29 P. 313  
O.P.R.H.C.T.

APACHE MOUNTAIN DRIVE (50' R.O.W.)  
BARTLETT PEAK LANE (50' R.O.W.)  
DIABLO RIM TERRACE (50' R.O.W.)

LOST MINE PEAK LANE (50' R.O.W.)  
DAVIS MOUNTAINS ROAD (50' R.O.W.)

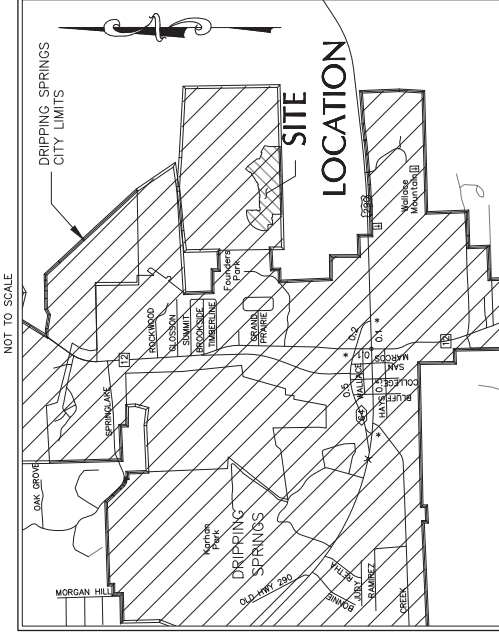
SUE PEAKS LOOP (50' R.O.W.)

MATCHLINE SHEET 1

0.04 AC

# BIG SKY RANCH PHASE FOUR AT DRIPPING SPRINGS

VICINITY MAP



## THE PHILIP A. SMITH LEAGUE, SURVEY #26, ABSTRACT NUMBER 415

PARCEL	ACREAGE	BLOCK 34
1	0.157	1
2	0.129	2
3	0.129	3
4	0.129	4
5	0.143	5
6	0.180	6
7	0.191	7
8	0.170	8
9	0.151	9
10	0.145	10
11	0.149	11
12	0.199	12
13	0.179	13
14	0.159	14
15	0.145	15
16	0.135	16
17	0.135	17
18	0.135	18
19	0.162	19
20	0.166	20
21	0.130	21
22	0.124	22
23	0.124	23
24	0.124	24
25	0.124	25
26	0.124	26
27	0.124	27
28	0.124	28
29	0.124	29
30	0.124	30
31	0.124	31
32	0.124	32
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34	0.124	34
35	0.124	35
36	0.124	36
37	0.124	37
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39	0.124	39
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71	0.124	71
72	0.124	72
73	0.124	73
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93	0.124	93
94	0.124	94
95	0.124	95
96	0.124	96
97	0.124	97
98	0.124	98
99	0.124	99
100	0.124	100

PARCEL	ACREAGE	BLOCK 32
1	0.169	1
2	0.142	2
3	0.142	3
4	0.142	4
5	0.142	5
6	0.172	6
7	0.172	7
8	0.142	8
9	0.142	9
10	0.142	10
11	0.173	11
12	0.198	12
13	0.179	13
14	0.179	14
15	0.159	15
16	0.145	16
17	0.145	17
18	0.145	18
19	0.145	19
20	0.145	20
21	0.145	21
22	0.145	22
23	0.145	23
24	0.145	24
25	0.145	25
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31	0.145	31
32	0.145	32
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37	0.145	37
38	0.145	38
39	0.145	39
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42	0.145	42
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71	0.145	71
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73	0.145	73
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90	0.145	90
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92	0.145	92
93	0.145	93
94	0.145	94
95	0.145	95
96	0.145	96
97	0.145	97
98	0.145	98
99	0.145	99
100	0.145	100

PARCEL	ACREAGE	BLOCK 29
1	0.148	1
2	0.148	2
3	0.147	3
4	0.147	4
5	0.147	5
6	0.147	6
7	0.147	7
8	0.147	8
9	0.147	9
10	0.147	10
11	0.147	11
12	0.147	12
13	0.147	13
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17	0.147	17
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32	0.147	32
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94	0.147	94
95	0.147	95
96	0.147	96
97	0.147	97
98	0.147	98
99	0.147	99
100	0.147	100

PARCEL	ACREAGE	BLOCK 28
1	0.103	1
2	0.092	2
3	0.092	3
4	0.092	4
5	0.111	5
6	0.120	6
7	0.120	7
8	0.129	8
9	0.131	9
10	0.131	10
11	0.129	11
12	0.124	12
13	0.118	13
14	0.118	14
15	0.118	15
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67	0.118	67
68	0.118	68
69	0.118	69
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71	0.118	71
72	0.118	72
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94	0.118	94
95	0.118	95
96	0.118	96
97	0.118	97
98	0.118	98
99	0.118	99
100	0.118	100

PARCEL	ACREAGE	BLOCK 27
1	0.090	1
2	0.090	2
3	0.090	3
4	0.090	4
5	0.090	5
6	0.090	6

# BIG SKY RANCH PHASE FOUR AT DRIPPING SPRINGS

## OWNER'S ACKNOWLEDGMENT:

THE STATE OF TEXAS }  
THE COUNTY OF TRAVIS }

KNOW ALL ME BY THESE PRESENTS, THAT MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BEING THE OWNER OF 200.4 ACRES IN THE PHILLIP A. SMITH SURVEY NUMBER 26, ABSTRACT NUMBER 2415 IN HAYS COUNTY, TEXAS, COMEVED BY DEED OF RECORD IN DOCUMENT NO. 18036374 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

DO HEREBY SUBDIVIDE 24.86 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

## BIG SKY RANCH PHASE FOUR AT DRIPPING SPRINGS

SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED, AND DO HEREBY DEDICATE TO THE PUBLIC USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

ELLIOT JONES, DIVISION VICE PRESIDENT  
MERITAGE HOMES

THE STATE OF TEXAS }  
THE COUNTY OF TRAVIS }

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND THE STATE, ON THIS DAY PERSONALLY APPEARED MATTHEW WATSON, EXECUTOR OF THE ESTATE OF PHILLIP A. SMITH, WHO IDENTIFIED HIMSELF AS THE OWNER OF THE ABOVE DESCRIBED PROPERTY, AND HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

NOTARY PUBLIC IN AND FOR TRAVIS COUNTY, TEXAS

## DEVELOPMENT NOTE:

THIS DEVELOPMENT IS SUBJECT TO ORDINANCE 2018-24 PD #10 BIG SKY (OCT 9, 2018)

## ENVIRONMENTAL NOTE:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED PUBLIC WATER SUPPLY SYSTEM. THE CITY OF DRIPPING SPRINGS, TEXAS, IS REQUESTING THAT THE CITY ENGINEER ADVISE THE CITY OF DRIPPING SPRINGS, TEXAS, OF ANY CHANGES TO THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM THAT MAY AFFECT THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM. THE CITY OF DRIPPING SPRINGS, TEXAS, IS REQUESTING THAT THE CITY ENGINEER ADVISE THE CITY OF DRIPPING SPRINGS, TEXAS, OF ANY CHANGES TO THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM THAT MAY AFFECT THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM. THE CITY OF DRIPPING SPRINGS, TEXAS, IS REQUESTING THAT THE CITY ENGINEER ADVISE THE CITY OF DRIPPING SPRINGS, TEXAS, OF ANY CHANGES TO THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM THAT MAY AFFECT THE CITY OF DRIPPING SPRINGS, TEXAS, WATER SUPPLY SYSTEM.

CHAD GILPIN  
CITY ENGINEER

DATE

STATE OF TEXAS }  
CITY OF DRIPPING SPRINGS }  
HAYS COUNTY, TEXAS }

BIG SKY RANCH PHASE FOUR, HAS BEEN APPROVED BY THE PLANNING & ZONING COMMISSION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

MICHELLE FISHER, CITY ADMINISTRATOR OF DRIPPING SPRINGS

STATE OF TEXAS }  
COUNTY OF TRAVIS }

KNOW BY ALL MEN THESE PRESENTS, THAT THE UNDERSIGNED, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT COMPLES WITH THE SURVEY RELATED REQUIREMENTS OF THE CITY OF DRIPPING SPRINGS, TEXAS, AND FURTHER CERTIFY THAT THIS PLAT IS TRUE AND CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

J. DULON FIGUATE  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6360

STATE OF TEXAS }  
COUNTY OF TRAVIS }

I, CHRISTOPHER A. REDD, A LICENSED PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A CONCENTRATED STORM WATER RUNOFF FROM THE 100 YEAR STORM EVENT SHALL BE CONTAINED WITHIN THE DRAINAGE FACILITIES TO BE LOCATED WITHIN THE RIGHTS-OF-WAY AND/OR DRAINAGE EASEMENTS AND DRAINAGE LOTS SHOWN ON THE ATTACHED PLAT.

CHRISTOPHER A. REDD  
LICENSED PROFESSIONAL ENGINEER  
STATE OF TEXAS NO. 91546

STATE OF TEXAS }  
COUNTY OF HAYS }

I, ELAINE HANSON CARRERAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH THIS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN \_\_\_\_\_

WITNESS MY SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022.

ELAINE HANSON CARRERAS, MBA, PHD, COUNTY CLERK  
HAYS COUNTY, TEXAS

## FINAL PLAT NOTES:

- THIS FINAL PLAT IS LOCATED WITHIN THE CITY OF DRIPPING SPRINGS CITY LIMITS.
- THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
- THIS PLAT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
- ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
- NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN AS DELINEATED ON MAP NUMBER 48209C0105F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- WATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE DRIPPING SPRINGS WATER SUPPLY CORPORATION.
- ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF DRIPPING SPRINGS SEWER CONNECTION SHALL BE IN ACCORDANCE WITH THE CITY OF DRIPPING SPRINGS WASTEWATER UTILITY SERVICE AND FEE AGREEMENT BETWEEN THE CITY AND MERITAGE HOMES OF TEXAS, DATED SEPTEMBER 18, 2018.
- ELECTRIC SERVICE WILL BE PROVIDED BY THE FEDERALELES ELECTRIC COOPERATIVE.
- TELEPHONE SERVICE WILL BE PROVIDED BY SPECTRUM.
- GAS SERVICE WILL BE PROVIDED BY TEXAS GAS SERVICES.
- MINIMUM FRONT SETBACK SHALL BE 10 FEET.
- MINIMUM REAR SETBACK SHALL BE 10 FEET.
- MINIMUM INTERIOR SIDE YARD SETBACKS SHALL BE 5 FEET.
- MINIMUM SIDE YARD SETBACKS ADJACENT TO A PUBLIC STREET SHALL BE 7.5 FEET.
- ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF DRIPPING SPRINGS AND HAYS COUNTY DEVELOPMENT REGULATIONS AS AMENDED BY PD #10.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED COMMUNITY WATER SYSTEM.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED ORGANIZED WASTEWATER SYSTEM.
- NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGUN UNTIL ALL DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED ACCORDING TO THE CITY OF DRIPPING SPRINGS.
- NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
- IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE CITY RIGHT-OF-WAY HAS BEEN ISSUED, (B) THE DRIVEWAY IS PERMITTED BY THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS (REVISED) OR AS PERMITTED BY THE TCEQ AND IN COMPLIANCE WITH THE CITY OF DRIPPING SPRINGS WATER QUALITY PROTECTION ORDINANCE.
- TWO SHADE TREES WILL BE REQUIRED FOR EACH RESIDENTIAL LOT PER THE CITY OF DRIPPING SPRINGS LANDSCAPE ORDINANCE.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR MAINTENANCE OF THE PRIVATE PARK.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR MAINTENANCE OF THE PUBLIC PARKS AND OPEN SPACE LOTS.
- THE HOMEOWNERS ASSOCIATION FOR THE DEVELOPMENT WILL TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL STORM WATER DETENTION AND WATER QUALITY PONDS.
- THIS DEVELOPMENT IS SUBJECT TO DRIPPING SPRINGS ORDINANCE 2018-24, PLANNED DEVELOPMENT DISTRICT NO. 10-BIG SKY AS AMENDED BY ORDINANCE #2020-25 ON JUNE 9, 2020.
- ALL PROPOSED LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4 FOOT WIDE CONCRETE SIDEWALK ALONG BOTH SIDES OF THE STREET.
- ALL PROPOSED LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4 FOOT WIDE CONCRETE SIDEWALK ALONG BOTH SIDES OF THE STREET.
- OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS AND DRAINAGE EASEMENTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- A 7.5 FOOT PUBLIC UTILITY EASEMENT ALONG THE FRONT OF LOTS ADJACENT TO PUBLIC STREETS IS HEREBY DEDICATED, UNLESS OTHERWISE NOTED.
- A 7.5 FOOT PUBLIC UTILITY EASEMENT ALONG THE SIDE OF LOTS ADJACENT TO PUBLIC STREETS IS HEREBY DEDICATED, UNLESS OTHERWISE NOTED.
- NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING, THAT OBSTRUCT OR LIMIT FLOW SHALL BE ALLOWED IN A DRAINAGE EASEMENT.
- INSPECTION, OPERATION AND MAINTENANCE.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
- STREET LIGHTING WILL COMPLY WITH LIGHTING ORDINANCE [SRDA 3.11].
- LAND DEDICATION REQUIREMENTS HAVE BEEN SATISFIED WITHIN THIS DEVELOPMENT THROUGH A COMBINATION OF PRIVATE AND PUBLIC PARK LAND AND OPEN SPACE.
- ELECTRICAL, CABLE TELEVISION, AND TELEPHONE SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY FOR UNDERGROUND INSTALLATIONS IN SUBDIVISIONS SHALL BE PAD MOUNTED OR PLACED UNDERGROUND IN A PUBLIC UTILITY EASEMENT.

DRIPPING SPRINGS,  
HAYS COUNTY, TEXAS

**DA DOUCET & ASSOCIATES**  
Civil Engineering - Surveying - Professional  
7408 B. Highway 71 W, Suite 40  
Austin, Texas 78735. Phone: (512)-583-2400  
www.doucetengineers.com  
E-mail: info@dooucet.com  
Toll Free: 1-800-333-0800

Date: 04/04/2022  
Scale: N/A  
Drawn by: JWF  
Reviewer:  
Project: 168  
Sheet: 4  
Field Book:  
Party Ditch:  
Survey Date:

Item 8.



# Planning and Zoning Commission Planning Department Staff Report

Item 9.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2021-0067  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

**Project Name:** Headwaters at Barton Creek, Phase 5 Section 2  
**Property Location:** Headwaters Blvd & Sage Thrasher Cir  
**Legal Description:** 57.14 acres, out of the M.D. Raper and W. Walk Jr Surveys  
**Applicant:** WFC Headwaters Owner, VII, L.P.  
**Property Owner:** WFC Headwaters Owner, VII, L.P.  
**Staff recommendation:** Approval of the Final Plat based on outstanding comments



### Location Map

*SUB2021-0067  
 Headwaters Phase 5,  
 Section 2 Final Plat*

— Roads  
 — Parcel Lines



0 187.5 375 750  
 Feet

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



## Planning Department Staff Report

### Overview

This final plat consists of 144 single-family lots.

### Access and Transportation

Primary access to the subdivision will be through sections 3 and 4, phase 4 of the Headwaters development.

### Site Information

**Location:** Headwaters Blvd & Sage Thrasher Cir

**Zoning Designation:** ETJ / Headwaters Development Agreement

### Property History

The restated Headwaters at Barton Creek development agreement was approved February 2020. A minor amendment to the Headwaters preliminary plat was approved May 2021.

### Recommendation

Approval

### Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Headwaters at Barton Creek Phase 5, section 2 Final Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Approval
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



**DRIPPING SPRINGS**  
Texas

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**SUBDIVISION APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**

(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL PRE-APPLICATION  
CONSULTATION CONFERENCE

DATE: DATE:  
\_\_\_\_\_ 10/21/21

NOT SCHEDULED  NOT SCHEDULED

**PLAT TYPE**

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: \_\_\_\_\_

**CONTACT INFORMATION**

**APPLICANT NAME** WFC HEADWATERS OWNER VII, L.P.

**COMPANY** Freehold Communities

**STREET ADDRESS** 500 Boylston St., Ste 2010

**CITY** Boston **STATE** MA **ZIP CODE** 02116

**PHONE** C/O 617.221.8400 **EMAIL** jrb@freeholdcm.com;  
cc: contact@freeholdcm.com

**OWNER NAME** WFC HEADWATERS OWNER VII, L.P.

**COMPANY** Freehold Communities

**STREET ADDRESS** 500 Boylston St., Ste 2010

**CITY** Boston **STATE** MA **ZIP CODE** 02116

**PHONE** C/O 617.221.8400 **EMAIL** jrb@freeholdcm.com;  
cc: contact@freeholdcm.com

<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	WFC HEADWATERS OWNER VII, L.P.
PROPERTY ADDRESS	Intersection of Headwaters Blvd & Sage Thrasher Circle
CURRENT LEGAL DESCRIPTION	682.32.35 AC, FROM A0394 M D RAPER, 58 H BRASHE, 555 A JOLLY, 40 H BENSON, 811 JF GILBERT, 639 L LEWIS, 560 J POWELL, 567 WR WOOD, 475 W WALKER JR SURVEYS
TAX ID #	R111877
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	57.14
SCHOOL DISTRICT	DSISD
ESD DISTRICT(S)	1 & 6
ZONING/PDD/OVERLAY	N/A - ETJ
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private                      Name: <u>NONE</u> <input type="checkbox"/> State                              Name: <u>NONE</u> <input type="checkbox"/> City/County (public)      Name: <u>NONE</u>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>The Headwaters at Barton Creek</u>

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Headwaters at Barton Creek, Phase 5, Section 2
TOTAL ACREAGE OF DEVELOPMENT	57.14
TOTAL NUMBER OF LOTS	146
AVERAGE SIZE OF LOTS	8392 SF
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL/OTHER: MUD UTILITY, OPEN SPACE, WATER QUALITY, DRAINAGE
# OF LOTS PER USE	RESIDENTIAL: <u>144</u> COMMERCIAL: _____ INDUSTRIAL: _____ Other: <u>2</u>
ACREAGE PER USE	RESIDENTIAL: <u>24.98</u> COMMERCIAL: _____ INDUSTRIAL: _____ Other: <u>32.16</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>4,726 LF</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO   <u>N/A</u></p>	

COMMENTS: \_\_\_\_\_

TITLE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): Pedernales Electric Cooperative

VERIFICATION LETTER ATTACHED    NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Time Warner Cable / Spectrum

VERIFICATION LETTER ATTACHED    NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): Headwaters Municipal Utility District

VERIFICATION LETTER ATTACHED    NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): Headwaters Municipal Utility District

VERIFICATION LETTER ATTACHED    NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): One Texas Gas

VERIFICATION LETTER ATTACHED    NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<del><input type="checkbox"/> YES   <input type="checkbox"/> NOT APPLICABLE</del>	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

Parkland to be dedicated per the Development Agreement.

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

WFC HEADWATERS OWNER VII, L.P.

Applicant Name

SEE ATTACHED

\_\_\_\_\_

Applicant Signature

Date

\_\_\_\_\_

\_\_\_\_\_

Notary

Date

*Notary Stamp Here*

WFC HEADWATERS OWNER VII, L.P.

Property Owner Name

SEE ATTACHED

\_\_\_\_\_

Property Owner Signature

Date

-Attached Signature Page to Page 6, Applicant's Signature, Headwaters at Barton Creek, Phase 5.2,  
WFC Headwaters Owner VII, L.P.- Dated- 10/27/21

Applicant:

Property Owner:

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By: JRB  
Name: Jesse R. Baker  
Title: Authorized Signatory

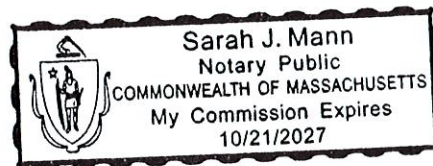
By: JRB  
Name: Jesse R. Baker  
Title: Authorized Signatory

COMMONWEALTH OF MASSACHUSETTS  
KNOW ALL MEN BY THESE PRESENTS  
COUNTY OF SUFFOLK

Before me, the undersigned authority, on this day personally appeared Jesse R. Baker, known to me to be the Authorized Signatory of FCA Austin, LLC, Administrative Member of WFC Headwaters Holdings JV VII, L.L.C., Sole Member of WFC Headwaters GP VII, L.L.C., General Partner of WFC Headwaters Owner VII, L.P. on behalf of said limited partnership and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL of office this 27<sup>th</sup> day of October, 2021.

[Signature]  
Notary Public in and for the Commonwealth of Massachusetts  
My Commission expires on: 10/21/27





All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: SEE ATTACHED Date: \_\_\_\_\_

<b>FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST</b>		
<b>Subdivision Ordinance, Section 5</b>		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	N/A PLAT	Engineer’s Summary Report
<input type="checkbox"/>	N/A PLAT	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)] (if applicable)
<input type="checkbox"/>	N/A PLAT	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	N/A FINAL	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	N/A FINAL	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

FISCAL TO BE POSTED ONCE APPROVED

Tax certificates are at City

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	N/A	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	N/A	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	N/A	Parkland Dedication fee (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PARKLAND TO BE DEDICATED PER DEVELOPMENT AGREEMENT \$25 Public Notice Sign Fee
<input type="checkbox"/>	N/A	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

PROJECT IS IN ETJ - COSTS TO BE APPROVED BY HAYS COUNTY.

<b>FINAL PLAT INFORMATION REQUIREMENTS</b>		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	None proposed
------------------------------------	---------------

Parkland Dedication, Article 28.03	Parkland to be dedicated per Development Agreement
---------------------------------------	--

Landscaping and Tree Preservation, Article 28.06	N/A - ETJ
--	-----------

<p>Subdivision, 28.02, Exhibit A</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Site is proposed to be in compliance of the Headwaters Development Agreement, as amended or restated</p>
<p>Zoning, Article 30.02, Exhibit A</p>	<p>N/A - ETJ</p>

Received on/by: \_\_\_\_\_

Project Number: \_\_\_\_\_ - \_\_\_\_\_  
Only filled out by staff



**DRIPPING SPRINGS**  
Texas

**BILLING CONTACT FORM**

Project Name: Final Plat Establishing Headwaters at Barton Creek, Phase 5, Section 2

Project Address: Intersection of Headwaters Blvd. & Sage Thrasher Circle

Project Applicant Name: WFC HEADWATERS OWNER VII, L.P.

**Billing Contact Information**

Name: Accounting

Mailing Address: 500 Boylston St., Ste 2010, Boston, MA, 02116

Email: accounting@freeholdcm.com Phone Number: 617.221.9801

Type of Project/Application (check all that apply):

- Alternative Standard
- Certificate of Appropriateness
- Conditional Use Permit
- Development Agreement
- Exterior Design
- Landscape Plan
- Lighting Plan
- Site Development Permit
- Special Exception
- Street Closure Permit
- Subdivision
- Waiver
- Wastewater Service
- Variance
- Zoning
- Other \_\_\_\_\_

**N/A - FEES ARE STIPULATED BY THE DEVELOPMENT AGREEMENT**

~~Applicants are required to pay all associated costs associated with a project's application for a permit, certificate of appropriateness, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. Please see the online Development Fee Schedule for more details. By signing below, I am acknowledging that the above listed party is financially responsible for the payment and responsibility of these fees.~~

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date



**DRIPPING SPRINGS**  
Texas

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384  
Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**PRE-DEVELOPMENT/APPLICATION MEETING REQUEST FORM**

**Meeting Date:** 10/21/21 **Meeting #:** \_\_\_\_\_

**CONTACT INFORMATION**

<b>Name</b>	WFC HEADWATERS OWNER VII, L.P.
<b>Company</b>	WFC HEADWATERS OWNER VII, L.P., c/o Freehold Communities
<b>Mailing Address</b>	500 Boylston St., Ste 2010, Boston, MA 02116
<b>Phone #</b>	c/o 617-221-8400
<b>Email</b>	jrb@freeholdcm.com; cc: contracts@freeholdcm.com

**PROPERTY INFORMATION**

**Subject Property Address:** Intersection of Headwaters Blvd. & Sage Thrasher Circle 682.3235 AC, From A0394  
**Tax ID:** R 111877 M DRAPER,  
**Zoning:** N/A - ETJ 58 H BRASHE, 555 A JOLY, \_\_\_\_\_  
**Legal Description:** Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_ 40H BENSON,  
 811 JF GILBERT, 639 L \_\_\_\_\_  
**Existing Use:** Undeveloped Ranch Land **Proposed Use:** Residential/MUD Utility/Open space LEWIS, 560 J POWELL, \_\_\_\_\_  
 567 WR WOOD, 475 W \_\_\_\_\_  
 WALKER JR SURVEYS \_\_\_\_\_

**DESCRIPTION OF REQUEST**

**Project Name:** Final Plat for Headwaters at Barton Creek, Phase 5 Section 2  
**Briefly describe the Proposal (subdivision proposed, building size(s), use(s), etc.):**  
144 Residential lots and approx. 2 Open Space lots

**List of Attachments: (If applicable, ex. Site Plan, Survey, Plat):** Final Plat

**AUTHORIZATION**

I hereby understand and agree that any discussion taking place with regards to this meeting request are for informational purposes only and is not intended to be an application for development to the City. At this time, I am not making an application, request for provision of services, or seeking a commitment or agreement by the City of Dripping Springs.

**Meeting Fee:** \$50 per hour, with a \$50 minimum

**Print Name:** WFC HEADWATERS OWNER VII, L.P.  
**Signature:** SEE ATTACHED




*-Attached Signature Page to City of Dripping Springs Pre-Development/Application Meeting Request Form, Headwaters at Barton Creek, Phase 5.2, WFC Headwaters Owner VII, L.P.-*

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By:   
Name: Jesse R. Baker  
Title: Authorized Signatory

Received on/by: \_\_\_\_\_

Project Number: \_\_\_\_\_ - \_\_\_\_\_  
Only filled out by staff



**DRIPPING SPRINGS**  
Texas

**BILLING CONTACT FORM**

Project Name: Final Plat Establishing Headwaters at Barton Creek, Phase 5, Section 2

Project Address: Intersection of Headwaters Blvd. & Sage Thrasher Circle

Project Applicant Name: WFC HEADWATERS OWNER VII, L.P.

**Billing Contact Information**

Name: Accounting

Mailing Address: 500 Boylston St., Ste 2010, Boston, MA, 02116

Email: accounting@freeholdcm.com Phone Number: 617.221.9801

Type of Project/Application (check all that apply):

- Alternative Standard
- Certificate of Appropriateness
- Conditional Use Permit
- Development Agreement
- Exterior Design
- Landscape Plan
- Lighting Plan
- Site Development Permit
- Special Exception
- Street Closure Permit
- Subdivision
- Waiver
- Wastewater Service
- Variance
- Zoning
- Other \_\_\_\_\_

**N/A - FEES ARE STIPULATED BY THE DEVELOPMENT AGREEMENT**

~~Applicants are required to pay all associated costs associated with a project's application for a permit, certificate of appropriateness, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. Please see the online Development Fee Schedule for more details. By signing below, I am acknowledging that the above listed party is financially responsible for the payment and responsibility of these fees.~~

SEE ATTACHED

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date


*-Attached Signature Page to City of Dripping Springs Billing Contact Form, Headwaters at Barton Creek, Phase 5.2, WFC Headwaters Owner VII, L.P.-*

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By:   
Name: Jesse R. Baker  
Title: Authorized Signatory



# CITY OF DRIPPING SPRINGS FIRE PLAN REVIEW APPLICATION

THE CITY OF DRIPPING SPRINGS BUILDING DEPARTMENT PROCESSES ALL PERMITS & PLAN REVIEW FOR  
FIRE PROJECTS - INSPECTIONS ARE CONDUCTED BY THE HAYS COUNTY ESD 4



Application must be completed in full. Failure to provide any of the information may result in a delay of the plan review and the rejection of the application. This application is for permit issuance only. A permit will be issued upon the review and approval of plans for which the application is intended. Plan review fees and inspection/test costs will be determined by the plan reviewers.

### PROJECT INFORMATION

Area: 57.14 AC Estimated Cost of Construction \_\_\_\_\_  
 Square Footage \_\_\_\_\_  
 Project Name Headwaters at Barton Creek, Phase 5.2  
 Project Address Intersection of Hazy Hills Loop and Headwaters Boulevard  
 Street Address \_\_\_\_\_ Suite No. \_\_\_\_\_

### COMPANY/APPLICANT INFORMATION

Company Name WFC HEADWATERS OWNER VII, L.P. Number 617-221-8400  
 Company Address 500 Boylston St., Ste 2010, Boston, MA, 02116  
 Company Contact: Jesse R. Baker and Contracts Dept. Email: jrb@freeholdcm.com, cc: contracts@freeholdcm.com

### REQUEST PLAN REVIEW

First Submittal:  Second Submittal:  Third Submittal:  Fourth Submittal:

Subdivision Plan*	<input checked="" type="checkbox"/>	Site Plan*	<input type="checkbox"/>
Fire Alarm Plan – <b>Device Count:</b> _____	<input type="checkbox"/>	New Building Plan	<input type="checkbox"/>
Fire Sprinkler Plan – <b>Head Count:</b> _____	<input type="checkbox"/>	New Building Plan – Shell Only	<input type="checkbox"/>
Standpipe System	<input type="checkbox"/>	New Building/Alteration – Tenant Space	<input type="checkbox"/>
Underground Fire Protection System	<input type="checkbox"/>	Existing Building Remodel	<input type="checkbox"/>
Other: _____	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>

\* If associated with Subdivision or Site Plan include this application in hard copy submittal package

## **SUBMIT ONLINE ONLY – MyPermitNow!**

*\*Excluding Subdivision Plan & Site Plan projects\**

- REQUIRED DOCUMENTS:** 1 PDF set of construction and site plans for the proposed project and/or 1 set of Fire Protection Systems plans must be submitted with this completed plan review application ONLINE VIA: [WWW.MYGOVERNMENTONLINE.ORG](http://WWW.MYGOVERNMENTONLINE.ORG)
- Project invoices will be sent via MyPermitNow & posted in the project file on the customer portal – applicant will be notified after submittal has been accepted and processed.
- Please allow a minimum of two (2) weeks for the North Hays County Fire Rescue review process.
- Contact person will be notified upon the completion of the plan review. Include email address to be notified via email. Stamped plans will be provided after approval, it is the contractor's responsibility to print and place on jobsite. A valid permit and an approved set of plans must be maintained at the job site at all times. Failure to obtain a permit prior to beginning work on a system and/or failure to provide the plans and permit for the field inspector may result in a failed inspection and civil penalties assessed.
- By signing below, I hereby file this application for a fire code permit and if the permit herein applied for is granted, acknowledge myself to be bound to North Hays County Fire Rescue to see to it that all provisions of the permit are faithfully performed. Authorization is hereby given to North Hays County Fire Rescue and/or their designee, to enter upon the above-described property for the purpose of inspections of proposed construction. I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents and believe that the submitted information is true, accurate and complete.

### SEE ATTACHED

Printed Name of Applicant \_\_\_\_\_ Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_


*-Attached Signature Page to City of Dripping Springs Fire Plan Review Application, Headwaters at Barton Creek, Phase 5.2, WFC Headwaters Owner VII, L.P.-*

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By:   
Name: Jesse R. Baker  
Title: Authorized Signatory

STATE OF TEXAS §  
COUNTY OF HAYS §  
KNOW ALL THESE MEN BY PRESENTS:

THAT, WFC HEADWATERS OWNER VII, L.P., A DELAWARE LIMITED PARTNERSHIP, THE OWNER OF THE REMAINDER OF 1035.74 ACRES AS CONVEYED IN VOLUME 4832, PAGE 118 AS DOCUMENT NUMBER 2014-14000136 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE A TOTAL OF 57.14 ACRES OF LAND TO BE KNOWN AS "HEADWATERS AT BARTON CREEK, PHASE 5, SECTION 2", IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HEREFOR GRANTED, AND DOES DEDICATE TO THE PUBLIC THE USE OF STREETS AND EASEMENTS AS SHOWN HEREON

WITNESS MY HAND, THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D.

WFC HEADWATERS OWNER VII, L.P.,  
A DELAWARE LIMITED PARTNERSHIP

BY: WFC HEADWATERS GP VII, L.L.C.,  
A DELAWARE LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

BY: \_\_\_\_\_  
NAME:  
TITLE:  
C/O 500 BOYLSTON STREET, SUITE 2010  
BOSTON, MA 02116

STATE OF MASSACHUSETTS §  
COUNTY OF SUFFOLK §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D.

\_\_\_\_\_  
(NOTARY PUBLIC IN AND FOR STATE OF TEXAS)

\_\_\_\_\_  
(PRINT OR TYPE NOTARY'S NAME)

LEINHOLDER CONSENT:  
PIONEER BANK, SSB

\_\_\_\_\_  
CHRIS BOURNE  
CENTRAL TEXAS REGIONAL PRESIDENT

ADDRESS FOR NOTICES: 623 W. 38TH STREET, SUITE 100  
AUSTIN, TEXAS 78705  
ATTN: CHRIS BOURNE

STATE OF TEXAS §  
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED CHRIS BOURNE, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D.

\_\_\_\_\_  
(NOTARY PUBLIC IN AND FOR STATE OF TEXAS)

\_\_\_\_\_  
(PRINT OR TYPE NOTARY'S NAME)

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION TO-WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

\_\_\_\_\_  
ERIC VAN GAASBEEK, R.S., C.F.M.  
HAYS COUNTY FLOOD PLAIN ADMINISTRATOR

\_\_\_\_\_  
DATE

\_\_\_\_\_  
MARCUS PACHECO  
DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

\_\_\_\_\_  
DATE

STATE OF TEXAS §  
CITY OF DRIPPING SPRINGS §  
COUNTY OF HAYS §

THIS PLAT, HEADWATERS AT BARTON CREEK, PHASE 5, SECTION 2; FINAL PLAT; HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY APPROVED.

APPROVED, THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D.

BY:

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION CHAIR OR VICE CHAIR

ATTEST:

\_\_\_\_\_  
ANDREA CUNNINGHAM, CITY SECRETARY

STATE OF TEXAS §  
COUNTY OF HAYS §

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF DRIPPING SPRINGS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.

\_\_\_\_\_  
MARCUS PACHECO  
DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

\_\_\_\_\_  
DATE

WATER SUPPLY NOTE:

THE CITY OF DRIPPING SPRINGS, A RETAIL WATER PROVIDER TO THE HEADWATERS MUD, HAS THE REQUIRED SERVICE CAPACITY TO SERVE THIS SUBDIVISION IN ACCORDANCE WITH ITS TARIFF AND POLICIES.

\_\_\_\_\_  
GINGER FAUGHT, DEPUTY CITY ADMINISTRATOR  
512-858-4725

\_\_\_\_\_  
DATE

SURVEYOR'S CERTIFICATION:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN THEREON.

**PRELIMINARY - NOT FOR RECORDATION**

\_\_\_\_\_  
JOHN BRAUTIGAM  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 5057 - STATE OF TEXAS  
DELTA SURVEY GROUP, INC.  
8213 BRODIE LANE, SUITE 102  
AUSTIN, TEXAS 78745  
TBPLS FIRM NO. 10004700

\_\_\_\_\_  
DATE

ENGINEER'S CERTIFICATION:

I, JESSE B. MALONE, A REGISTERED PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE RESIDENTIAL LOTS IN THIS SUBDIVISION ARE NOT LOCATED WITHIN ANY DESIGNATED 100-YEAR FLOOD PLAIN AS DELINEATED ON THE FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48209C0108F, REVISED SEPTEMBER 2, 2005 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**PRELIMINARY - NOT FOR RECORDATION**

\_\_\_\_\_  
JESSE B. MALONE, P.E.  
REGISTERED PROFESSIONAL ENGINEER NO. 45033  
MALONE/WHEELER, INC.  
5113 SOUTHWEST PKWY, STE 260  
AUSTIN, TEXAS 78735  
FIRM REGISTRATION NO. F-786

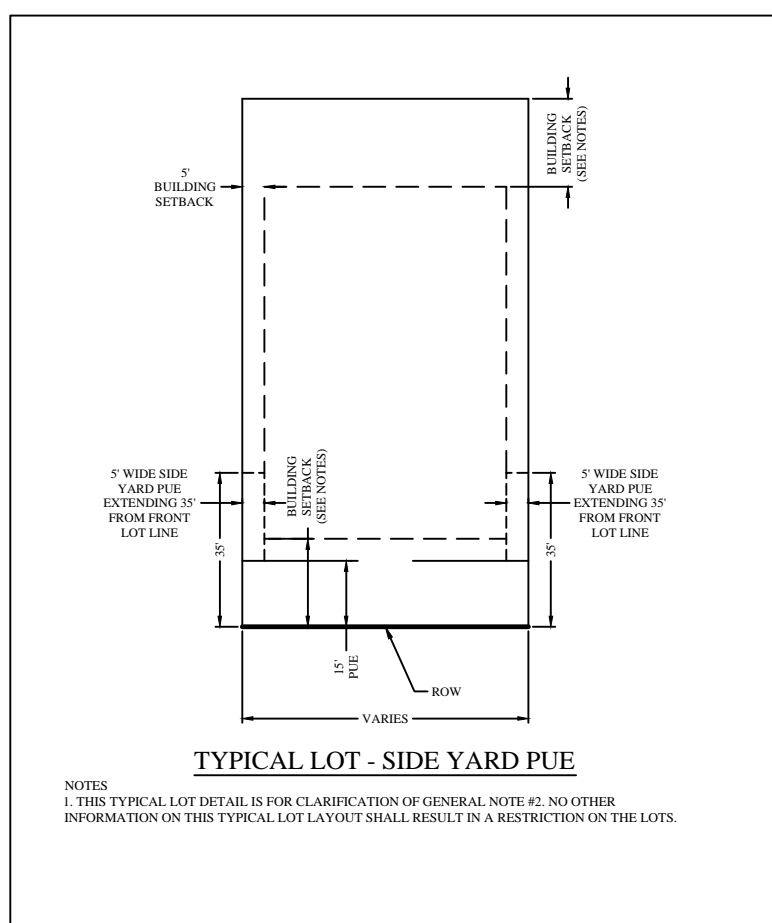
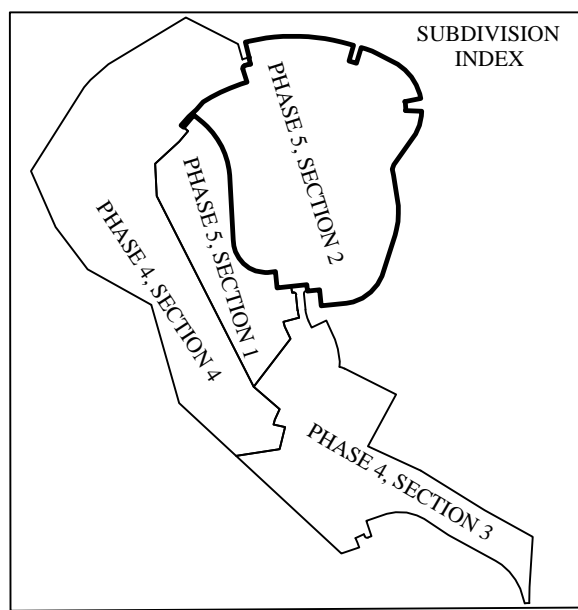
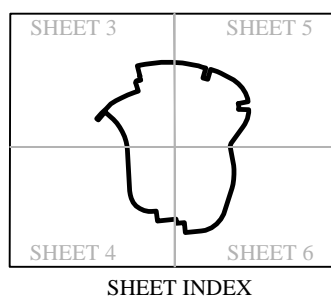
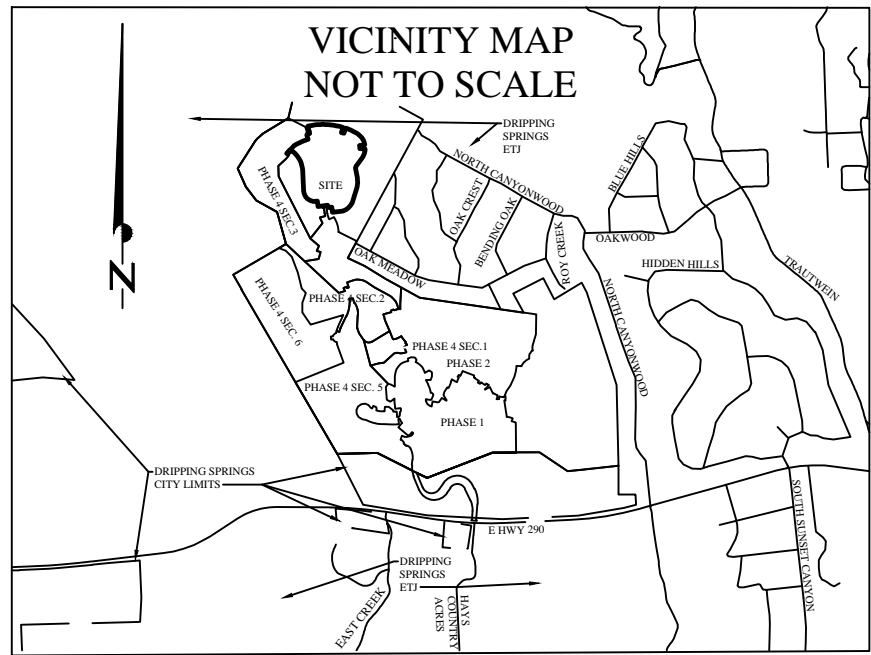
\_\_\_\_\_  
DATE

STATE OF TEXAS §  
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS:

THAT, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY COURT DOES HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND THE CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDS IN MY OFFICE ON THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D. IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN INSTRUMENT NUMBER \_\_\_\_\_ WITNESS MY HAND AND SEAL OF OFFICE OF COUNTY CLERK OF SAID COUNTY ON THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ FILED FOR RECORD AT \_\_\_\_\_ O'CLOCK \_\_.M. THIS THE \_\_\_DAY OF \_\_\_\_\_, 20\_\_ A.D.

\_\_\_\_\_  
ELAINE H. CARDENAS  
COUNTY CLERK  
HAYS COUNTY, TEXAS



**FLOODPLAIN NOTE:**

THIS PROPERTY IS LOCATED WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.R.M. PANEL NO. 48209C0108F, HAYS COUNTY, TEXAS DATED SEPTEMBER 2, 2005. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**JURISDICTION PLAT NOTES:**

1. THIS SUBDIVISION IS WITHIN THE BOUNDARIES OF THE CITY OF DRIPPING SPRINGS ETJ, HAYS COUNTY
2. THIS SUBDIVISION IS WITHIN THE BOUNDARIES OF THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
3. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS COUNTY ESD #1 FOR EMS SERVICE.
4. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS COUNTY ESD #6 FOR FIRE SERVICE.
5. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT.
6. THIS SUBDIVISION IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

**GENERAL NOTES**

1. A 15' PUBLIC UTILITY EASEMENT IS PROVIDED ALONG THE FRONT PROPERTY LINE OF ALL LOTS.
2. A 5' PUBLIC UTILITY EASEMENT IS DEDICATED ALONG EACH RESIDENTIAL SIDE LOT LINE EXTENDING 35' FROM THE FRONT LOT LINE.
3. ALL SIDEWALKS TO BE MAINTAINED BY THE ENTITIES (HEADWATERS MUNICIPAL UTILITY DISTRICT (MUD) OR THE HOME OWNERS ASSOCIATION (AS ASSIGNED) OTHER THAN HAYS COUNTY.
4. WATER QUALITY PROTECTION MEASURES OR ALTERNATIVES, SUCH AS BUFFER ZONES AND IMPERVIOUS COVER, AS SHOWN ON THE APPROVED CONSTRUCTION PLANS MAY NOT BE ALTERED WITHOUT REVIEW AND APPROVAL FROM THE HEADWATERS MUNICIPAL UTILITY DISTRICT OF HAYS COUNTY.
5. HAYS COUNTY WILL MAINTAIN ALL PUBLIC STREETS.
6. ALL PROPOSED STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4' WIDE CONCRETE SIDEWALK ALONG ONE SIDE OF THE STREET.
7. OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION OR HEADWATERS M.U.D. AS ASSIGNED.
8. ALL DRAINAGE EASEMENT LOTS AND IMPROVEMENTS CONSTRUCTED WITHIN THOSE LOTS WILL BE OWNED AND MAINTAINED BY THE HEADWATERS MUD.
9. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
10. THE LIMITS OF THE 100-YR STORM WATER RUNOFF ARE CONTAINED WITHIN DRAINAGE EASEMENTS FOR DRAINAGE AREAS GREATER THAN 64 ACRES.
11. THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION, AND MAINTENANCE.
12. EASEMENT RESEARCH PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT FILE NO. 201302246, ISSUED JANUARY 2, 2014.
13. ALL RESIDENTIAL LOTS WITHIN THIS SUBDIVISION SHALL CONNECT TO A PUBLIC WATER SOURCE.
14. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL APPLICABLE CITY OF DRIPPING SPRINGS DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.
15. THIS SUBDIVISION IS SUBJECT TO ORDINANCE 1260.00, ARTICLE 24.06 REGARDING OUTDOOR LIGHTING.
16. THIS SUBDIVISION IS SUBJECT TO THE CITY OF DRIPPING SPRINGS PARKLAND DEDICATION REQUIREMENT PER THE PARK PLAN PREPARED FOR THIS SUBDIVISION.
17. THE PARKS AND OPEN SPACE SHALL BE PRIVATELY DEDICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.
18. WASTEWATER FOR THIS DEVELOPMENT WILL BE TREATED BY ONSITE WASTEWATER TREATMENT PLANT OWNED AND OPERATED BY THE HEADWATERS MUNICIPAL UTILITY DISTRICT (MUD).
19. THE FOLLOWING LOTS WILL BE UTILIZED FOR WATER QUALITY TREATMENT, DRAINAGE, MUNICIPAL UTILITY DISTRICT FACILITIES AND ACCESS, OPEN SPACE OR OTHER NON RESIDENTIAL USES.  
LOT 902, BLOCK H  
LOT 900, BLOCK I
20. ROADWAY DESIGN STANDARDS FOR HAYS COUNTY WERE APPROVED BY HAYS COUNTY TRANSPORTATION DEPARTMENT AND THE HAYS COUNTY COMMISSIONERS COURT ON SEPTEMBER 12, 2017.
21. THIS SUBDIVISION IS SUBJECT TO THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT, DATED JANUARY 11, 2005 AND RECORDED IN VOLUME 2675, PAGE 649, OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS AND AS AMENDED IN DOCUMENT NUMBERS 16028056, 2015005990, AND 2015032881 ALL OF THE OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS, OR AS OTHERWISE AMENDED.
22. THIS SUBDIVISION IS REQUIRED TO BE COMPLIANT WITH FIRE CODE IFC2012, AS AMENDED.
23. MINIMUM RESIDENTIAL FRONT BUILDING SETBACK LINE SHALL BE TWENTY (20) FEET. CORNER LOTS SHALL HAVE A MINIMUM OF TWENTY (20) FOOT SETBACK ON FRONT-FACING STREET AND TEN (10) FOOT SETBACK ON THE OTHER STREET. MINIMUM REAR SETBACKS SHALL BE TWENTY (20) FEET. MINIMUM SIDE SETBACK SHALL BE FIVE (5) FEET.

**UTILITY NOTES:**

1. WASTEWATER UTILITY SERVICE WILL BE PROVIDED BY HEADWATERS MUD.
2. WATER UTILITY SERVICE WILL BE PROVIDED BY HEADWATERS MUD.
3. ELECTRIC UTILITY SERVICE WILL BE PROVIDED BY PEC.
4. TELEPHONE UTILITY SERVICE WILL BE PROVIDED BY TIME WARNER CABLE OR SIMILAR AUTHORIZED UTILITY PROVIDER.
5. GAS UTILITY SERVICE WILL BE PROVIDED BY TEXAS GAS SERVICE.

**LOT SIZE CATEGORIES:**

146 LOTS TOTAL  
144 RESIDENTIAL LOTS  
2 NON-RESIDENTIAL LOTS

AVERAGE RESIDENTIAL LOT SIZE:	8392 SQ. FT.
LOTS LESS THAN 1 ACRE:	144
LOTS 1-2 ACRES:	0
LOTS 2-5 ACRES:	1
LOTS 5-10 ACRES:	0
LOTS 10 ACRES OR GREATER:	1

**SURVEY CONTROL DATA & BEARING BASIS:**

TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS  
PROJECT CONTROL POINTS WERE ESTABLISHED USING THE 'SMARTNET' RTK NETWORK.

**SURVEY CONTROL MONUMENT**

C.O.A. MONUMENT E344  
GRID COORDINATES  
N=10055821.99  
E=3093670.81  
C.S.F. = 0.99997207  
ELEVATION = 678.33' NAVD 88

**BENCHMARK LIST:**

BM#6- COTTON SPINDLE SET IN TREE #8423  
ELEV= 1121.98'  
  
BM#7- COTTON SPINDLE SET IN TREE #8432  
ELEV= 1101.32'

**SUBDIVISION ROADS:**

PUBLIC STREET DEDICATION

**STREET SUMMARY**

STREET NAME (CLASSIFICATION)	ROW WIDTH	LENGTH (LF)	PAVEMENT WIDTH (F-F)
SAGE THRASHER CIRCLE (LOCAL)	50'	3161'	29' C&G
CRESCENT MOON COURT (LOCAL)	50'	1565'	29' C&G
TOTAL LINEAR FEET		4726'	

RIGHT-OF-WAY = 5.40 ACRES

M. D. RAPER SURVEY NO. 37 ABSTRACT NO. 394  
E. W. BROWN SURVEY NO. 136 ABSTRACT NO. 44  
H. BRASHE SURVEY ABSTRACT NO. 58  
HAYS COUNTY, TEXAS  
JUNE 2021



GRAPHIC SCALE  
1" = 100'



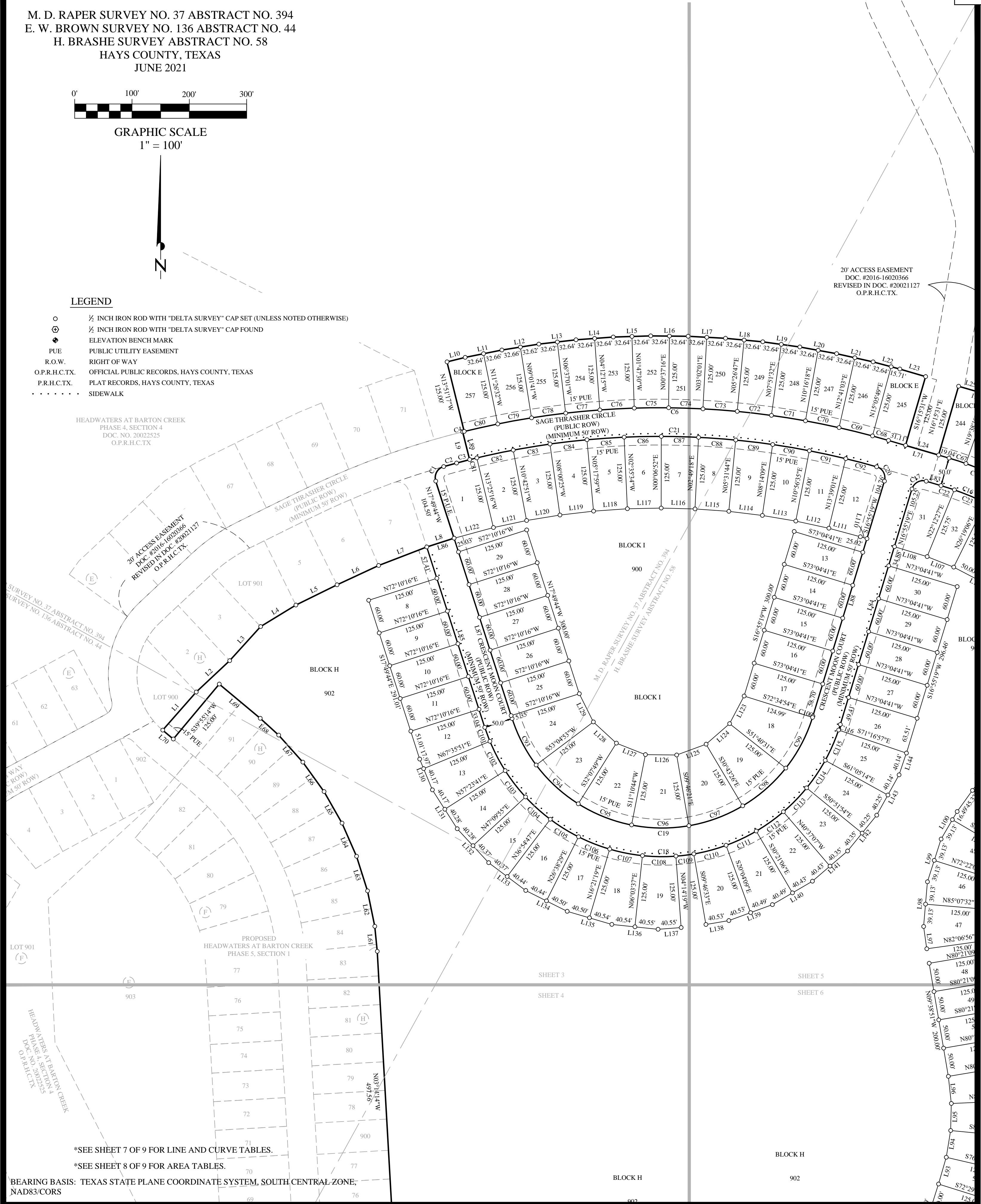
LEGEND

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET (UNLESS NOTED OTHERWISE)
- ⊕ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND
- ⊕ ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK

HEADWATERS AT BARTON CREEK  
PHASE 4, SECTION 4  
DOC. NO. 20022525  
O.P.R.H.C.TX

20' ACCESS EASEMENT  
DOC. #2016-16020366  
REVISED IN DOC. #20021127  
O.P.R.H.C.TX.

20' ACCESS EASEMENT  
DOC. #2016-16020366  
REVISED IN DOC. #20021127  
O.P.R.H.C.TX.



\*SEE SHEET 7 OF 9 FOR LINE AND CURVE TABLES.

\*SEE SHEET 8 OF 9 FOR AREA TABLES.

BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE,  
NAD83/CORS

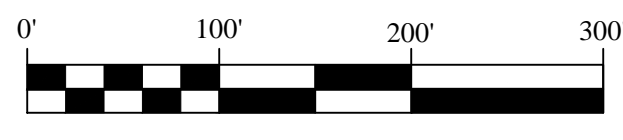
**Delta Survey Group Inc.**  
8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
OFFICE: (512) 282-5200 FAX: (512) 282-5230  
TBPLS FIRM NO. 10004700  
PREPARATION DATE: 6-29-21

FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 5, SECTION 2  
CITY OF DRIPPING SPRINGS ETJ

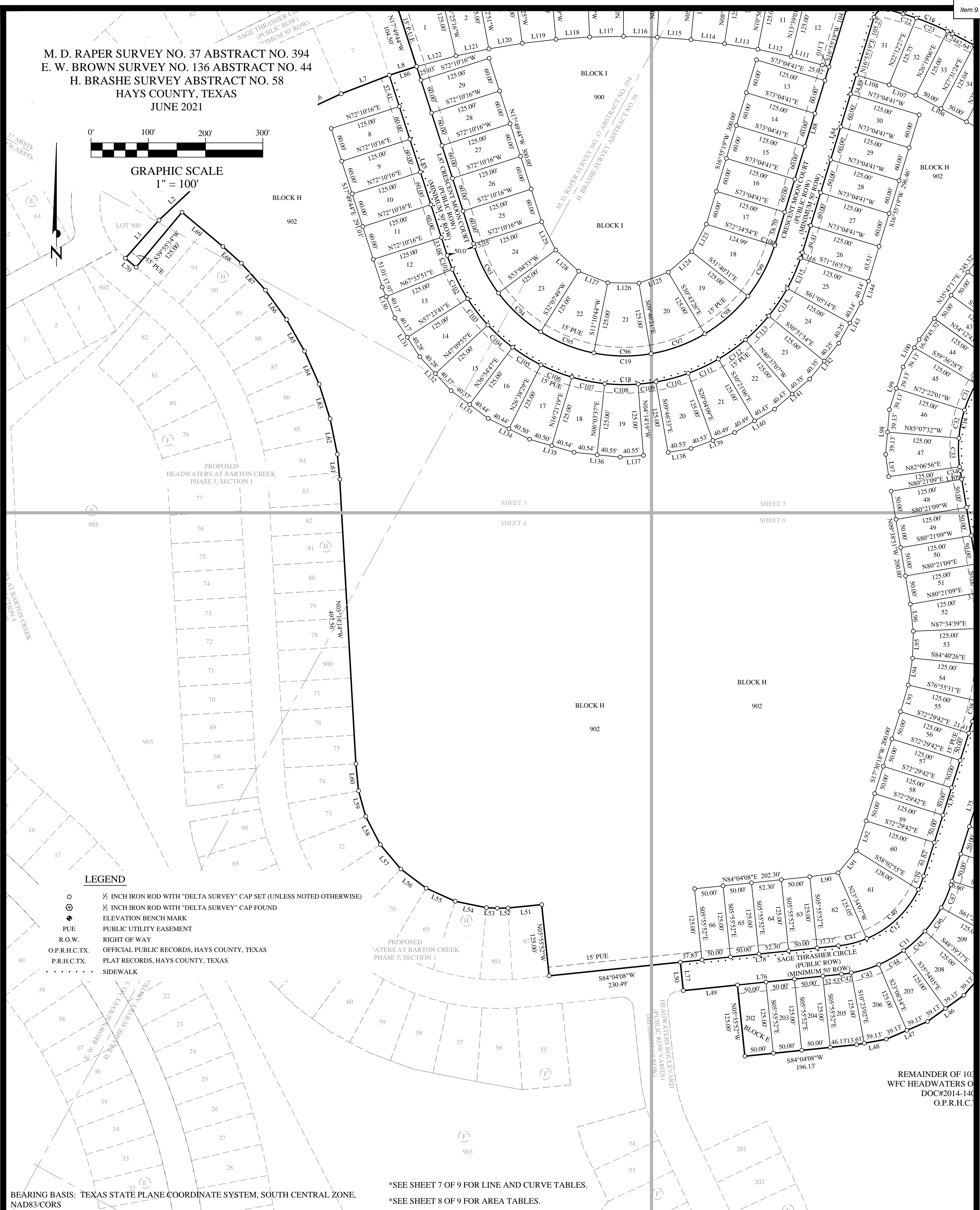
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M. D. RAPER SURVEY NO. 37 ABSTRACT NO. 394  
E. W. BROWN SURVEY NO. 136 ABSTRACT NO. 44  
H. BRASHE SURVEY ABSTRACT NO. 58  
HAYS COUNTY, TEXAS  
JUNE 2021



GRAPHIC SCALE  
1" = 100'



**LEGEND**

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- ⊕ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND
- ⊕ ELEVATION BENCH MARK
- PUBLIC UTILITY EASEMENT
- PUE RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK

BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

\*SEE SHEET 7 OF 9 FOR LINE AND CURVE TABLES.  
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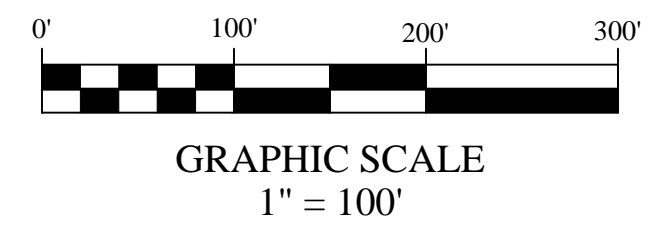
**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 5, SECTION 2  
CITY OF DRIPPING SPRINGS ETJ**

**SHEET  
4  
OF  
9**

**Delta Survey Group Inc.**  
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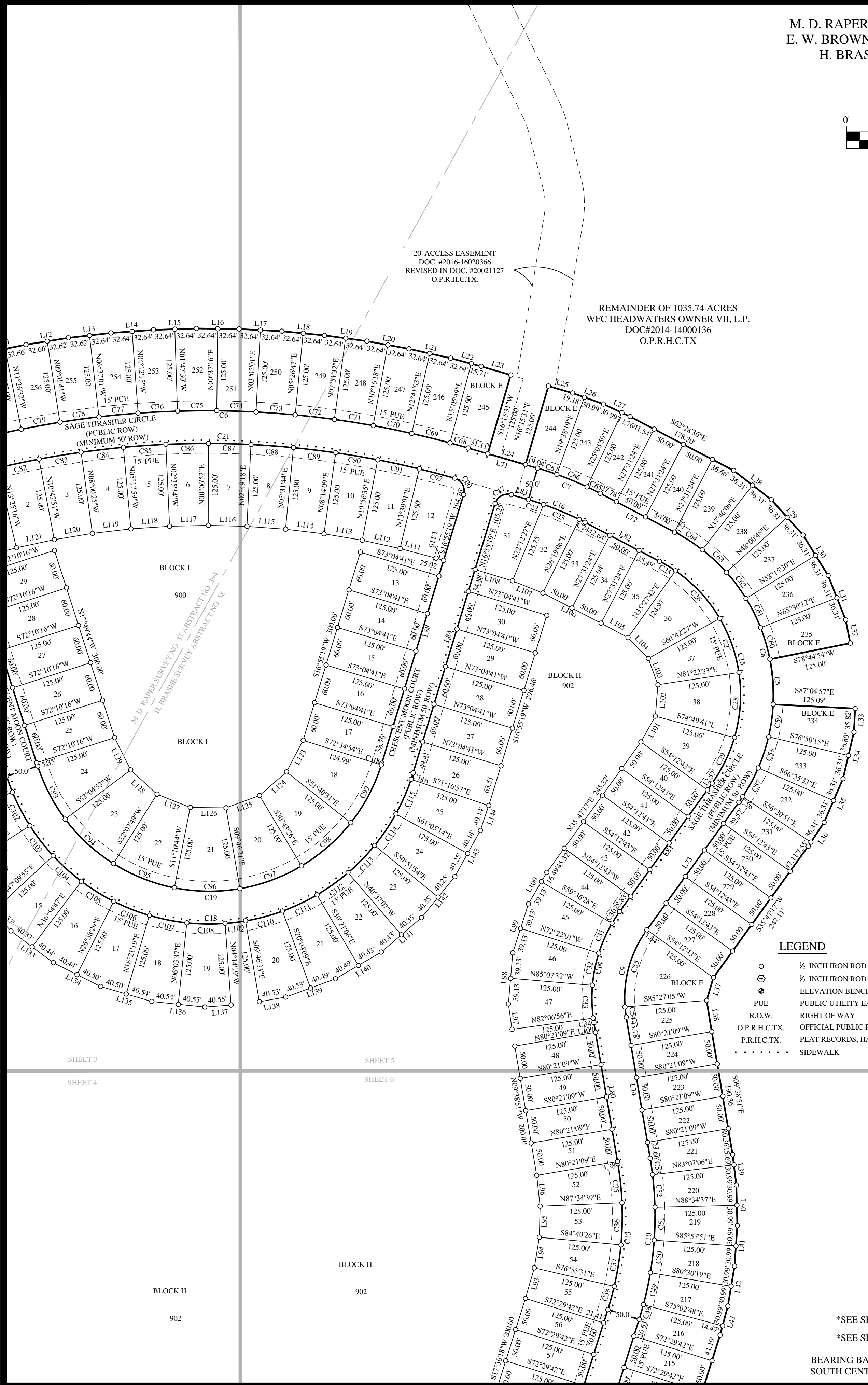
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WFC HEADWATERS O  
DOC#2014-140  
O.P.R.H.C.

M. D. RAPER SURVEY NO. 37 ABSTRACT NO. 394  
E. W. BROWN SURVEY NO. 136 ABSTRACT NO. 44  
H. BRASHE SURVEY ABSTRACT NO. 58  
HAYS COUNTY, TEXAS  
JUNE 2021



20' ACCESS EASEMENT  
DOC. #2016-16020366  
REVISED IN DOC. #20021127  
O.P.R.H.C.TX.

REMAINDER OF 1035.74 ACRES  
WFC HEADWATERS OWNER VII, L.P.  
DOC#2014-14000136  
O.P.R.H.C.TX



**LEGEND**

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET (UNLESS NOTED OTHERWISE)
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- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK

SHEET 3

SHEET 5

SHEET 4

SHEET 6

\*SEE SHEET 7 OF 9 FOR LINE AND CURVE TABLES.  
\*SEE SHEET 8 OF 9 FOR AREA TABLES.

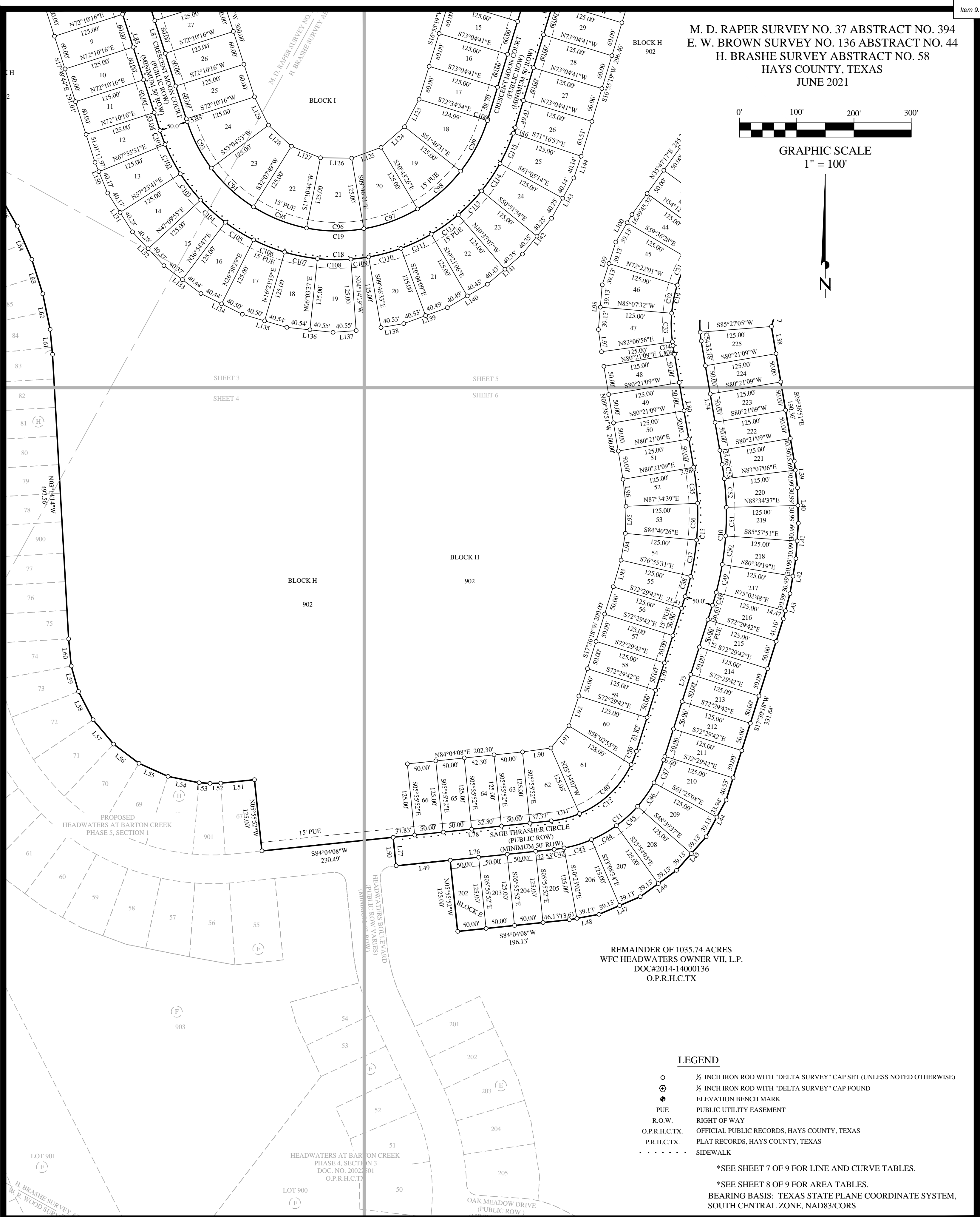
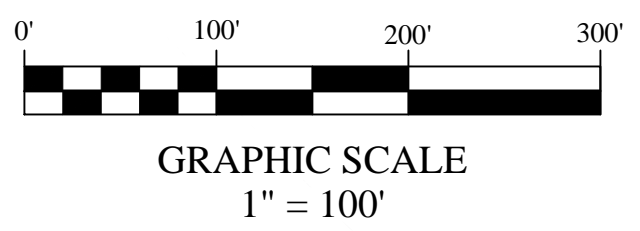
BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM,  
SOUTH CENTRAL ZONE, NAD83/CORS

**Delta Survey Group Inc.**  
8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
OFFICE: (512) 282-5200 FAX: (512) 282-5230  
TBPLS FIRM NO. 10004700  
PREPARATION DATE: 6-29-21

**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 5, SECTION 2  
CITY OF DRIPPING SPRINGS ETJ**

**SHEET  
5  
OF  
9**

M. D. RAPER SURVEY NO. 37 ABSTRACT NO. 394  
E. W. BROWN SURVEY NO. 136 ABSTRACT NO. 44  
H. BRASHE SURVEY ABSTRACT NO. 58  
HAYS COUNTY, TEXAS  
JUNE 2021



REMAINDER OF 1035.74 ACRES  
WFC HEADWATERS OWNER VII, L.P.  
DOC#2014-14000136  
O.P.R.H.C.TX

**LEGEND**

- ½ INCH IRON ROD WITH "DELTA SURVEY" CAP SET (UNLESS NOTED OTHERWISE)
- ⊕ ½ INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND
- ◆ ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK

\*SEE SHEET 7 OF 9 FOR LINE AND CURVE TABLES.

\*SEE SHEET 8 OF 9 FOR AREA TABLES.

BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM,  
SOUTH CENTRAL ZONE, NAD83/CORS

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**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 5, SECTION 2  
CITY OF DRIPPING SPRINGS ETJ**

**SHEET  
6  
OF  
9**

# LINE AND CURVE TABLES

## BOUNDARY AND ROW

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
L1	N41°25'01"E	88.61'	L46	S54°05'55"W	78.26'	C1	20.00'	32.36'	28.94'	N28°31'05"E	92°41'39"
L2	N46°46'08"E	80.00'	L47	S66°51'26"W	78.26'	C2	1343.91'	23.30'	23.30'	N74°34'00"E	0°59'36"
L3	N42°18'23"E	80.26'	L48	S79°36'58"W	52.74'	C3	1375.00'	23.57'	23.57'	N75°32'52"E	0°58'56"
L4	N58°39'07"E	72.08'	L49	S84°04'08"W	94.97'	C4	1425.00'	2.64'	2.64'	N76°05'32"E	0°06'23"
L5	N63°44'32"E	80.00'	L50	N05°55'52"W	50.00'	C5	280.00'	69.24'	69.07'	S04°10'02"E	14°10'08"
L6	N65°06'03"E	80.00'	L51	S84°17'22"W	59.15'	C6	1425.00'	751.59'	742.91'	S88°51'05"E	30°13'10"
L7	N68°57'44"E	90.00'	L52	S88°41'04"W	18.93'	C7	525.00'	103.22'	103.05'	S68°06'33"E	11°15'53"
L8	N72°10'16"E	50.00'	L53	N86°58'30"W	18.93'	C8	280.00'	480.21'	423.49'	S13°20'40"E	98°15'54"
L9	N13°57'40"W	50.00'	L54	N78°25'31"W	55.56'	C9	175.00'	138.78'	135.17'	S13°04'13"W	45°26'08"
L10	N76°08'43"E	32.64'	L55	N65°40'00"W	55.56'	C10	525.00'	248.80'	246.47'	S03°55'43"W	27°09'08"
L11	N78°33'28"E	65.30'	L56	N52°54'28"W	55.56'	C11	225.00'	261.40'	246.94'	S50°47'13"W	66°33'51"
L12	N80°58'19"E	65.28'	L57	N40°08'57"W	55.56'	C12	175.00'	203.31'	192.07'	N50°47'13"E	66°33'51"
L13	N83°22'59"E	65.28'	L58	N27°23'25"W	55.56'	C13	475.00'	225.10'	223.00'	N03°55'43"E	27°09'08"
L14	N85°47'45"E	65.28'	L59	N15°41'53"W	46.30'	C14	225.00'	178.43'	173.79'	N13°04'13"E	45°26'08"
L15	N88°12'30"E	65.28'	L60	N05°34'53"W	47.51'	C15	230.00'	394.46'	347.86'	N13°20'40"W	98°15'54"
L16	S89°22'44"E	65.28'	L61	N05°34'02"W	43.82'	C16	475.00'	93.39'	93.24'	N68°06'33"W	11°15'53"
L17	S86°57'59"E	65.28'	L62	N11°36'04"W	63.25'	C17	20.00'	31.18'	28.12'	S61°35'25"W	89°20'11"
L18	S84°33'13"E	65.28'	L63	N17°38'06"W	63.25'	C18	325.00'	823.90'	620.34'	S89°32'48"W	145°14'57"
L19	S82°08'28"E	65.28'	L64	N23°40'08"W	63.25'	C19	275.00'	697.15'	524.90'	N89°32'48"E	145°14'57"
L20	S79°43'42"E	65.28'	L65	N29°42'10"W	63.25'	C20	20.00'	31.75'	28.52'	N28°33'15"W	90°57'08"
L21	S77°18'57"E	65.28'	L66	N35°44'12"W	63.25'	C21	1375.00'	718.29'	710.15'	N88°59'44"W	29°55'51"
L22	S74°54'11"E	48.35'	L67	N41°46'14"W	63.25'						
L23	S73°44'29"E	46.82'	L68	N47°48'16"W	43.54'						
L24	S73°44'29"E	60.00'	L69	N50°04'46"W	93.06'						
L25	S73°44'29"E	38.22'	L70	N50°04'46"W	24.25'						
L26	S70°21'41"E	50.17'	L71	S73°44'29"E	110.15'						
L27	S64°54'10"E	44.75'	L72	S62°28'36"E	128.13'						
L28	S52°13'54"E	72.61'	L73	S35°47'17"W	241.40'						
L29	S41°59'12"E	72.61'	L74	S09°38'51"E	218.44'						
L30	S31°44'30"E	72.61'	L75	S17°30'18"W	283.22'						
L31	S21°29'48"E	72.61'	L76	S84°04'08"W	277.50'						
L32	S11°15'06"E	36.31'	L77	N05°55'52"W	50.00'						
L33	S02°55'03"W	35.82'	L78	N84°04'08"E	277.50'						
L34	S13°09'45"W	73.11'	L79	N17°30'18"E	283.22'						
L35	S23°24'27"W	72.61'	L80	N09°38'51"W	218.44'						
L36	S33°39'09"W	43.85'	L81	N35°47'17"E	241.40'						
L37	S16°37'24"W	36.21'	L82	N62°28'36"E	128.13'						
L38	S09°24'45"E	48.22'	L83	N73°44'29"W	26.97'						
L39	S06°52'54"E	46.68'	L84	S16°55'19"W	429.54'						
L40	S01°25'23"E	61.98'	L85	N17°49'44"W	330.45'						
L41	S04°02'09"W	61.98'	L86	N72°10'16"E	50.00'						
L42	S09°29'41"W	61.98'	L87	S17°49'44"E	330.45'						
L43	S14°57'12"W	45.46'	L88	N16°55'19"E	428.48'						
L44	S28°34'52"W	73.07'	L89	N13°57'40"W	50.00'						
L45	S41°20'23"W	78.26'									

## LOTS

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC	CHORD	BEARING	DELTA	CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
L90	N82°12'38"E	50.03'	C22	475.00'	24.43'	24.43'	N72°16'04"W	2°56'50"	C77	1425.00'	60.00'	60.00'	S84°35'22"W	2°24'45"
L91	N39°10'55"E	49.90'	C23	475.00'	58.96'	58.93'	N67°14'17"W	7°06'45"	C78	1425.00'	59.97'	59.96'	S82°10'39"W	2°24'40"
L92	N18°16'31"E	54.82'	C24	475.00'	9.99'	9.99'	N63°04'45"W	1°12'18"	C79	1425.00'	60.04'	60.04'	S79°45'54"W	2°24'51"
L93	N16°16'06"E	48.45'	C25	230.00'	28.37'	28.35'	N58°56'37"W	7°03'59"	C80	1425.00'	60.00'	60.00'	S77°21'06"W	2°24'45"
L94	S09°12'01"W	47.30'	C26	230.00'	99.84'	99.06'	N42°58'27"W	24°52'20"	C81	1375.00'	12.95'	12.95'	S76°18'32"W	0°32'23"
L95	S01°27'06"W	47.30'	C27	230.00'	87.97'	87.43'	N19°34'52"W	21°54'50"	C82	1375.00'	64.97'	64.96'	S77°55'57"W	2°42'26"
L96	S06°17'31"E	47.48'	C28	230.00'	100.52'	99.73'	N03°53'48"E	25°02'30"	C83	1375.00'	64.97'	64.96'	S80°38'22"W	2°42'26"
L97	N07°53'04"W	39.13'	C29	230.00'	77.76'	77.39'	N26°06'10"E	19°22'14"	C84	1375.00'	64.97'	64.96'	S83°20'48"W	2°42'26"
L98	N04°52'28"E	78.26'	C30	225.00'	21.19'	21.18'	S33°05'25"W	5°23'45"	C85	1375.00'	64.97'	64.96'	S86°03'14"W	2°42'26"
L99	N17°37'59"E	78.26'	C31	225.00'	50.11'	50.00'	S24°00'46"W	12°45'33"	C86	1375.00'	64.97'	64.96'	S88°45'39"W	2°42'26"
L100	N30°23'32"E	55.63'	C32	225.00'	50.10'	50.00'	S11°15'13"W	12°45'31"	C87	1375.00'	64.97'	64.96'	N88°31'55"W	2°42'26"
L101	N29°19'42"E	45.11'	C33	225.00'	50.10'	50.00'	S01°30'18"E	12°45'31"	C88	1375.00'	64.97'	64.96'	N85°49'29"W	2°42'26"
L102	N04°38'19"E	48.18'	C34	225.00'	6.92'	6.92'	S08°45'57"E	1°45'47"	C89	1375.00'	64.97'	64.96'	N83°07'04"W	2°42'26"
L103	S20°14'13"E	42.59'	C35	475.00'	59.90'	59.86'	N06°02'06"W	7°13'30"	C90	1375.00'	64.97'	64.96'	N80°24'38"W	2°42'26"
L104	N44°14'31"W	44.45'	C36	475.00'	64.24'	64.19'	N01°22'06"E	7°44'55"	C91	1375.00'	64.97'	64.96'	N77°42'12"W	2°42'26"
L105	N61°49'59"W	46.53'	C37	475.00'	64.24'	64.19'	N09°12'01"E	7°44'55"	C92	1375.00'	55.67'	55.66'	N75°11'24"W	2°19'11"
L106	N62°31'16"W	100.00'	C38	475.00'	36.73'	36.72'	N15°17'23"E	4°25'49"	C93	275.00'	91.62'	91.20'	S27°22'25"E	19°05'23"
L107	N68°22'11"W	49.97'	C39	175.00'	25.01'	24.99'	N21°35'57"E	8°11'19"	C94	275.00'	100.56'	100.00'	S47°23'39"E	20°57'05"
L108	N73°04'44"W	59.58'	C40	175.00'	127.05'	124.27'	N46°29'28"E	41°35'43"	C95	275.00'	100.56'	100.00'	S68°20'44"E	20°57'05"
L109	S09°38'51"E	15.06'	C41	175.00'	51.25'	51.07'	N75°40'44"E	16°46'48"	C96	275.00'	100.56'	100.00'	S89°17'49"E	20°57'05"
L110	N73°44'29"E	11.96'	C42	225.00'	17.49'	17.48'	N81°50'33"E	4°27'10"	C97	275.00'	100.56'	100.00'	N69°45'06"E	20°57'05"
L111	N75°02'44"W	56.90'	C43	225.00'	50.10'	50.00'	N73°14'12"E	12°45'31"	C98	275.00'	100.56'	100.00'	N48°48'01"E	20°57'05"
L112	N77°42'12"W	59.06'	C44	225.00'	50.10'	50.00'	N60°28'41"E	12°45'31"	C99	275.00'	100.34'	99.79'	N27°52'18"E	20°54'23"
L113	N80°24'38"W	59.06'	C45	225.00'	50.10'	50.00'	N47°43'09"E	12°45'31"	C100	275.00'	2.38'	2.38'	N17°10'13"E	0°29'47"
L114	N83°07'04"W	59.06'	C46	225.00'	50.10'	50.00'	N34°57'38"E	12°45'31"	C101	325.00'	25.94'	25.94'	S20°06'56"E	4°34'25"
L115	N85°49'29"W	59.06'	C47	225.00'	43.50'	43.43'	N23°02'35"E	11°04'34"	C102	325.00'	57.87'	57.80'	S27°30'14"E	10°12'10"
L116	N88°31'55"W	59.06'	C48	525.00'	23.38'	23.38'	N16°13'45"E	2°33'05"	C103	325.00'	58.02'	57.95'	S37°43'12"E	10°13'45"
L117	S88°45'39"W	59.06'	C49	525.00'	50.02'	50.00'	N12°13'27"E	5°27'32"	C104	325.00'	58.15'	58.08'	S47°57'39"E	10°15'09"
L118	S86°03'14"W	59.06'	C50	525.00'	50.02'	50.00'	N06°45'55"E	5°27'32"	C105	325.00'	58.26'	58.19'	S58°13'22"E	10°16'18"
L119	S83°20'48"W	59.06'	C51	525.00'	50.02'	50.00'	N01°18'23"E	5°27'32"	C106	325.00'	58.35'	58.27'	S68°30'06"E	10°17'10"
L120	S80°38'22"W	59.06'	C52	525.00'	50.02'	50.00'	N04°09'08"W	5°27'32"	C107	325.00'	58.40'	58.32'	S78°47'32"E	10°17'43"
L121	S77°55'57"W	59.06'	C53	525.00'	25.34'	25.34'	N08°15'53"W	2°45'56"	C108	325.00'	58.42'	58.34'	S89°05'21"E	10°17'56"
L122	S74°53'12"W	71.15'	C54	175.00'	15.57'	15.57'	S07°05'53"E	5°05'55"	C109	325.00'	31.41'	31.40'	N82°59'34"E	5°32'14"
L123	S27°52'39"W	54.43'	C55	175.00'	123.20'	120.67'	S15°37'11"W	40°20'13"	C110	325.00'	58.39'	58.31'	N75°04'39"E	10°17'36"
L124	S48°48'01"W	54.55'	C56	280.00'	10.44'	10.44'	N34°43'13"E	2°08'08"	C111	325.00'	58.33'	58.25'	N64°47'22"E	10°16'57"
L125	S69°45'06"W	54.55'	C57	280.00'	50.07'	50.00'	N28°31'48"E	10°14'42"	C112	325.00'	58.24'	58.16'	N54°30'54"E	10°16'00"
L126	N89°17'49"W	54.55'	C58	280.00'	50.07'	50.00'	N18°17'06"E	10°14'42"	C113	325.00'	58.12'	58.04'	N44°15'30"E	10°14'47"
L127	N68°20'44"W	54.55'	C59	280.00'	50.07'	50.00'	N08°02'24"E	10°14'42"	C114	325.00'	57.98'	57.91'	N34°01'26"E	10°13'20"
L128	N47°23'39"E	54.55'	C60	280.00'	50.07'	50.00'	N16°22'27"E	10°14'42"	C115	325.00'	57.83'	57.75'	N23°48'54"E	10°11'43"
L129	N26°27'01"W	55.03'	C61	280.00'	50.07'	50.00'	N26°37'09"W	10°14'42"	C116	325.00'	10.18'	10.18'	N17°49'11"E	1°47'43"
L130	S22°24'09"E	58.14'	C62	280.00'	50.07'	50.00'	N36°51'51"W	10°14'42"						
L131	S32°36'19"E	80.45'	C63	280.00'	50.07'	50.00'	N47°06'33"W	10°14'42"						
L														

# AREA TABLES

## BLOCK I

RESIDENTIAL		
Lot	Acres	Sq. Feet
1	0.22	9431.05
2	0.18	7765.44
3	0.18	7765.44
4	0.18	7765.44
5	0.18	7765.44
6	0.18	7765.44
7	0.18	7765.44
8	0.18	7765.44
9	0.18	7765.44
10	0.18	7765.44
11	0.18	7765.44
12	0.21	8977.93
13	0.17	7500.00
14	0.17	7500.00
15	0.17	7500.00
16	0.17	7500.00
17	0.17	7567.68
18	0.22	9782.54
19	0.23	9804.18
20	0.23	9804.18
21	0.23	9804.18
22	0.23	9804.18
23	0.23	9804.18
24	0.22	9609.42
25	0.17	7500.00
26	0.17	7500.00
27	0.17	7500.00
28	0.17	7500.00
29	0.17	7500.00

NON-RESIDENTIAL		
Lot	Acres	Sq. Feet
900	3.46	150532.26

## BLOCK H

RESIDENTIAL		
Lot	Acres	Sq. Feet
8	0.17	7500.00
9	0.17	7500.00
10	0.17	7500.00
11	0.17	7500.00
12	0.18	8001.13
13	0.20	8673.26
14	0.20	8695.92
15	0.20	8715.83
16	0.20	8732.29
17	0.20	8744.70
18	0.20	8752.61
19	0.20	8755.72
20	0.20	8750.92
21	0.20	8741.75
22	0.20	8728.18
23	0.20	8710.71
24	0.20	8689.98
25	0.20	8666.71
26	0.18	7693.91
27	0.17	7500.00
28	0.17	7500.00
29	0.17	7500.00
30	0.17	7500.00
31	0.19	8112.41
32	0.16	6853.26
33	0.15	6417.07
34	0.14	6250.97
35	0.16	6909.45
36	0.21	9105.92
37	0.19	8238.57
38	0.22	9411.02
39	0.20	8540.20
40	0.14	6250.00
41	0.14	6250.00
42	0.14	6250.00
43	0.14	6250.00
44	0.16	6992.45
45	0.19	8059.57
46	0.19	8059.28
47	0.19	8059.28
48	0.14	6250.00
49	0.14	6250.00
50	0.14	6250.00
51	0.14	6250.00
52	0.16	6949.70
53	0.16	6998.44
54	0.16	6998.44
55	0.15	6678.72
56	0.14	6250.00
57	0.14	6250.00
58	0.14	6250.00
59	0.14	6250.00
60	0.20	8892.74
61	0.26	11423.53
62	0.20	8706.13
63	0.14	6250.00
64	0.15	6537.69
65	0.14	6250.00
66	0.14	6250.00

NON-RESIDENTIAL		
Lot	Acres	Sq. Feet
902	23.31	1015210.80

## BLOCK E

RESIDENTIAL		
Lot	Acres	Sq. Feet
202	0.14	6250.00
203	0.14	6250.00
204	0.14	6250.00
205	0.16	6861.19
206	0.19	8059.28
207	0.19	8059.28
208	0.19	8059.28
209	0.19	8059.28
210	0.18	7809.11
211	0.14	6250.00
212	0.14	6250.00
213	0.14	6250.00
214	0.14	6250.00
215	0.14	6250.00
216	0.15	6600.08
217	0.16	7011.93
218	0.16	7011.93
219	0.16	7011.93
220	0.16	7011.93
221	0.15	6629.86
222	0.14	6250.00
223	0.14	6250.00
224	0.14	6250.00
225	0.15	6728.16
226	0.23	10211.93
227	0.14	6250.00
228	0.14	6250.00
229	0.14	6250.00
230	0.14	6250.00
231	0.15	6541.81
232	0.18	7694.48
233	0.18	7694.48
234	0.18	7697.68
235	0.18	7694.48
236	0.18	7694.48
237	0.18	7694.48
238	0.18	7694.48
239	0.18	7738.59
240	0.14	6250.00
241	0.14	6250.00
242	0.15	6582.68
243	0.16	7011.93
244	0.15	6715.70
245	0.18	7659.39
246	0.18	7837.00
247	0.18	7837.00
248	0.18	7837.00
249	0.18	7837.00
250	0.18	7837.00
251	0.18	7837.00
252	0.18	7837.00
253	0.18	7837.00
254	0.18	7837.00
255	0.18	7832.23
256	0.18	7841.77
257	0.18	7837.00

# PHASE 5, SECTION 2 IMPERVIOUS COVER TRACKING

## HEADWATERS DEVELOPMENT AGREEMENT - IMPERVIOUS COVER SUMMARY

### ALLOWABLE IMPERVIOUS COVER

TOTAL AREA<sup>1</sup> = 1509.68 AC.  
 TOTAL ALLOWABLE IMPERVIOUS COVER (15%)<sup>2</sup> = 226.45 AC.  
 COMMERCIAL AREA<sup>1</sup> = 166.13 AC.  
 COMMERCIAL ALLOWABLE IMPERVIOUS COVER (50% OF AREA)<sup>2,3</sup> = 83.07 AC.  
 RESIDENTIAL AREA<sup>1</sup> = 1343.55 AC.  
 RESIDENTIAL ALLOWABLE IMPERVIOUS COVER<sup>2</sup> = 143.38 AC.

#### NOTES:

1. ACREAGE ON ABOVE TABLE COME FROM THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT, DATED JANUARY 11, 2005 RECORDED IN VOLUME 2675, PAGE 649 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TX.
2. IMPERVIOUS COVER CALCULATIONS ARE BASED ON THE REQUIREMENTS OF THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.
3. IMPERVIOUS COVER OF COMMERCIAL TRACT IS ASSUMED TO BE 50% OF COMMERCIAL AREA PER THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.

### TOTAL SITE SUMMARY

#### COMMERCIAL IMPERVIOUS COVER SUMMARY

HEADWATERS COMMERCIAL (ROADWAY IMPROVEMENTS) IMPERVIOUS COVER = 0.79 AC.  
 HEADWATERS APARTMENTS IMPERVIOUS COVER = 4.82 AC.  
 HEADWATERS OFFICE WEST IMPERVIOUS COVER = 1.48 AC.

TOTAL COMMERCIAL IMPERVIOUS COVER = 7.09 AC.

REMAINING COMMERCIAL IMPERVIOUS COVER = 75.98 AC.

#### RESIDENTIAL IMPERVIOUS COVER SUMMARY

PHASE 1 IMPERVIOUS COVER = 33.08 AC.  
 PHASE 2 IMPERVIOUS COVER = 28.97 AC.  
 PHASE 4 SECTION 1 IMPERVIOUS COVER = 3.08 AC.  
 PHASE 4 SECTION 2 IMPERVIOUS COVER = 4.65 AC.  
 PHASE 4 SECTION 3 IMPERVIOUS COVER = 7.54 AC.  
 PHASE 4 SECTION 4 IMPERVIOUS COVER = 12.83 AC.  
 PHASE 4 SECTION 5 IMPERVIOUS COVER = 3.03 AC.  
 PHASE 4 SECTION 6 (NON-SCHOOL TRACT) IMPERVIOUS COVER = 0.42 AC.  
 PHASE 4 SECTION 6 (SCHOOL TRACT) IMPERVIOUS COVER = SEE NOTE 5 BELOW  
 PHASE 5 SECTION 1 IMPERVIOUS COVER = 5.86 AC  
 PHASE 5 SECTION 2 IMPERVIOUS COVER = 16.24 AC

TOTAL RESIDENTIAL IMPERVIOUS COVER = 116.78 AC.

REMAINING RESIDENTIAL IMPERVIOUS COVER = 26.60 AC.

AVERAGE RESIDENTIAL LOT SIZE = 8,392 SF

#### NOTES:

1. IMPERVIOUS COVER OF "HEADWATERS COMMERCIAL (ROADWAY IMPROVEMENTS)" CALCULATED BY ADDING THE IMPERVIOUS COVER FROM DRAINAGE AREAS DA 2 AND DA 7 OF THE DEVELOPED DRAINAGE AREA MAP FROM THE ENGINEERING PLANS FOR HEADWATERS COMMERCIAL, ISSUED BY AUSTIN CIVIL ENGINEERING, INC., SEALED BY HUNTER SHADBURNE, P.E., DATED 5/10/18. IMPERVIOUS COVER OF FUTURE DEVELOPMENT AREAS TO BE INCLUDED AT THE TIME OF FINAL PLAT.
2. IMPERVIOUS COVER OF "HEADWATERS APARTMENTS" FROM THE APPROVED SITE PLANS FOR HEADWATERS APARTMENTS, ISSUED BY AUSTIN CIVIL ENGINEERING, INC., SEALED BY HUNTER SHADBURNE, P.E. DATED 07/09/18.
3. IMPERVIOUS COVER OF "PHASE 1" OF THE HEADWATERS AT BARTON CREEK SUBDIVISION FROM RECORD DRAWINGS FOR THE PHASE 1 OF HEADWATERS AT BARTON CREEK SUBDIVISION, ISSUED BY DOUCET & ASSOCIATES, INC., SEALED BY JAMES BREWER, P.E. DATED 03/16/15.
4. AVERAGE RESIDENTIAL LOT SIZE OF "PHASE 1" FROM THE RECORDED FINAL PLAT, HEADWATERS AT BARTON CREEK, PHASE 1, ISSUED BY DOUCET & ASSOCIATES, INC., SEALED BY SYDNEY XINOS, R.P.L.S. DATED 03/08/16.
5. SECTIONS 1.15 AND 3.2.5, OF THE RESTATED HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT DOCUMENT NUMBER 20021129, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS STATE THAT IMPERVIOUS COVER OF THE SCHOOL TRACT SHALL NOT BE INCLUDED IN DETERMINING ALLOWABLE IMPERVIOUS COVER OF THE LAND.
6. IMPERVIOUS COVER OF "HEADWATERS WEST OFFICE" FROM THE APPROVED SITE PLANS SEALED BY JOSE SOSA, P.E. DATED 07/31/2020.



8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
 OFFICE: (512) 282-5200 FAX: (512) 282-5230  
 TBPLS FIRM NO. 10004700  
 PREPARATION DATE: 6-29-21

FINAL PLAT ESTABLISHING  
 HEADWATERS AT  
 BARTON CREEK, PHASE 5, SECTION 2  
 CITY OF DRIPPING SPRINGS ETJ

SHEET  
 9  
 OF  
 9



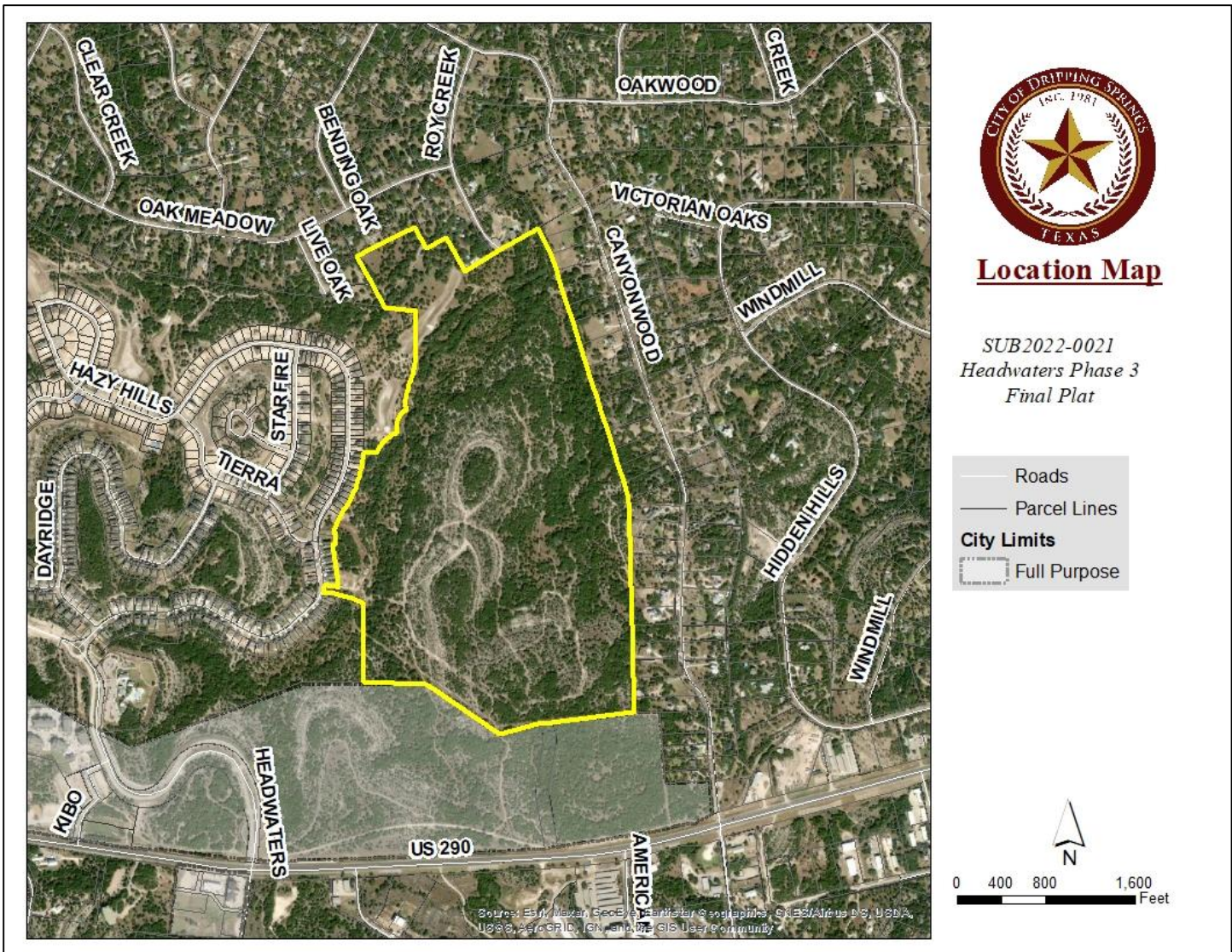
# Planning and Zoning Commission Planning Department Staff Report

Item 10.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0020  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

**Project Name:** Headwaters Phase 3 Final Plat  
**Property Location:** Hazy Hills Loop at Roy Branch Road  
**Legal Description:** 200.77 acres, out of FA Jolly Survey  
**Applicant:** WFC HEADWATERS OWNER VII, L.P.  
**Property Owner:** WFC HEADWATERS OWNER VII, L.P.  
**Staff recommendation:** Denial of the Final Plat based on outstanding comments



# Planning Department Staff Report

## Overview

This final plat consists of 172 single-family lots.

## Access and Transportation

Primary access to the subdivision will be through Hazy Hills Loop.

## Site Information

**Location:** Headwaters Blvd & Sage Thrasher Cir

**Zoning Designation:** ETJ / Headwaters Development Agreement

## Property History

The restated Headwaters at Barton Creek development agreement was approved February 2020.

## Recommendation

Denial to address comments.

## Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Headwaters Phase 3 Final Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A





**DRIPPING SPRINGS**  
Texas

Item 10.

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**SUBDIVISION APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**  
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION	PRE-APPLICATION CONFERENCE
DATE: _____	DATE: <u>2/3/2022</u>
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

**PLAT TYPE**

Amending Plat

Minor Plat

Replat

Final Plat

Plat Vacation

Other: \_\_\_\_\_

**CONTACT INFORMATION**

**APPLICANT NAME** WFC HEADWATERS OWNER VII, L.P.

**COMPANY** Freehold Communities

**STREET ADDRESS** 500 Boylston St., Ste 2010

**CITY** Boston **STATE** MA **ZIP CODE** 02116

**PHONE** C/O 617.221.8400 **EMAIL** jrb@freeholdcm.com; cc: contact@freeholdcm.com

**OWNER NAME** WFC HEADWATERS OWNER VII, L.P.

**COMPANY** Freehold Communities

**STREET ADDRESS** 500 Boylston St., Ste 2010

**CITY** Boston **STATE** MA **ZIP CODE** 02116

**PHONE** C/O 617.221.8400 **EMAIL** jrb@freeholdcm.com; cc: contracts@freeholdcm.com

<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	WFC HEADWATERS OWNER VII, L.P.
PROPERTY ADDRESS	Intersection of Hazy Hills Loop & Roy Branch Road
CURRENT LEGAL DESCRIPTION	A0555 F A JOLLY SURVEY, A0560 J POWELL SURVEY, A0475 W M WALKER JR SURVEY, H BENSON SURVEY, ACRES 202.59
TAX ID #	R176127
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	200.77
SCHOOL DISTRICT	DSISD
ESD DISTRICT(S)	6
ZONING/PDD/OVERLAY	None - ETJ
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input type="checkbox"/> City/County (public) Name: <b>None</b>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>The Headwaters at Barton Creek</u>

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Headwaters at Barton Creek, Phase 3
TOTAL ACREAGE OF DEVELOPMENT	200.77
TOTAL NUMBER OF LOTS	175
AVERAGE SIZE OF LOTS	8,274 SF
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL/OTHER: <u>DRNG, WQ, OS, MUD UTILITY</u>
# OF LOTS PER USE	RESIDENTIAL: <u>172</u> OTHER: <u>3</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>39.95</u> OTHER: <u>160.82</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>8,644</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <b>Headwaters MUD</b> <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <b>Headwaters MUD</b> <input type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input type="checkbox"/> NO   N/A</p>	

COMMENTS: \_\_\_\_\_

TITLE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ SEE ATTACHED

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): Pedernales Electric Cooperative

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Time Warner Cable / Spectrum

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): Headwaters Municipal Utility District

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): Headwaters Municipal Utility District

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): One Texas Gas

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

<u>PARKLAND DEDICATION?</u>	<u>AGRICULTURE FACILITIES (FINAL PLAT)?</u>
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

↑ PARKLAND TO BE DEDICATED PER THE D.A. ↓

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**Hays County, State of Texas  
Subdivision Application Form**

**Headwaters at Barton Creek, Phase 3  
WFC Headwaters Owner VII, L.P. Signature Page**


**PROPERTY OWNER'S/APPLICANT'S CERTIFICATION:**

WFC Headwaters Owner VII, L.P.,  
a Delaware limited partnership

By: WFC Headwaters GP VII, L.L.C.,  
a Delaware limited liability company,  
its General Partner

By: WFC Headwaters Holdings JV VII, L.L.C.,  
a Delaware limited liability company,  
its Sole Member

By: FCA Austin, LLC,  
a Delaware limited liability company,  
its Administrative Member

By:   
Name: Jesse R. Baker  
Title: Authorized Signatory  
Date: 2/15/22


STATE OF MASSACHUSETTS

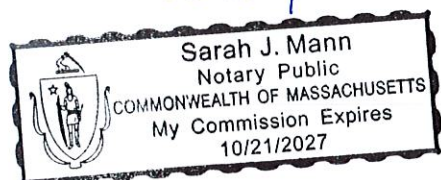
KNOW ALL MEN BY THESE PRESENTS

COUNTY OF SUFFOLK

Before me, the undersigned authority, on this day personally appeared Jesse R. Baker known to me to be the Authorized Signatory of FCA Austin, LLC, Administrative Member of WFC Headwaters Holdings JV VII, L.L.C., Sole Member of WFC Headwaters GP VII, L.L.C., General Partners of WFC Headwaters Owner VII, L.P. on behalf of said limited partnership and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL of office this 15<sup>th</sup> day of February, 2022.

  
Notary Public in and for the State of Massachusetts  
My Commission expires on: 10/21/27



All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: SEE ATTACHED Date: \_\_\_\_\_

<b>FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST</b>		
<b>Subdivision Ordinance, Section 5</b>		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	N/A	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	N/A	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FISCAL TO BE POSTED ONCE APPROVED</b> Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	N/A	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	N/A	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	N/A	Parkland Dedication fee (if applicable) <b>PARKLAND DEDICATED PER D.A.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	N/A	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

PROJECT IS IN ETJ - COSTS TO BE APPROVED BY HAYS COUNTY.

FINAL PLAT INFORMATION REQUIREMENTS		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all street right-of-way and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

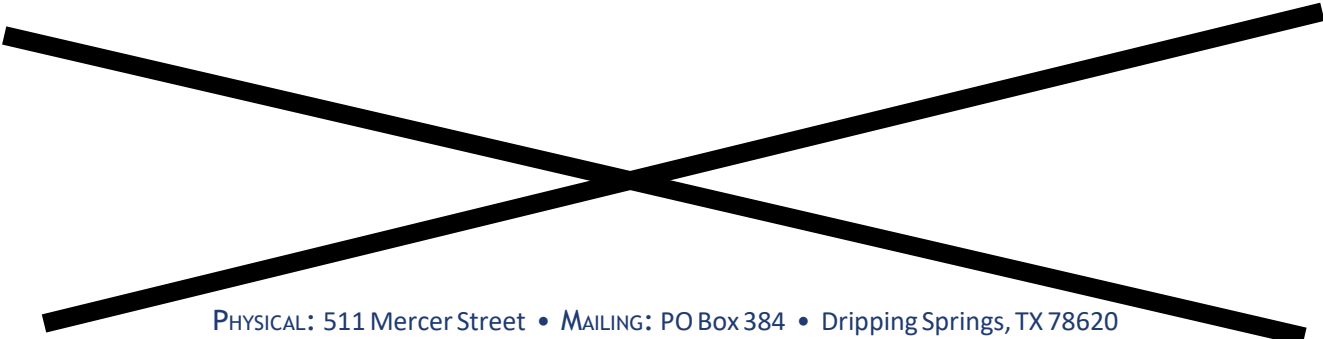
		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>None proposed</p>
<p>Parkland Dedication, Article 28.03</p>	<p>None proposed, parkland dedicated through Development Agreement</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>N/A - ETJ</p>

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).  The site is proposed to be in compliance with the Headwaters Development Agreement, as amended or restated.
Zoning, Article 30.02, Exhibit A	N/A - project is located in the ETJ



STATE OF TEXAS §
COUNTY OF HAYS §
KNOW ALL THESE MEN BY PRESENTS:

THAT, WFC HEADWATERS OWNER VII, L.P., A DELAWARE LIMITED PARTNERSHIP, THE OWNER OF THE REMAINDER OF 1035.74 ACRES AS CONVEYED IN VOLUME 4832, PAGE 118 AS DOCUMENT NUMBER 2014-14000136 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE A TOTAL OF 200.77 ACRES OF LAND TO BE KNOWN AS "HEADWATERS AT BARTON CREEK, PHASE 3", IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HEREOF GRANTED, AND DOES DEDICATE TO THE PUBLIC THE USE OF STREETS AND EASEMENTS AS SHOWN HEREON

WITNESS MY HAND, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

WFC HEADWATERS OWNER VII, L.P.,
A DELAWARE LIMITED PARTNERSHIP

BY: WFC HEADWATERS GP VII, L.L.C.,
A DELAWARE LIMITED LIABILITY COMPANY
ITS GENERAL PARTNER

BY: \_\_\_\_\_
NAME: \_\_\_\_\_
TITLE: \_\_\_\_\_
C/O 500 BOYLSTON STREET, SUITE 2010
BOSTON, MA 02116

STATE OF MASSACHUSETTS §
COUNTY OF SUFFOLK §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

(NOTARY PUBLIC IN AND FOR STATE OF TEXAS)

(PRINT OR TYPE NOTARY'S NAME)

LEINHOLDER CONSENT:
PIONEER BANK, SSB

CHRIS BOURNE
CENTRAL TEXAS REGIONAL PRESIDENT

ADDRESS FOR NOTICES: 623 W. 38TH STREET, SUITE 100
AUSTIN, TEXAS 78705
ATTN: CHRIS BOURNE

STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED CHRIS BOURNE, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

(NOTARY PUBLIC IN AND FOR STATE OF TEXAS)

(PRINT OR TYPE NOTARY'S NAME)

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION TO-WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

ERIC VAN GAASBEEK, R.S., C.F.M. DATE
HAYS COUNTY FLOOD PLAIN ADMINISTRATOR

MARCUS PACHECO DATE
DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

STATE OF TEXAS §
CITY OF DRIPPING SPRINGS §
COUNTY OF HAYS §

THIS PLAT, HEADWATERS AT BARTON CREEK, PHASE 3; FINAL PLAT; HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY APPROVED.

APPROVED, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

BY:

PLANNING AND ZONING COMMISSION CHAIR OR VICE CHAIR

ATTEST:

ANDREA CUNNINGHAM, CITY SECRETARY

STATE OF TEXAS §
COUNTY OF HAYS §

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF DRIPPING SPRINGS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.

MARCUS PACHECO DATE
DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

WATER SUPPLY NOTE:

THE CITY OF DRIPPING SPRINGS, A RETAIL WATER PROVIDER TO THE HEADWATERS MUD, HAS THE REQUIRED SERVICE CAPACITY TO SERVE THIS SUBDIVISION IN ACCORDANCE WITH ITS TARIFF AND POLICIES.

GINGER FAUGHT, DEPUTY CITY ADMINISTRATOR DATE
512-858-4725

SURVEYOR'S CERTIFICATION:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN THEREON.

PRELIMINARY - NOT FOR RECORDATION

JOHN BRAUTIGAM DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 5057- STATE OF TEXAS
DELTA SURVEY GROUP, INC.
8213 BRODIE LANE, SUITE 102
AUSTIN, TEXAS 78745
TBPLS FIRM NO. 10004700

ENGINEER'S CERTIFICATION:

I, LANDON M. MCCLELLAN, A REGISTERED PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT A PORTION OF THE TRACT HEREON LIES WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREAS WITH BASE FLOOD ELEVATIONS DETERMINED), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48209C0108F, DATED SEPTEMBER 2, 2005 FOR HAYS COUNTY, TEXAS.

PRELIMINARY - NOT FOR RECORDATION

LANDON M. MCCLELLAN, P.E. DATE
REGISTERED PROFESSIONAL ENGINEER NO. 142710
MALONE/WHEELER, INC.
5113 SOUTHWEST PKWY, STE 260
AUSTIN, TEXAS 78735
FIRM REGISTRATION NO. F-786

STATE OF TEXAS §
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS:

THAT, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY COURT DOES HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND THE CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDS IN MY OFFICE ON THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D. IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN INSTRUMENT NUMBER \_\_\_\_\_ WITNESS MY HAND AND SEAL OF OFFICE OF COUNTY CLERK OF SAID COUNTY ON THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D. FILED FOR RECORD AT \_\_\_\_\_ O'CLOCK \_\_M. THIS THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

**FLOODPLAIN NOTE:**  
 A PORTION OF THE TRACT HEREON LIES WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREAS WITH ELEVATIONS DETERMINED), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE PROGRAM, AS DELINEATED ON THE FLOOD INSURANCE RATE MAP (FIRM) M 48209C0108F, DATED SEPTEMBER 2, 2005 FOR HAYS COUNTY, TEXAS.

**JURISDICTION PLAT NOTES:**

1. THIS SUBDIVISION IS WITHIN THE BOUNDARIES OF THE CITY OF DRIPPING SPRINGS ETJ, HAYS COUNTY
2. THIS SUBDIVISION IS WITHIN THE BOUNDARIES OF THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
3. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS COUNTY ESD #1 FOR EMS SERVICE.
4. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS COUNTY ESD #6 FOR FIRE SERVICE.
5. THIS SUBDIVISION IS ENTIRELY WITHIN THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT.
6. THIS SUBDIVISION IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

**GENERAL NOTES:**

1. A 15' PUBLIC UTILITY EASEMENT IS PROVIDED ALONG THE FRONT PROPERTY LINE OF ALL LOTS.
2. A 5' PUBLIC UTILITY EASEMENT IS DEDICATED ALONG EACH RESIDENTIAL SIDE LOT LINE EXTENDING 35' FROM THE FRONT LOT LINE.
3. ALL SIDEWALKS TO BE MAINTAINED BY THE ENTITIES (HEADWATERS MUNICIPAL UTILITY DISTRICT (MUD) OR THE HOME OWNERS ASSOCIATION (AS ASSIGNED) OTHER THAN HAYS COUNTY.
4. WATER QUALITY PROTECTION MEASURES OR ALTERNATIVES, SUCH AS BUFFER ZONES AND IMPERVIOUS COVER, AS SHOWN ON THE APPROVED CONSTRUCTION PLANS MAY NOT BE ALTERED WITHOUT REVIEW AND APPROVAL FROM THE HEADWATERS MUNICIPAL UTILITY DISTRICT OF HAYS COUNTY.
5. HAYS COUNTY WILL MAINTAIN ALL PUBLIC STREETS.
6. ALL PROPOSED STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 4' WIDE CONCRETE SIDEWALK ALONG ONE SIDE OF THE STREET.
7. OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION OR HEADWATERS M.U.D. AS ASSIGNED.
8. ALL DRAINAGE EASEMENT LOTS AND IMPROVEMENTS CONSTRUCTED WITHIN THOSE LOTS WILL BE OWNED AND MAINTAINED BY THE HEADWATERS MUD.
9. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
10. THE LIMITS OF THE 100-YR STORM WATER RUNOFF ARE CONTAINED WITHIN DRAINAGE EASEMENTS FOR DRAINAGE AREAS GREATER THAN 64 ACRES.
11. THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION, AND MAINTENANCE.
12. EASEMENT RESEARCH PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT FILE NO. 201302246, ISSUED JANUARY 2, 2014.
13. ALL RESIDENTIAL LOTS WITHIN THIS SUBDIVISION SHALL CONNECT TO A PUBLIC WATER SOURCE.
14. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL APPLICABLE CITY OF DRIPPING SPRINGS DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.
15. THIS SUBDIVISION IS SUBJECT TO ORDINANCE 1260.00, ARTICLE 24.06 REGARDING OUTDOOR LIGHTING.
16. THIS SUBDIVISION IS SUBJECT TO THE CITY OF DRIPPING SPRINGS PARKLAND DEDICATION REQUIREMENT PER THE PARK PLAN PREPARED FOR THIS SUBDIVISION.
17. THE PARKS AND OPEN SPACE SHALL BE PRIVATELY DEDICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.
18. WASTEWATER FOR THIS DEVELOPMENT WILL BE TREATED BY ONSITE WASTEWATER TREATMENT PLANT OWNED AND OPERATED BY THE HEADWATERS MUNICIPAL UTILITY DISTRICT (MUD).
19. THE FOLLOWING LOTS WILL BE UTILIZED FOR WATER QUALITY TREATMENT, DRAINAGE, MUNICIPAL UTILITY DISTRICT FACILITIES AND ACCESS, OPEN SPACE OR OTHER NON RESIDENTIAL USES.  
 LOT 901, BLOCK A  
 LOT 902, BLOCK A  
 LOT 901, BLOCK B
20. ROADWAY DESIGN STANDARDS FOR HAYS COUNTY WERE APPROVED BY HAYS COUNTY TRANSPORTATION DEPARTMENT AND THE HAYS COUNTY COMMISSIONERS COURT ON SEPTEMBER 12, 2017.
21. THIS SUBDIVISION IS SUBJECT TO THE RESTATED HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT, EFFECTIVE DATE APRIL 14, 2005 RECORDED IN DOCUMENT NUMBER 20021129 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS OR AS OTHERWISE AMENDED.
22. THIS SUBDIVISION IS REQUIRED TO BE COMPLIANT WITH FIRE CODE IFC2012, AS AMENDED.
23. MINIMUM RESIDENTIAL FRONT BUILDING SETBACK LINE SHALL BE TWENTY (20) FEET. CORNER LOTS SHALL HAVE A MINIMUM OF TWENTY (20) FOOT SETBACK ON FRONT-FACING STREET AND TEN (10) FOOT SETBACK ON THE OTHER STREET. MINIMUM REAR SETBACKS SHALL BE TWENTY (20) FEET. MINIMUM SIDE SETBACK SHALL BE FIVE (5) FEET.

**UTILITY NOTES:**

1. WASTEWATER UTILITY SERVICE WILL BE PROVIDED BY HEADWATERS MUD.
2. WATER UTILITY SERVICE WILL BE PROVIDED BY HEADWATERS MUD.
3. ELECTRIC UTILITY SERVICE WILL BE PROVIDED BY PEC.
4. TELEPHONE UTILITY SERVICE WILL BE PROVIDED BY TIME WARNER CABLE OR SIMILAR AUTHORIZED UTILITY PROVIDER.
5. GAS UTILITY SERVICE WILL BE PROVIDED BY TEXAS GAS SERVICE.

**LOT SIZE CATEGORIES:**

- 175 LOTS TOTAL
- 172 RESIDENTIAL LOTS
- 3 NON-RESIDENTIAL LOTS

AVERAGE RESIDENTIAL LOT SIZE: 8371 SQ. FT.

LOTS LESS THAN 1 ACRE:	173
LOTS 1-2 ACRES:	0
LOTS 2-5 ACRES:	0
LOTS 5-10 ACRES:	0
LOTS 10 ACRES OR GREATER:	2

**SURVEY CONTROL DATA & BEARING BASIS:**

TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS  
 PROJECT CONTROL POINTS WERE ESTABLISHED USING THE 'SMARTNET' RTK NETWORK.

**SURVEY CONTROL MONUMENT**

C.O.A. MONUMENT E344  
 GRID COORDINATES  
 N=10055821.99  
 E=3093670.81  
 CSF = 0.99997207  
 ELEVATION = 678.33' NAVD 88

**BENCHMARKS**

- BM #1 'SQUARE' CUT ON TOP OF CURB  
 ELEV.= 1184.27'
- BM #2 'SQUARE' CUT ON TOP OF CURB  
 ELEV.= 1196.60'

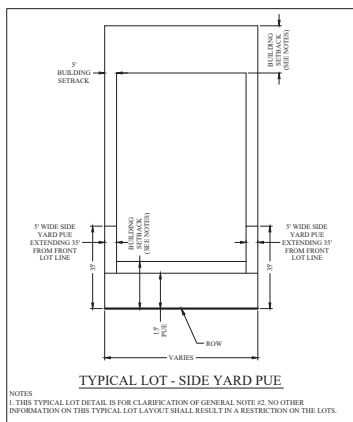
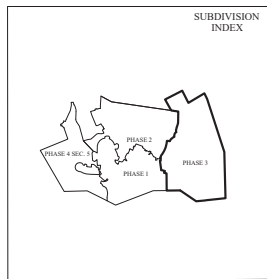
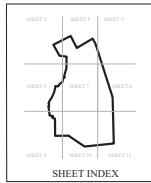
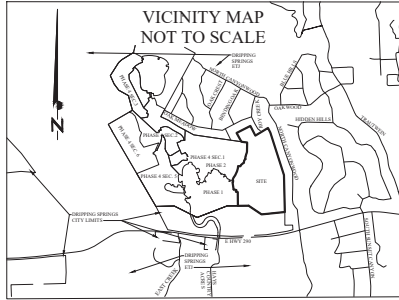
**SUBDIVISION ROADS:**

**PUBLIC STREET DEDICATION**

**STREET SUMMARY**

STREET NAME (CLASSIFICATION)	ROW WIDTH	LENGTH (LF)	PAVEMENT WIDTH (F-F)
ROY BRANCH ROAD (MINOR COLLECTOR)	60'	802'	29' C&G
OLD STAGECOACH PASS S (LOCAL)	50'	2474'	29' C&G
OLD STAGECOACH PASS N (LOCAL)	50'	2839'	29' C&G
CACTUS WREN COURT (LOCAL)	50'	1144'	29' C&G
LONGSPUR WAY (LOCAL)	50'	1385'	29' C&G
TOTAL LINEAR FEET		8644'	

RIGHT-OF-WAY = 10.55 ACRES



NOTES  
 1. THIS TYPICAL LOT DETAIL IS FOR CLARIFICATION OF GENERAL NOTE #2. NO OTHER INFORMATION ON THIS TYPICAL LOT LAYOUT SHALL RESULT IN A RESTRICTION ON THE LOTS.

F.A. JOLLY SURVEY NO. 473 ABSTRACT NO. 555  
 HERMAN BENSON SURVEY NO. 137 ABSTRACT NO. 40  
 J.W. POWELL SURVEY ABSTRACT NO. 560  
 WILLIAM WALKER SURVEY NO. 130 ABSTRACT NO. 475  
 HAYS COUNTY, TEXAS  
 FEBRUARY 2022

Item 10.



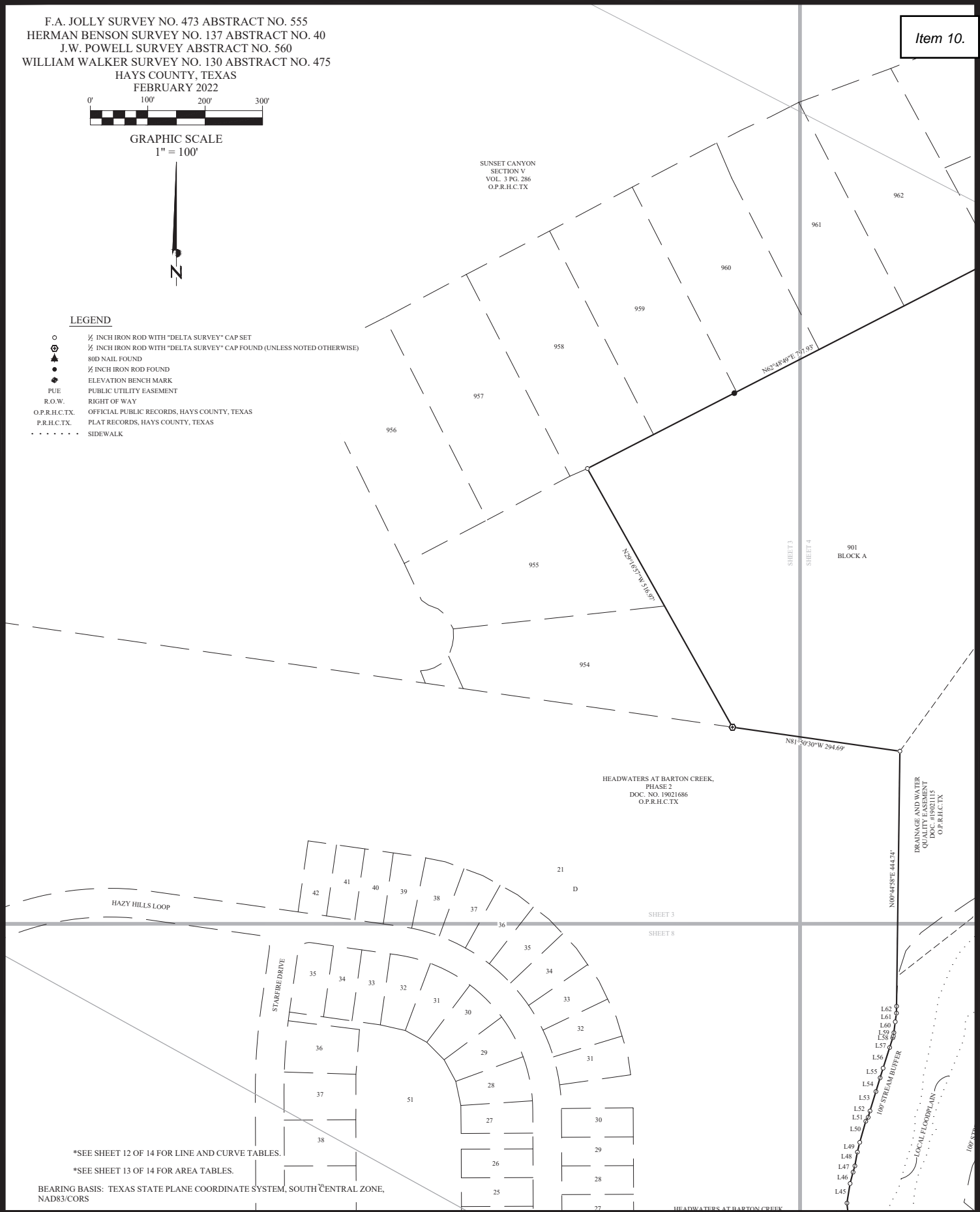
GRAPHIC SCALE  
 1" = 100'



SUNSET CANYON  
 SECTION V  
 VOL. 3 PG. 286  
 O.P.R.H.C.TX

LEGEND

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- ⊙ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- 80D NAIL FOUND
- 1/2 INCH IRON ROD FOUND
- ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK



\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.

\*SEE SHEET 13 OF 14 FOR AREA TABLES.

BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

**Delta Survey Group Inc.**

8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
 OFFICE: (512) 282-5200 FAX: (512) 282-5230  
 TBPLS FIRM NO. 10004700  
 PREPARATION DATE: 6-29-21

FINAL PLAT ESTABLISHING  
 HEADWATERS AT  
 BARTON CREEK, PHASE 3  
 CITY OF DRIPPING SPRINGS ETJ

SHEET  
 3  
 OF  
 14  
 191

F.A. JOLLY SURVEY NO. 473 ABSTRACT NO. 555  
 HERMAN BENSON SURVEY NO. 137 ABSTRACT NO. 40  
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 WILLIAM WALKER SURVEY NO. 130 ABSTRACT NO. 475  
 HAYS COUNTY, TEXAS

FEBRUARY 2022

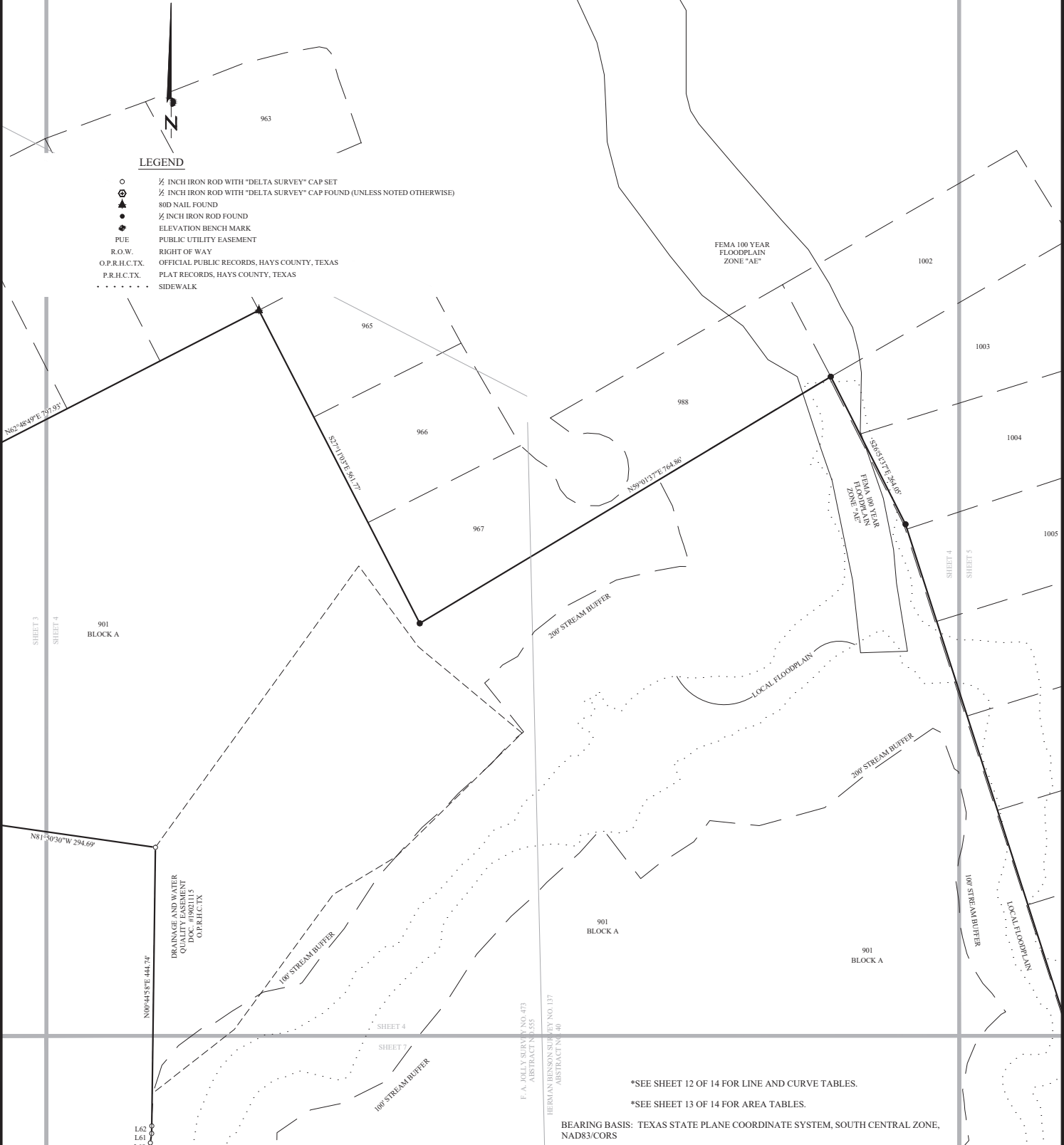


GRAPHIC SCALE  
 1" = 100'

LEGEND

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- ⊗ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- ▲ 88D NAIL FOUND
- 1/2 INCH IRON ROD FOUND
- ◆ ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
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F.A. JOLLY SURVEY NO. 473  
 ABSTRACT NO. 555  
 HERMAN BENSON SURVEY NO. 137  
 ABSTRACT NO. 40

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
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BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

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 4  
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F.A. JOLLY SURVEY NO. 473 ABSTRACT NO. 100  
HERMAN BENSON SURVEY NO. 137 ABSTRACT NO. 560  
J.W. POWELL SURVEY ABSTRACT NO. 560  
WILLIAM WALKER SURVEY NO. 130 ABSTRACT NO. 475  
HAYS COUNTY, TEXAS  
FEBRUARY 2022



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LEGEND

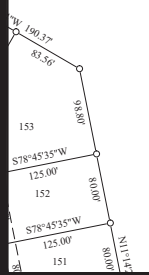
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SUNSET CANYON  
SECTION V  
VOL. 4 PG. 234  
O.P.R.H.C.TX

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
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BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE,  
NAD83/CORS



**Delta Survey Group Inc.**  
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**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 3  
CITY OF DRIPPING SPRINGS ETJ**

SHEET  
5  
OF  
14  
193

F.A. JOLLY SURVEY NO. 473 ABSTRACT N  
HERMAN BENSON SURVEY NO. 137 ABSTRACT N  
J.W. POWELL SURVEY ABSTRACT NO. 560  
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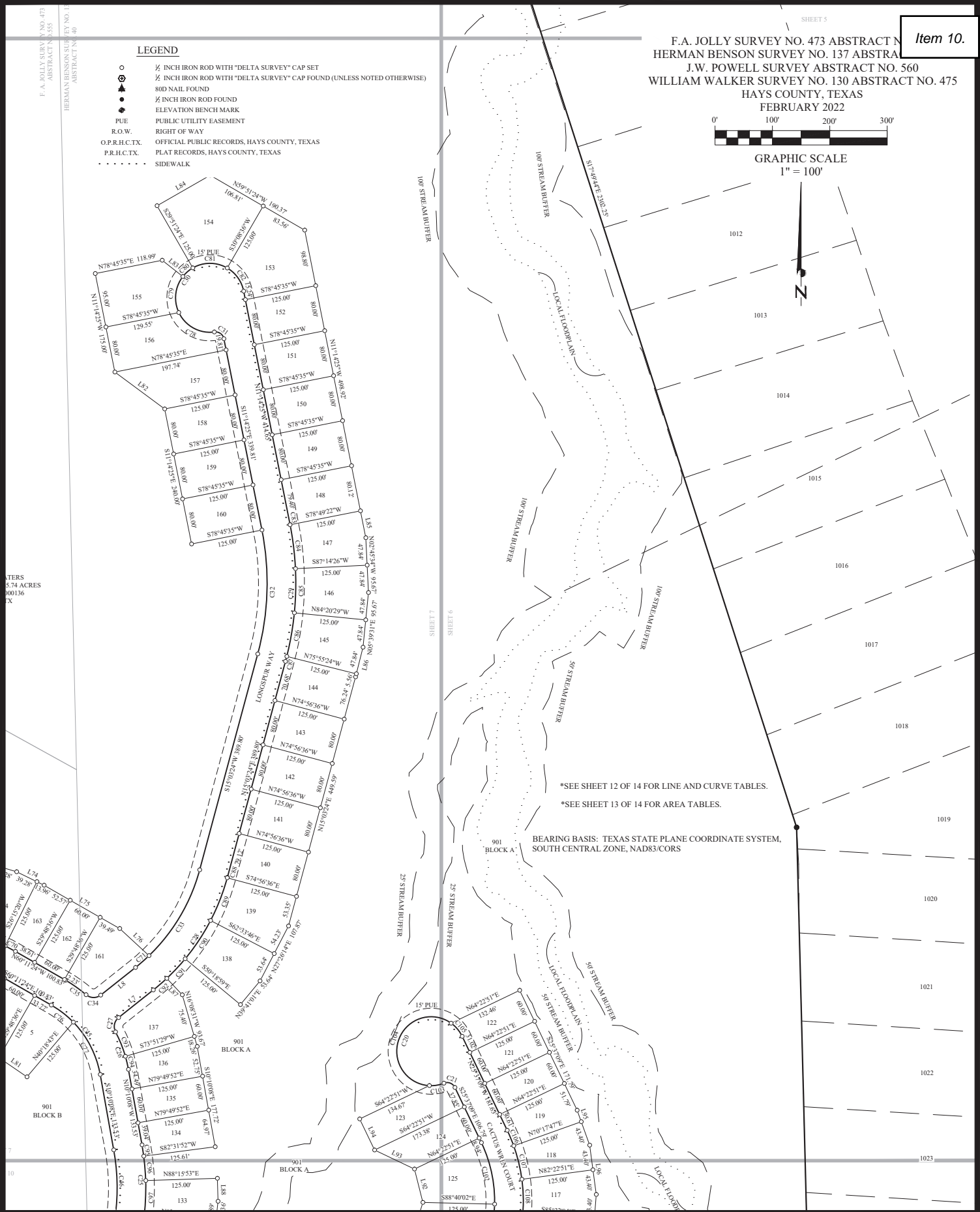


GRAPHIC SCALE  
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**LEGEND**

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- ▲ 80D NAIL FOUND
- 1/2 INCH IRON ROD FOUND
- ELEVATION BENCH MARK
- PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
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- SIDEWALK



\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
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BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM,  
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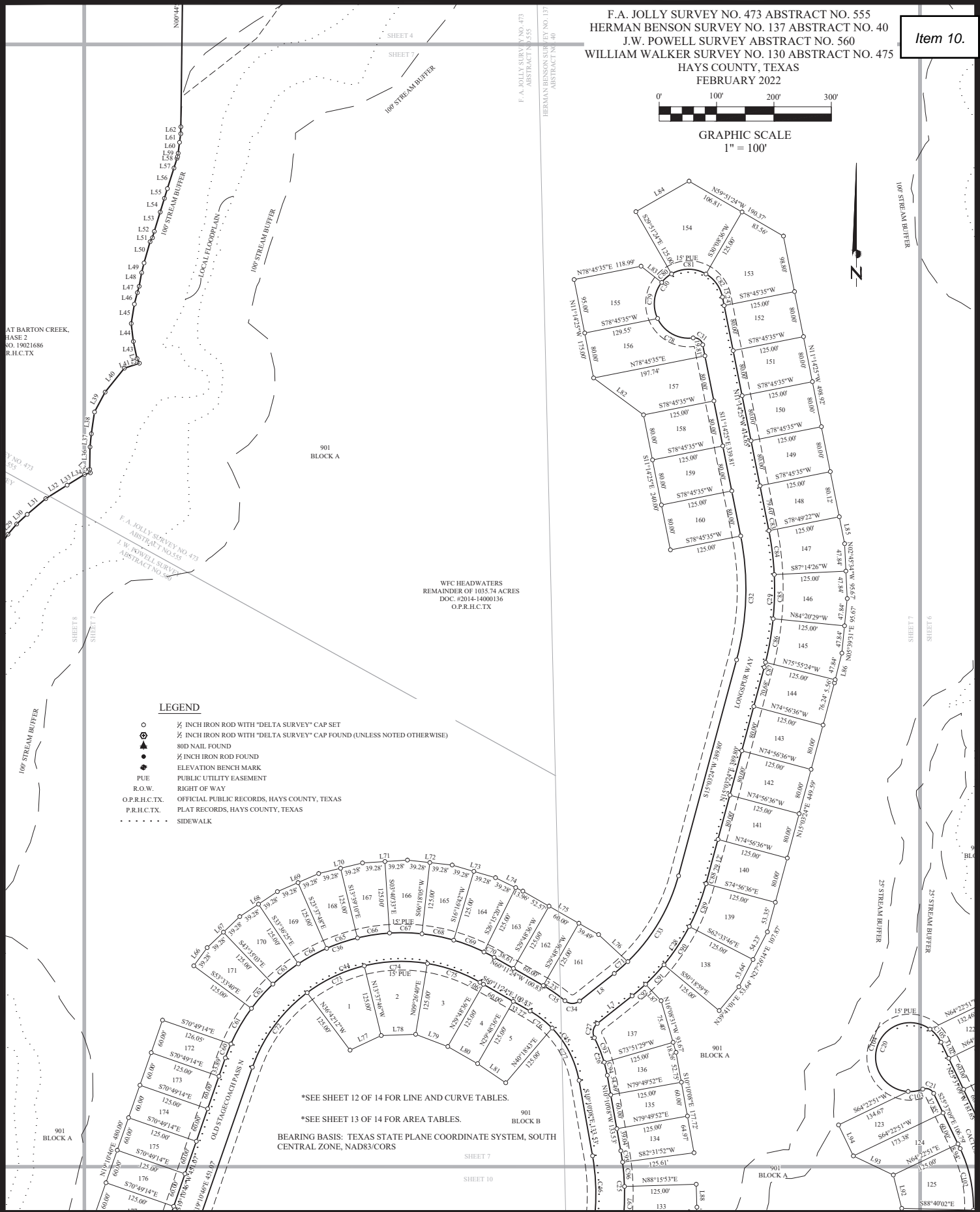
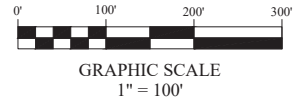
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**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
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F.A. JOLLY SURVEY NO. 473 ABSTRACT NO. 555  
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 FEBRUARY 2022

Item 10.



**LEGEND**

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- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- 80D NAIL FOUND
- 1/2 INCH IRON ROD FOUND
- ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
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- ..... SIDEWALK

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
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 FEBRUARY 2022

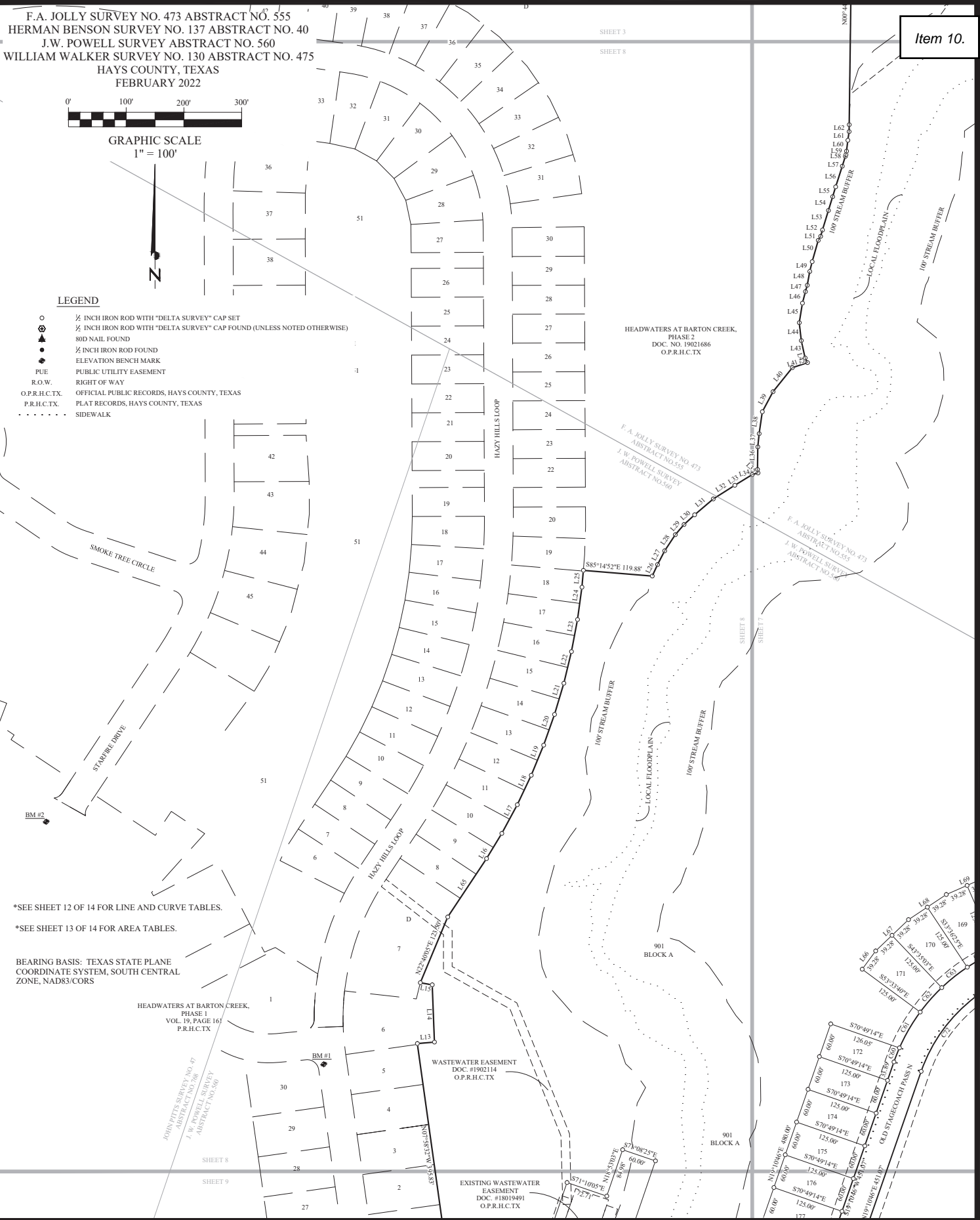


GRAPHIC SCALE  
 1" = 100'



LEGEND

- 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- ⊙ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- ▲ 80D NAIL FOUND
- 1/2 INCH IRON ROD FOUND
- ELEVATION BENCH MARK
- PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS, HAYS COUNTY, TEXAS
- ..... SIDEWALK



\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
 \*SEE SHEET 13 OF 14 FOR AREA TABLES.

BEARING BASIS: TEXAS STATE PLANE  
 COORDINATE SYSTEM, SOUTH CENTRAL  
 ZONE, NAD83/CORS

HEADWATERS AT BARTON CREEK,  
 PHASE 1  
 VOL. 19, PAGE 161  
 P.R.H.C.TX

WASTEWATER EASEMENT  
 DOC. #1902114  
 O.P.R.H.C.TX

EXISTING WASTEWATER  
 EASEMENT  
 DOC. #18019491  
 O.P.R.H.C.TX

HEADWATERS AT BARTON CREEK,  
 PHASE 2  
 DOC. NO. 19021686  
 O.P.R.H.C.TX

F.A. JOLLY SURVEY NO. 473  
 ABSTRACT NO. 555  
 J.W. POWELL SURVEY  
 ABSTRACT NO. 560

F.A. JOLLY SURVEY NO. 473  
 ABSTRACT NO. 555  
 J.W. POWELL SURVEY  
 ABSTRACT NO. 560

Item 10.

**Delta Survey Group Inc.**  
 8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
 OFFICE: (512) 282-5200 FAX: (512) 282-5230  
 TBPLS FIRM NO. 10004700  
 PREPARATION DATE: 6-29-21

FINAL PLAT ESTABLISHING  
 HEADWATERS AT  
 BARTON CREEK, PHASE 3  
 CITY OF DRIPPING SPRINGS ETJ

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 OF  
 14  
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F.A. JOLLY SURVEY NO. 473 ABSTRACT NO. 555  
 HERMAN BENSON SURVEY NO. 137 ABSTRACT NO. 40  
 J.W. POWELL SURVEY ABSTRACT NO. 560  
 WILLIAM WALKER SURVEY NO. 130 ABSTRACT NO. 475  
 HAYS COUNTY, TEXAS  
 FEBRUARY 2022

Item 10.

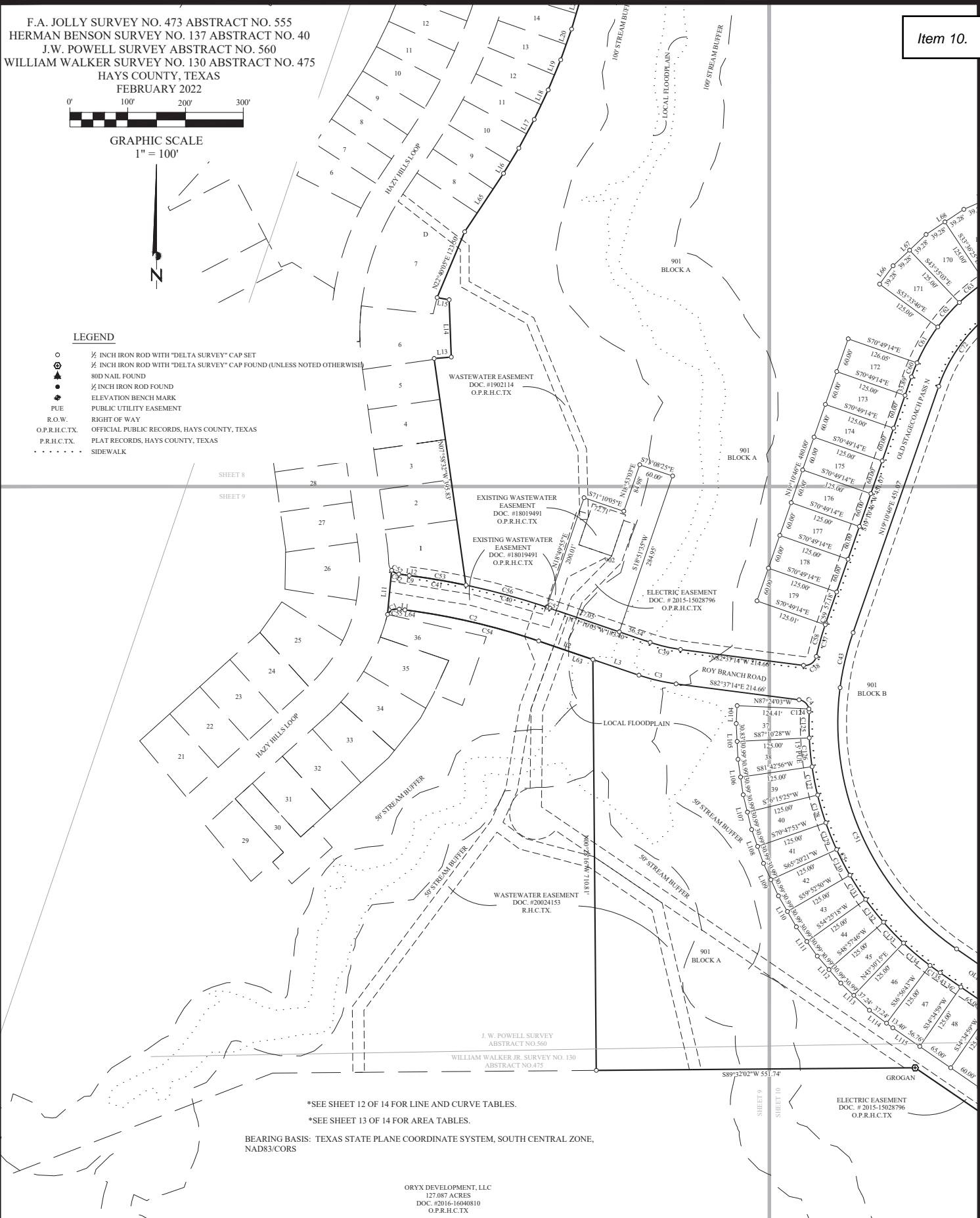


GRAPHIC SCALE  
 1" = 100'



LEGEND

- ⊙ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- ⊙ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- ⊙ 80D NAIL FOUND
- ⊙ 1/2 INCH IRON ROD FOUND
- ⊙ ELEVATION BENCH MARK
- ⊙ PUE PUBLIC UTILITY EASEMENT
- ⊙ R.O.W. RIGHT OF WAY
- ⊙ O.P.R.H.C.T.X. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- ⊙ P.R.H.C.T.X. PLAT RECORDS, HAYS COUNTY, TEXAS
- ⊙ ..... SIDEWALK



SHEET 8  
 SHEET 9

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
 \*SEE SHEET 13 OF 14 FOR AREA TABLES.

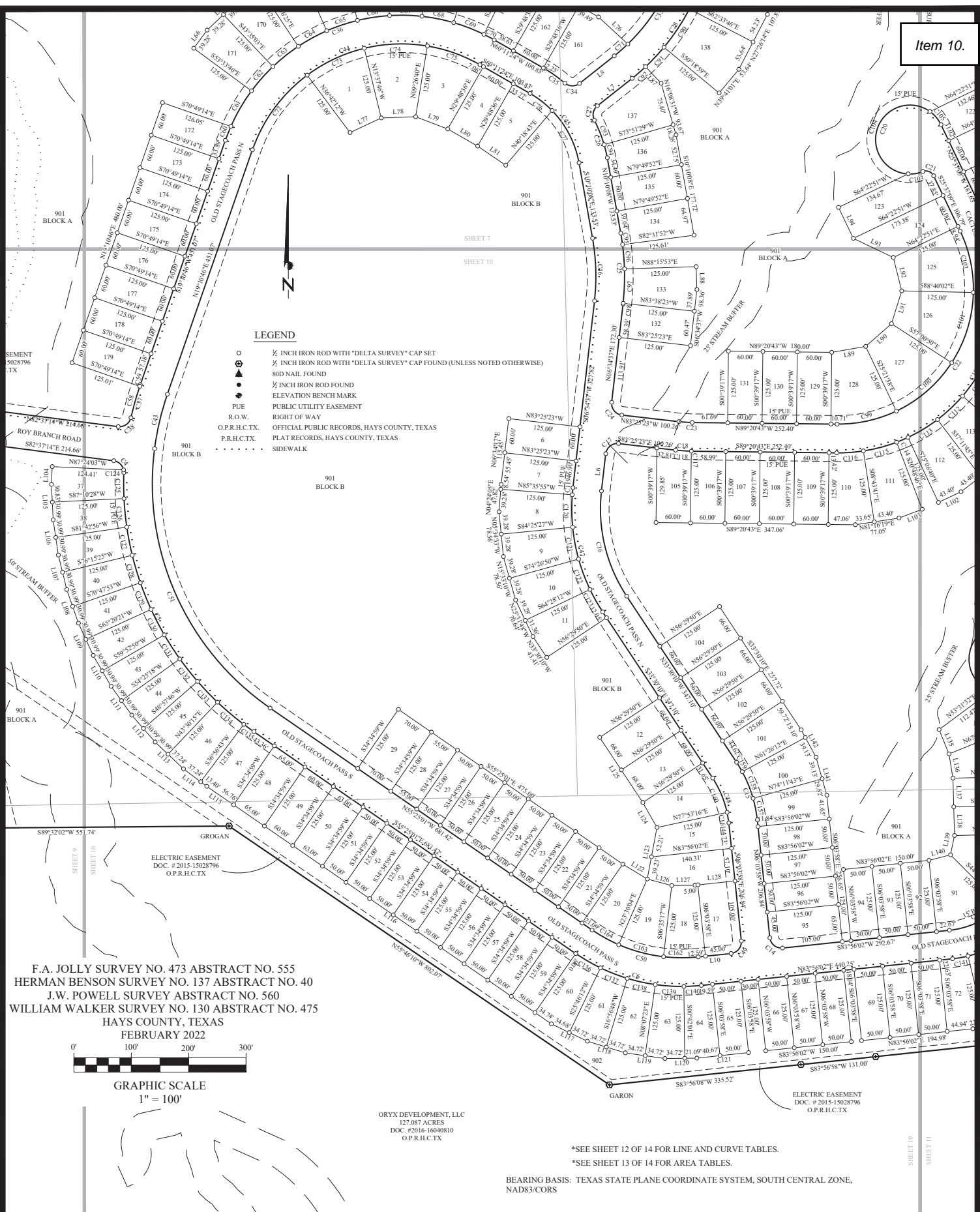
BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

ORYX DEVELOPMENT, LLC  
 127.087 ACRES  
 DOC. #2016-16040810  
 O.P.R.H.C.T.X.

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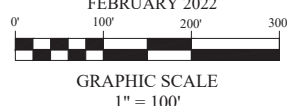
FINAL PLAT ESTABLISHING  
 HEADWATERS AT  
 BARTON CREEK, PHASE 3  
 CITY OF DRIPPING SPRINGS ETJ

SHEET  
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 OF  
 14  
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**LEGEND**

- ½ INCH IRON ROD WITH "DELTA SURVEY" CAP SET
- ⊕ ½ INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
- 80D NAIL FOUND
- ⊕ ELEVATION BENCH MARK
- PUE PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT OF WAY
- O.P.R.H.C.T.X. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- P.R.H.C.T.X. PLAT RECORDS, HAYS COUNTY, TEXAS
- S.W. SIDEWALK



ORYX DEVELOPMENT, LLC  
127.087 ACRES  
DOC. #2016-16040810  
O.P.R.H.C.T.X.

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
\*SEE SHEET 13 OF 14 FOR AREA TABLES.

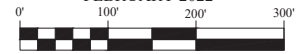
BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

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8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
OFFICE: (512) 282-5200 FAX: (512) 282-5230  
TBPLS FIRM NO. 10004700  
PREPARATION DATE: 6-29-21

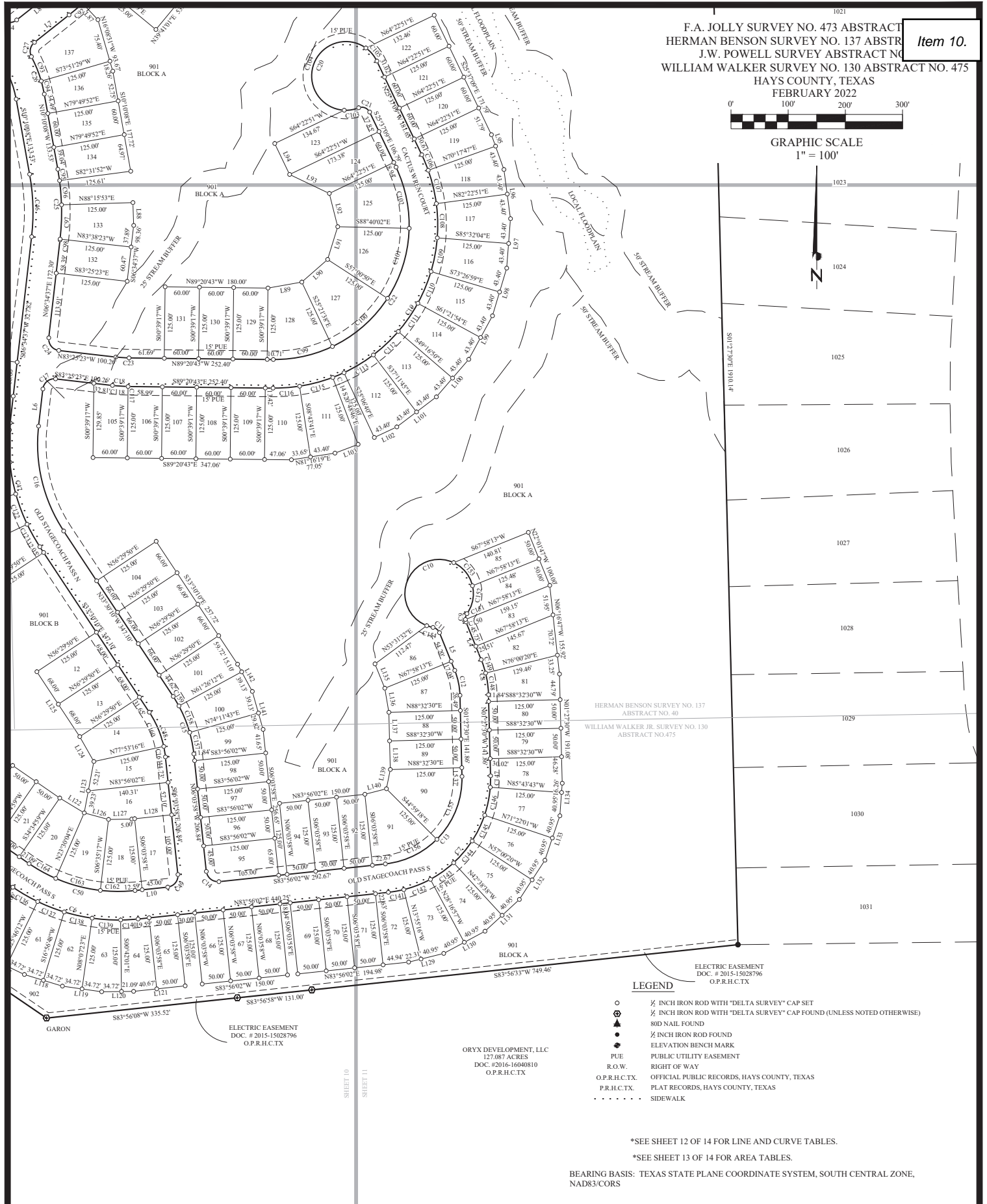
**FINAL PLAT ESTABLISHING  
HEADWATERS AT  
BARTON CREEK, PHASE 3  
CITY OF DRIPPING SPRINGS ETJ**

F.A. JOLLY SURVEY NO. 473 ABSTRACT  
 HERMAN BENSON SURVEY NO. 137 ABSTRACT  
 J.W. POWELL SURVEY ABSTRACT NO. 40  
 WILLIAM WALKER SURVEY NO. 130 ABSTRACT NO. 475  
 HAYS COUNTY, TEXAS  
 FEBRUARY 2022

Item 10.



GRAPHIC SCALE  
 1" = 100'



HERMAN BENSON SURVEY NO. 137  
 ABSTRACT NO. 40  
 WILLIAM WALKER SURVEY NO. 130  
 ABSTRACT NO. 475

- LEGEND**
- ⊙ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP SET
  - ⊗ 1/2 INCH IRON ROD WITH "DELTA SURVEY" CAP FOUND (UNLESS NOTED OTHERWISE)
  - ▲ 80D NAIL FOUND
  - 1/2 INCH IRON ROD FOUND
  - ⊙ ELEVATION BENCH MARK
  - PUBLIC UTILITY EASEMENT
  - R.O.W. RIGHT OF WAY
  - O.P.R.H.C.T.X. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
  - P.R.H.C.T.X. PLAT RECORDS, HAYS COUNTY, TEXAS
  - ..... SIDEWALK

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.  
 \*SEE SHEET 13 OF 14 FOR AREA TABLES.

BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83/CORS

**Delta Survey Group Inc.**  
 8213 BRODIE LANE STE. 102 AUSTIN, TX. 78745  
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FINAL PLAT ESTABLISHING  
 HEADWATERS AT  
 BARTON CREEK, PHASE 3  
 CITY OF DRIPPING SPRINGS ETJ

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 OF  
 14  
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**LINE AND CURVE TABLES**

LINE	BEARING	DISTANCE
L1	S82°37'44"E	9.70'
L2	S71°10'05"E	99.15'
L3	S71°10'05"E	84.24'
L4	N22°01'47"W	71.24'
L5	S22°01'47"E	71.24'
L6	N06°34'37"E	65.52'
L7	N51°34'19"E	77.36'
L8	S51°34'19"W	77.36'
L9	N82°37'44"W	18.32'
L10	S83°58'02"W	57.59'
L11	N05°23'37"E	76.62'
L12	S82°37'44"E	18.32'
L13	N85°16'16"E	29.78'
L14	N02°10'18"W	99.20'
L15	N80°08'15"W	21.09'
L16	N31°15'30"E	51.00'
L17	N28°19'12"E	56.43'
L18	N25°22'53"E	56.43'
L19	N22°26'34"E	56.43'
L20	N19°30'15"E	56.43'
L21	N16°33'56"E	56.43'
L22	N13°37'37"E	56.43'
L23	N10°41'19"E	56.43'
L24	N07°45'00"E	56.43'
L25	N04°48'41"E	29.35'
L26	N24°29'57"E	21.89'
L27	N27°18'53"E	26.83'
L28	N33°29'05"E	33.29'
L29	N40°33'19"E	23.43'
L30	N47°23'01"E	24.76'
L31	N49°33'49"E	42.52'
L32	N57°46'49"E	44.10'
L33	N58°24'08"E	35.51'
L34	N74°03'01"E	10.44'
L35	N08°42'46"W	6.08'
L36	N00°44'58"E	39.00'
L37	N05°43'10"E	23.09'
L38	N08°14'44"E	38.33'
L39	N27°57'56"E	39.36'
L40	N38°54'24"E	53.41'
L41	N71°39'22"E	27.51'
L42	N25°48'56"W	8.94'
L43	N12°23'04"W	30.81'
L44	N06°36'10"W	31.26'
L45	N09°06'56"E	34.37'
L46	N14°47'09"E	20.62'
L47	N16°00'17"E	11.40'
L48	N10°12'43"E	24.33'
L49	N13°59'24"E	17.46'
L50	N15°52'25"E	38.33'
L51	N30°29'40"E	8.06'
L52	N16°00'17"E	11.40'
L53	N17°08'21"E	35.44'
L54	N17°00'55"E	25.00'
L55	N17°08'21"E	17.72'
L56	N17°44'25"E	37.64'
L57	N17°08'21"E	17.72'
L58	N19°11'04"E	3.16'
L59	N10°12'43"E	6.08'
L60	N06°45'11"E	19.10'
L61	N08°20'39"E	15.13'
L62	N00°44'58"E	12.00'
L63	N71°10'05"W	99.15'
L64	N82°37'44"W	9.70'
L65	N33°37'37"E	121.32'
L66	N36°26'20"E	39.28'
L67	N46°24'57"E	78.56'
L68	N56°23'55"E	78.56'
L69	N66°22'12"E	78.56'
L70	N76°20'50"E	78.56'

LINE	BEARING	DISTANCE
L71	N86°19'27"E	78.56'
L72	S83°41'55"E	78.56'
L73	S73°43'18"E	78.56'
L74	S63°44'40"E	53.24'
L75	S60°11'24"E	152.06'
L76	S47°14'08"E	69.47'
L77	N64°50'01"E	60.00'
L78	N87°54'27"E	60.00'
L79	S69°10'50"E	60.00'
L80	S60°11'24"E	60.00'
L81	N55°41'05"W	59.32'
L82	N53°31'08"W	108.13'
L83	S51°47'15"E	45.75'
L84	S60°08'36"W	106.81'
L85	N11°07'37"W	47.84'
L86	N14°04'36"E	53.40'
L87	S43°10'16"E	39.38'
L88	S01°44'07"E	39.97'
L89	N79°56'57"E	60.00'
L90	N48°48'46"E	60.00'
L91	N17°09'34"E	60.00'
L92	N14°08'00"W	60.00'
L93	N64°29'57"W	72.08'
L94	S25°37'09"W	60.00'
L95	S19°42'13"E	21.18'
L96	S07°37'09"E	86.80'
L97	S04°27'56"W	86.80'
L98	S16°33'01"W	86.80'
L99	S28°38'06"W	86.80'
L100	S40°43'10"W	86.80'
L101	S52°48'15"W	86.80'
L102	S64°53'20"W	43.40'
L103	S69°11'14"W	43.40'
L104	S02°35'57"W	31.07'
L105	S02°49'32"E	61.82'
L106	S08°17'04"E	61.98'
L107	S13°44'35"E	61.98'
L108	S19°12'07"E	61.98'
L109	S24°39'39"E	61.98'
L110	S30°07'10"E	61.98'
L111	S35°34'42"E	61.98'
L112	S41°02'14"E	61.98'
L113	S46°29'45"E	68.23'
L114	S53°01'17"E	50.64'
L115	S55°25'01"E	56.76'
L116	S55°25'01"E	672.74'
L117	S64°13'48"E	69.40'
L118	S73°30'12"E	69.44'
L119	S81°52'23"E	69.44'
L120	N89°17'59"E	55.80'
L121	N85°56'02"E	90.67'
L122	S58°37'25"E	50.00'
L123	N10°40'00"E	91.44'
L124	N29°33'10"W	50.00'
L125	N33°30'10"W	136.00'
L126	N74°57'19"W	44.12'
L127	S89°04'52"W	40.61'
L128	S85°56'02"W	70.00'
L129	N76°04'44"E	63.26'
L130	N61°43'03"E	81.89'
L131	N40°21'22"E	81.89'
L132	N32°59'40"E	81.89'
L133	N18°37'59"E	81.89'
L134	N04°16'17"E	57.21'
L135	N22°01'22"W	45.85'
L136	N09°29'16"W	42.86'
L137	N01°27'30"W	50.00'
L138	N01°27'30"W	50.00'
L139	N11°37'11"E	34.39'
L140	N75°42'15"E	38.77'
L141	S15°48'17"E	68.95'
L142	S28°33'48"E	54.23'

CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	20.00'	23.68'	22.32'	N65°35'34"E	67°50'38"
C2	1190.00'	238.03'	237.64'	S76°53'54"E	11°27'39"
C3	330.00'	65.96'	65.85'	S76°53'54"E	11°27'09"
C4	20.00'	29.58'	26.96'	S40°15'09"E	84°44'10"
C5	525.00'	527.17'	505.30'	S26°39'02"E	57°31'56"
C6	325.00'	230.58'	225.77'	S75°44'29"E	40°38'57"
C7	200.00'	298.08'	271.24'	N41°14'16"E	85°23'32"
C8	175.00'	62.83'	62.49'	N11°44'39"W	20°34'17"
C9	15.00'	15.12'	14.49'	N06°51'17"E	57°46'09"
C10	60.00'	309.49'	64.00'	S67°58'13"W	285°23'17"
C11	15.00'	15.12'	14.49'	S50°54'52"E	57°46'09"
C12	125.00'	44.88'	44.64'	S11°44'59"E	20°34'17"
C13	150.00'	223.56'	203.43'	S41°14'16"W	85°23'32"
C14	20.00'	31.42'	28.28'	N51°03'58"W	90°00'00"
C15	225.00'	107.74'	106.72'	N19°47'04"W	27°26'12"
C16	275.00'	192.37'	188.47'	N39°27'47"W	40°04'47"
C17	20.00'	31.42'	28.28'	N31°34'37"E	90°00'00"
C18	275.00'	28.42'	28.41'	S86°23'03"E	55°52'20"
C19	285.00'	578.37'	484.11'	N32°31'04"E	116°16'26"
C20	60.00'	278.74'	87.64'	S21°17'29"W	266°10'39"
C21	15.00'	22.56'	20.49'	S68°42'28"E	86°10'39"
C22	255.00'	476.90'	399.18'	S32°31'04"W	116°16'26"
C23	225.00'	23.26'	22.57'	N36°23'08"W	95°52'20"
C24	20.00'	31.42'	28.28'	N38°25'37"E	90°00'00"
C25	425.00'	124.21'	123.77'	N01°47'45"W	16°44'45"
C26	225.00'	69.41'	69.14'	N19°02'44"W	17°40'31"
C27	20.00'	27.72'	25.56'	N11°51'30"E	79°24'58"
C28	375.00'	238.99'	234.97'	N33°18'52"E	36°30'55"
C29	525.00'	240.96'	238.85'	N01°54'30"E	26°17'49"
C30	60.00'	278.74'	87.64'	S35°40'13"W	266°10'39"
C31	15.00'	22.56'	20.49'	S49°19'50"E	86°10'39"
C32	475.00'	218.01'	216.10'	S01°54'30"W	26°17'49"
C33	325.00'	207.13'	203.64'	S33°18'52"E	36°30'55"
C34	20.00'	27.72'	25.56'	N88°43'12"W	79°24'58"
C35	225.00'	42.90'	42.83'	N54°30'02"W	11°10'42"
C36	325.00'	570.81'	500.22'	S69°29'41"W	100°37'50"
C37	525.00'	59.89'	59.86'	S15°54'41"E	6°32'10"
C38	20.00'	29.58'	26.96'	S55°00'41"W	84°44'10"
C39	270.00'	53.97'	53.88'	N76°53'40"W	11°27'09"
C40	1250.00'	156.65'	158.58'	N74°37'19"E	40°33'46"
C41	1250.00'	99.39'	99.36'	S80°21'04"E	4°33'20"
C42	20.00'	14.16'	13.87'	N62°17'11"E	40°33'46"
C43	475.00'	97.83'	97.65'	N13°16'46"E	11°48'00"
C44	275.00'	482.99'	423.26'	N69°29'41"E	100°37'50"
C45	175.00'	152.78'	147.98'	S35°10'46"E	50°10'16"
C46	375.00'	109.60'	109.21'	S01°47'45"E	16°44'45"
C47	325.00'	227.35'	227.74'	S13°27'47"E	40°04'47"
C48	175.00'	83.80'	83.00'	S19°47'04"E	27°26'12"
C49	20.00'	31.42'	28.28'	S38°56'02"W	90°00'00"
C50	275.00'	195.10'	191.04'	N75°44'29"W	40°38'57"
C51	475.00'	520.60'	494.93'	N24°01'07"W	62°47'46"
C52	20.00'	14.16'	13.87'	S62°17'11"E	40°33'46"
C53	1250.00'	99.39'	99.36'	S80°21'04"E	4°33'20"
C54	1190.00'	238.03'	237.64'	S76°53'54"W	11°27'39"
C55	20.00'	23.68'	22.32'	S65°35'34"E	67°50'38"
C56	1250.00'	145.05'	144.97'	N74°45'56"W	6°38'55"
C57	1250.00'	5.60'	5.60'	N71°17'47"W	0°15'24"
C58	525.00'	57.07'	57.04'	S15°45'26"W	61°34'41"
C59	525.00'	2.82'	2.82'	S19°01'32"W	0°18'29"
C60	325.00'	26.14'	26.13'	S21°20'00"W	8°36'28"
C61	325.00'	71.76'	71.62'	S30°06'47"W	12°39'05"
C62	325.00'	56.59'	56.52'	S41°25'39"W	9°58'38"
C63	325.00'	56.59'	56.52'	S51°24'16"W	9°58'38"
C64	325.00'	56.59'	56.52'	S61°22'54"W	9°58'38"
C65	325.00'	56.59'	56.52'	S71°21'13"W	9°58'38"
C66	325.00'	56.59'	56.52'	S81°20'09"W	9°58'38"
C67	325.00'	56.59'	56.52'	N88°41'14"W	9°58'38"
C68	325.00'	56.59'	56.52'	N78°42'36"W	9°58'38"
C69	325.00'	56.59'	56.52'	N68°43'59"W	9°58'38"
C70	325.00'	20.16'	20.16'	N61°58'02"W	3°33'16"
C71	325.00'	31.37'	31.35'	N48°48'55"E	5°31'47"
C72	275.00'	163.75'	161.34'	S36°14'17"W	34°07'01"
C73	275.00'	110.75'	110.00'	S64°50'01"W	23°04'26"
C74	275.00'	110.75'	110.00'	S87°54'27"W	23°04'26"
C75	275.00'	97.75'	97.23'	N70°22'22"W	20°21'56"
C76	175.00'	48.78'	48.62'	N52°12'19"W	15°58'10"
C77	175.00'	104.00'	102.48'	N22°11'14"W	34°03'06"
C78	60.00'	75.45'	70.58'	S61°23'44"E	72°03'05"
C79	60.00'	66.58'	63.22'	S06°25'22"W	63°34'48"
C80	60.00'	22.97'	22.83'	S49°10'42"W	21°55'52"
C81	60.00'	62.83'	60.00'	N89°51'21"W	60°00'03"

C82	60.00'	50.91'	49.40'	N35°32'54"W	48°36'52"
C83	525.00'	0.58'	0.58'	N11°12'32"W	0°03'46"
C84	525.00'	77.13'	77.06'	N06°58'06"W	8°25'05"
C85	525.00'	77.13'	77.06'	N01°26'39"E	8°25'05"
C86	525.00'	77.13'	77.06'	N09°52'03"E	8°25'05"
C87	525.00'	8.98'	8.98'	N14°34'00"E	0°58'49"
C88	375.00'	0.88'	0.88'	N15°07'26"E	0°08'02"
C89	375.00'	80.15'	80.00'	N21°18'50"E	12°14'47"
C90	375.00'	80.15'	80.00'	N33°33'37"E	12°14'47"
C91	375.00'	46.77'	46.74'	N43°15'23"E	7°08'43"
C92	375.00'	31.04'	31.03'	S40°12'02"E	4°44'35"
C93	225.00'	45.95'	45.87'	N21°59'35"W	11°42'08"
C94	225.00'	23.46'	23.45'	N13°09'20"W	5°58'24"
C95	425.00'	20.03'	20.02'	N08°49'08"W	2°42'00"
C96	425.00'	42.53'	42.51'	N04°36'08"W	5°44'01"
C97	425.00'	60.05'	60.00'	N02°18'45"E	8°05'44"
C98	425.00'	1.61'	1.61'	N06	



**AREA TABLES**

**BLOCK A**

**BLOCK B**

RESIDENTIAL			NON-RESIDENTIAL			RESIDENTIAL			NON-RESIDENTIAL		
Lot	Acres	Sq. Feet	Lot	Acres	Sq. Feet	Lot	Acres	Sq. Feet	Lot	Acres	Sq. Feet
37	0.16	7006.15	119	0.19	8318.44	902	0.73	31639.11	1	0.25	10818.61
38	0.16	7011.93	120	0.17	7500.00	901	140.13	6104017.27	2	0.25	10818.61
39	0.16	7011.93	121	0.17	7500.00				3	0.24	10441.01
40	0.16	7011.93	122	0.17	7570.21				4	0.17	7500.00
41	0.16	7011.93	123	0.23	10141.66				5	0.21	8976.26
42	0.16	7011.93	124	0.21	8951.39				6	0.17	7500.00
43	0.16	7011.93	125	0.26	11417.94				7	0.18	7702.52
44	0.16	7011.93	126	0.28	12079.71				8	0.19	8479.25
45	0.16	7011.93	127	0.28	12079.71				9	0.19	8479.25
46	0.19	8432.82	128	0.26	11282.19				10	0.19	8479.25
47	0.19	8449.10	129	0.17	7500.00				11	0.19	8269.78
48	0.19	8125.00	130	0.17	7500.00				12	0.20	8500.00
49	0.17	7500.00	131	0.17	7500.00				13	0.20	8500.00
50	0.18	7875.00	132	0.17	7529.55				14	0.21	9270.93
51	0.14	6250.00	133	0.20	8648.67				15	0.17	7464.53
52	0.14	6250.00	134	0.18	7756.33				16	0.18	7894.42
53	0.14	6250.00	135	0.17	7500.00				17	0.18	8039.16
54	0.14	6250.00	136	0.19	8063.57				18	0.17	7473.99
55	0.14	6250.00	137	0.26	11142.37				19	0.18	7888.96
56	0.14	6250.00	138	0.27	11791.09				20	0.18	7816.89
57	0.14	6250.00	139	0.27	11812.74				21	0.14	6250.00
58	0.14	6250.00	140	0.23	10000.00				22	0.14	6250.00
59	0.14	6250.00	141	0.23	10000.00				23	0.14	6250.00
60	0.17	7488.66	142	0.23	10000.00				24	0.14	6250.00
61	0.17	7490.18	143	0.23	10000.00				25	0.14	6250.00
62	0.17	7490.18	144	0.23	10091.03				26	0.14	6250.00
63	0.17	7490.18	145	0.25	10845.47				27	0.14	6250.00
64	0.16	6991.60	146	0.25	10845.47				28	0.16	6875.00
65	0.14	6250.00	147	0.25	10845.48				29	0.20	8750.00
66	0.14	6250.00	148	0.23	10005.83						
67	0.14	6250.00	149	0.23	10000.00						
68	0.14	6250.00	150	0.23	10000.00						
69	0.14	6250.00	151	0.23	10000.00						
70	0.14	6250.00	152	0.23	10000.00						
71	0.14	6250.00	153	0.36	15836.96						
72	0.17	7338.73	154	0.41	17874.76						
73	0.19	8294.39	155	0.29	12649.67						
74	0.19	8294.39	156	0.31	13361.83						
75	0.19	8294.39	157	0.30	12909.59						
76	0.19	8294.39	158	0.23	10000.00						
77	0.19	8294.39	159	0.23	10000.00						
78	0.16	7038.38	160	0.23	10000.00						
79	0.14	6250.00	161	0.25	10756.63						
80	0.14	6250.00	162	0.17	7500.00						
81	0.19	8088.64	163	0.18	7832.84						
82	0.19	8147.24	164	0.19	8479.25						
83	0.18	7635.22	165	0.19	8479.25						
84	0.16	6924.14	166	0.19	8479.25						
85	0.15	6445.81	167	0.19	8479.25						
86	0.17	7600.80	168	0.19	8479.25						
87	0.19	8325.37	169	0.19	8479.25						
88	0.14	6250.00	170	0.19	8479.25						
89	0.14	6250.00	171	0.19	8479.25						
90	0.25	10879.17	172	0.17	7509.14						
91	0.24	10342.29	173	0.17	7500.00						
92	0.14	6250.00	174	0.17	7500.00						
93	0.14	6250.00	175	0.17	7500.00						
94	0.14	6250.00	176	0.17	7500.00						
95	0.18	8039.16	177	0.17	7500.00						
96	0.14	6250.00	178	0.17	7500.00						
97	0.14	6250.00	179	0.17	7500.01						
98	0.14	6250.00									
99	0.17	7612.86									
100	0.19	8059.28									
101	0.20	8679.09									
102	0.19	8250.00									
103	0.19	8250.00									
104	0.19	8250.00									
105	0.17	7617.02									
106	0.17	7500.00									
107	0.17	7500.00									
108	0.17	7500.00									
109	0.17	7500.00									
110	0.20	8821.11									
111	0.21	9227.72									
112	0.21	9227.72									
113	0.21	9227.72									
114	0.21	9227.72									
115	0.21	9227.72									
116	0.21	9227.72									
117	0.21	9227.72									
118	0.21	9227.72									

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.

## PHASE 3 IMPERVIOUS COVER TRACKING

### HEADWATERS DEVELOPMENT AGREEMENT - IMPERVIOUS COVER SUMMARY

#### ALLOWABLE IMPERVIOUS COVER

TOTAL AREA<sup>1</sup> = 1509.68 AC.  
TOTAL ALLOWABLE IMPERVIOUS COVER (15%)<sup>2</sup> = 226.45 AC.  
COMMERCIAL AREA<sup>1</sup> = 166.13 AC.  
COMMERCIAL ALLOWABLE IMPERVIOUS COVER (50% OF AREA)<sup>2,3</sup> = 83.07 AC.  
RESIDENTIAL AREA<sup>1</sup> = 1343.55 AC.  
RESIDENTIAL ALLOWABLE IMPERVIOUS COVER<sup>2</sup> = 143.38 AC.

#### NOTES:

- ACREAGE ON ABOVE TABLE COME FROM THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT, DATED JANUARY 11, 2005 RECORDED IN VOLUME 2675, PAGE 649 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TX.
- IMPERVIOUS COVER CALCULATIONS ARE BASED ON THE REQUIREMENTS OF THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.
- IMPERVIOUS COVER OF COMMERCIAL TRACT IS ASSUMED TO BE 50% OF COMMERCIAL AREA PER THE HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT.

#### TOTAL SITE SUMMARY

##### COMMERCIAL IMPERVIOUS COVER SUMMARY

HEADWATERS COMMERCIAL (ROADWAY IMPROVEMENTS) IMPERVIOUS COVER = 0.79 AC.  
HEADWATERS APARTMENTS IMPERVIOUS COVER = 4.82 AC.  
HEADWATERS OFFICE WEST IMPERVIOUS COVER = 1.48 AC.

TOTAL COMMERCIAL IMPERVIOUS COVER = 7.09 AC.

REMAINING COMMERCIAL IMPERVIOUS COVER = 75.98 AC.

##### RESIDENTIAL IMPERVIOUS COVER SUMMARY

PHASE 1 IMPERVIOUS COVER = 33.08 AC.  
PHASE 2 IMPERVIOUS COVER = 28.97 AC.  
PHASE 4 SECTION 1 IMPERVIOUS COVER = 3.08 AC.  
PHASE 4 SECTION 2 IMPERVIOUS COVER = 4.65 AC.  
PHASE 4 SECTION 3 IMPERVIOUS COVER = 7.54 AC.  
PHASE 4 SECTION 4 IMPERVIOUS COVER = 12.83 AC.  
PHASE 4 SECTION 5 IMPERVIOUS COVER = 3.03 AC.  
PHASE 4 SECTION 6 (NON-SCHOOL TRACT) IMPERVIOUS COVER = 0.42 AC.  
PHASE 4 SECTION 6 (SCHOOL TRACT) IMPERVIOUS COVER - SEE NOTE 5 BELOW  
PHASE 5 SECTION 1 IMPERVIOUS COVER = 5.86 AC  
PHASE 5 SECTION 2 IMPERVIOUS COVER = 16.24 AC  
PHASE 3 IMPERVIOUS COVER = 23.60 AC

TOTAL RESIDENTIAL IMPERVIOUS COVER = 140.38 AC.

REMAINING RESIDENTIAL IMPERVIOUS COVER = 3.00 AC.

AVERAGE RESIDENTIAL LOT SIZE = 8,371 SF

#### NOTES:

- IMPERVIOUS COVER OF "HEADWATERS COMMERCIAL (ROADWAY IMPROVEMENTS)" CALCULATED BY ADDING THE IMPERVIOUS COVER FROM DRAINAGE AREAS DA 2 AND DA 7 OF THE DEVELOPED DRAINAGE AREA MAP FROM THE ENGINEERING PLANS FOR HEADWATERS COMMERCIAL, ISSUED BY AUSTIN CIVIL ENGINEERING, INC., SEALED BY HUNTER SHADBURNE, P.E., DATED 5/10/18. IMPERVIOUS COVER OF FUTURE DEVELOPMENT AREAS TO BE INCLUDED AT THE TIME OF FINAL PLAT.
- IMPERVIOUS COVER OF "HEADWATERS APARTMENTS" FROM THE APPROVED SITE PLANS FOR HEADWATERS APARTMENTS, ISSUED BY AUSTIN CIVIL ENGINEERING, INC., SEALED BY HUNTER SHADBURNE, P.E., DATED 07/09/18.
- IMPERVIOUS COVER OF "PHASE 1" OF THE HEADWATERS AT BARTON CREEK SUBDIVISION FROM RECORD DRAWINGS FOR THE PHASE 1 OF HEADWATERS AT BARTON CREEK SUBDIVISION, ISSUED BY DOUCET & ASSOCIATES, INC., SEALED BY JAMES BREWER, P.E., DATED 03/16/15.
- AVERAGE RESIDENTIAL LOT SIZE OF "PHASE 1" FROM THE RECORDED FINAL PLAT, HEADWATERS AT BARTON CREEK, PHASE 1, ISSUED BY DOUCET & ASSOCIATES, INC., SEALED BY SYDNEY XINOS, R.P.L.S., DATED 03/08/16.
- SECTIONS 1.15 AND 3.2.5, OF THE RESTATED HEADWATERS AT BARTON CREEK DEVELOPMENT AGREEMENT DOCUMENT NUMBER 20021129, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS STATE THAT IMPERVIOUS COVER OF THE SCHOOL TRACT SHALL NOT BE INCLUDED IN DETERMINING ALLOWABLE IMPERVIOUS COVER OF THE LAND.
- IMPERVIOUS COVER OF "HEADWATERS WEST OFFICE" FROM THE APPROVED SITE PLANS SEALED BY JOSE SOSA, P.E., DATED 07/31/2020.

\*SEE SHEET 12 OF 14 FOR LINE AND CURVE TABLES.

\*SEE SHEET 13 OF 14 FOR AREA TABLES.



Date: May 20, 2022

WFC HEADWATERS OWNER VII, L.P.

500 BOYLSTON ST., STE 2010  
Boston MA 02116  
JRB@FREEHOLDPCM.COM

Permit Number: SUB2022-0021  
Project Name: Headwaters at Barton Creek Phase 3 Final Plat  
Project Address: Intersection of Hazy Hills Loop and Roy Branch  
Rd, DRIPPING SPRINGS, TX 78620

### City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email [tcarpenter@cityofdrippingsprings.com](mailto:tcarpenter@cityofdrippingsprings.com).

1. On sheets 3 and/or 4, Sunset Canyon Section V Lot 964 needs to be identified. [4.7.c]
2. Sheet 10: Lot 60 does not meet the minimum lot frontage of 50 feet. Please revise [1230.5 15.J.4]

### Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email [cgilpin@cityofdrippingsprings.com](mailto:cgilpin@cityofdrippingsprings.com).

3. 1. The Final Plat cannot be approved until either;
  - Construction of Public Infrastructure is complete and accepted by the Jurisdiction that will own it; OR
  - Fiscal Surety is posted and approved by the Jurisdiction that will own the Public Infrastructure.
4. Provide an overall layout of Phase 3 and a keymap on each enlarged sheet.
5. Dimension ROW width for all roads and cul de sacs

### Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email [dpolk@northhaysfire.com](mailto:dpolk@northhaysfire.com).

6. Fire Approves



# Planning and Zoning Commission Planning Department Staff Report

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0020  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

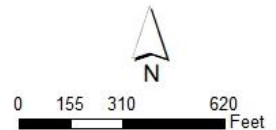
**Project Name:** Caliterra Phase 5 Section 14 Final Plat  
**Property Location:** Caliterra Parkway & Crosswater Lane  
**Legal Description:** 50.947 acres, out of the Philip A Smith Survey  
**Applicant:** Bill E. Couch, Carlson Brigance and Doering, Inc.  
**Property Owner:** Development Solutions CAT, LLC  
**Staff recommendation:** Denial of the Final Plat based on outstanding comments



### Location Map

SUB2021-0072  
 Caliterra Phase 5 Section 14  
 Preliminary Plat

— Roads  
 — Parcel Lines



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# Planning Department Staff Report

## Overview

This final plat consists of 25 single-family lots.

## Access and Transportation

Primary access to the subdivision will be through Caliterra Parkway.

## Site Information

**Location:** Caliterra Parkway and Crosswater Lane

**Zoning Designation:** ETJ / Caliterra Development Agreement

## Property History

The restated Caliterra development agreement was approved in 2018.

## Recommendation

Denial to address comments.

## Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Caliterra Phase 5 Section 14 Final Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



**DRIPPING SPRINGS**  
Texas

Item 11.

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384  
Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**SUBDIVISION APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**  
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION DATE: _____	PRE-APPLICATION CONFERENCE DATE: <u>3-22-22</u>
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

**PLAT TYPE**

Amending Plat

Minor Plat

Replat

Final Plat

Plat Vacation

Other: \_\_\_\_\_

**CONTACT INFORMATION**

**APPLICANT NAME** Bill E. Couch

**COMPANY** Carlson Brigance and Doering, Inc.

**STREET ADDRESS** 5501 W. Wm Cannon Dr.

**CITY** Austin **STATE** TX **ZIP CODE** 78749

**PHONE** 512 280-5160 **EMAIL** Bill@cbdeng.com

**OWNER NAME** Greg Rich

**COMPANY** Development Solutions (CAT), LLC

**STREET ADDRESS** 1222 Merit Dr. Suite 1050

**CITY** Dallas **STATE** TX **ZIP CODE** 78251

**PHONE** 972 960-2777 **EMAIL** grich@siepiela.com

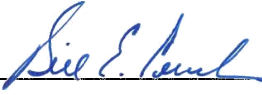
<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	Development Solutions CAT, LLC
PROPERTY ADDRESS	Premier Park Loop at Crosswater Ln.
CURRENT LEGAL DESCRIPTION	A0415 PHILIP A SMITH SURVEY, ACRES 56.59
TAX ID #	R168032
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	50.947 ac
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	6
ZONING/PDD/OVERLAY	NA
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input type="checkbox"/> City/County (public) Name: Premier Park Loop.
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: Caliterra Development Agreement

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Caliterra Section 5 Phase 14 Final Plat
TOTAL ACREAGE OF DEVELOPMENT	50.947
TOTAL NUMBER OF LOTS	28
AVERAGE SIZE OF LOTS	3600.00 sq ft.
INTENDED USE OF LOTS	<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>25</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>169.95</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>1720</u> lf PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM      City of Dripping Springs <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> Dripping Springs Water Supply Corporation <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input type="checkbox"/> YES   <input checked="" type="checkbox"/> NO</p>	



COMMENTS: \_\_\_\_\_

TITLE: Agent/Sr. Project Manager SIGNATURE: 

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): PEC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): Spectrum/Frontier

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): DSWSC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): One Gas

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

Note: An additional signature is required on page 6 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

**Bill E. Couch**  
\_\_\_\_\_

Applicant Name

*Bill E. Couch*  
\_\_\_\_\_

**3-30-22**  
\_\_\_\_\_

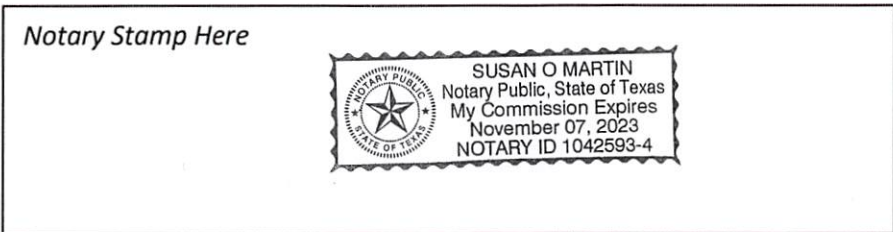
Applicant Signature

*Susan O. Martin*  
\_\_\_\_\_

Date  
**3-30-22**  
\_\_\_\_\_

Notary

Date



**Greg Rich**  
**Development Solutions CAT, LLC**  
\_\_\_\_\_

Property Owner Name

**Agent Bill E. Couch**  
\_\_\_\_\_

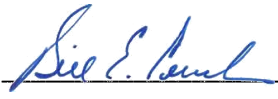
Property Owner Signature

\_\_\_\_\_

Date

**SITE DEVELOPMENT & CONSTRUCTION PLAN APPLICATION SUBMITTAL**

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: \_\_\_\_\_

<b><u>FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST</u></b> <b><u>Subdivision Ordinance, Section 5</u></b>		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application <i>(if within City or Development Agreement)</i> or Proof of Submittal to Hays County Fire Marshal <i>(if in the ETJ)</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff Signed copy not provided by city Staff.

**FINAL PLAT INFORMATION REQUIREMENTS**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>Comply as per DA</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Comply as Per DA</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>Comply as Per DA</p>



Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).
Zoning, Article 30.02, Exhibit A	NA - ETJ

Project Number: \_\_\_\_\_ - \_\_\_\_\_  
Only filled out by staff



DRIPPING SPRINGS  
Texas

**BILLING CONTACT FORM**

Project Name: Caliterra Phase 5 Section 14

Project Address: Premier Park Loop At Crosswater Ln.

Project Applicant Name: Bill E. Couch, P.G., AICP CEP

**Billing Contact Information**

Name: Greg Rich

Mailing Address: 1222 Merit Dr. Suite 1050

Dallas, TX 78251

Email: grich@siepiela.com Phone Number: (972) 960-2777

Type of Project/Application (check all that apply):

- |   |   |
|---|---|
| <input type="checkbox"/> Alternative Standard           | <input type="checkbox"/> Special Exception      |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit  |
| <input type="checkbox"/> Conditional Use Permit         | <input checked="" type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement          | <input type="checkbox"/> Waiver                 |
| <input type="checkbox"/> Exterior Design                | <input type="checkbox"/> Wastewater Service     |
| <input type="checkbox"/> Landscape Plan                 | <input type="checkbox"/> Variance               |
| <input type="checkbox"/> Lighting Plan                  | <input type="checkbox"/> Zoning                 |
| <input type="checkbox"/> Site Development Permit        | <input type="checkbox"/> Other _____            |

*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. **Please see the online Master Fee Schedule for more details.** By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

  
Signature of Applicant

3-30-22  
Date







Date: May 20, 2022

Bill Couch

5501 W William Cannon DR  
Austin TX 78749  
bill@cbdeng.com

Permit Number: SUB2022-0020  
Project Name: Caliterra PH 5 SEc 14 FP  
Project Address: Premier Park Loop @ Crosswater Ln.,  
Dripping Springs, TX 78620

### **City Planner Comments**

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email [tcarpenter@cityofdrippingsprings.com](mailto:tcarpenter@cityofdrippingsprings.com).

1. Update title to read "Caliterra, Phase 5, Section 14 Final Plat."
2. Change Vicinity Map to reflect that of its corresponding Preliminary Plat
3. Show graphic scale [4.7.i]
4. Remove Michelle Fischer's signature block and replace with Mim James, Chair of Planning and Zoning Commission, add another block for the City Secretary, Andrea Cunningham to attest, and add the block for the approval date of P&Z. [4.7.r.4]
5. Provide Hays County 1445 Approval

### **Engineer/Public Works Comments**

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email [cgilpin@cityofdrippingsprings.com](mailto:cgilpin@cityofdrippingsprings.com).

6. Construction Plans show Bar Ditch Extending outside the ROW. Provide drainage easements for drainage facilities outside the ROW.
7. The Final Plat cannot be approved until either;

- Construction of Public Infrastructure is complete and accepted by the Jurisdiction that will own it;
- OR
- Fiscal Surety is posted and approved by the Jurisdiction that will own the Public Infrastructure.

### **Fire Marshal Comments**

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email [dpolk@northhaysfire.com](mailto:dpolk@northhaysfire.com).

8. Fire Approves.



# Planning and Zoning Commission

## Planning Department Staff Report

Item 12.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** SUB2022-0019  
**Project Planner:** Tory Carpenter, AICP - Senior Planner

### Item Details

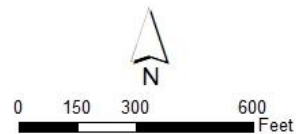
**Project Name:** Ladera Lot 2 Replat  
**Property Location:** 4630 W Hwy 290  
**Legal Description:** Lot 2 of the Ladera Subdivision  
**Applicant:** Jon Thompson  
**Property Owner:** Prostar Water  
**Staff recommendation:** Denial of the Replat based on outstanding comments



### Location Map

SUB2022-0019  
Ladera Lot 2 Replat

- Roads
- Parcel Lines
- City Limits**
- ▭ Full Purpose



Source: Esri, DeLorme, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# Planning Department Staff Report

## Overview

The purpose of this replat is to subdivide one existing platted lot into two commercial lots.

## Access and Transportation

Primary access to the subdivision will be along the US 290 access road.

## Site Information

**Location:** 4630 W Hwy 290

**Zoning Designation:** ETJ

## Property History

The Ladera subdivision was originally approved and recorded in November 1995.

## Recommendation

Denial to address comments.

## Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Replat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A





**DRIPPING SPRINGS**  
Texas

Item 12.

**City of Dripping Springs**

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

## SUBDIVISION APPLICATION

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**MEETINGS REQUIRED**  
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION DATE: _____	PRE-APPLICATION CONFERENCE DATE: <u>February 17, 2022</u>
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

**PLAT TYPE**

Amending Plat

Minor Plat

Replat

Final Plat

Plat Vacation

Other: \_\_\_\_\_

### CONTACT INFORMATION

---

**APPLICANT NAME** Jon Thompson

**COMPANY** J Thompson Professional Consulting

**STREET ADDRESS** PO Box 172

**CITY** Dripping Springs      **STATE** Texas      **ZIP CODE** 78620

**PHONE** (512) 568-2184      **EMAIL** jthompsonconsultingds@gmail.com

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**OWNER NAME** Rajendra "Robert" Persaud

**COMPANY** Prostar Water

**STREET ADDRESS** PO Box 1789

**CITY** Dripping Springs      **STATE** Texas      **ZIP CODE** 78620

**PHONE** (512) 848-0101      **EMAIL** robert@prostarwater.com

<b>PROPERTY INFORMATION</b>	
PROPERTY OWNER NAME	Rajenda "Robert" Persaud
PROPERTY ADDRESS	4630 W Hwy 290, Dripping Springs, Texas 78620
CURRENT LEGAL DESCRIPTION	Ladera, Lot 2
TAX ID #	R62695
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	15.00
SCHOOL DISTRICT	DSISD
ESD DISTRICT(S)	# 1 & # 6
ZONING/PDD/OVERLAY	ETJ
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: <b>TXDOT</b> <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	No <input type="checkbox"/> Yes (see attached) <input checked="" type="checkbox"/> Not Applicable Development Agreement Name: _____

<b>ENVIRONMENTAL INFORMATION</b>	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

<b>PROJECT INFORMATION</b>	
PROPOSED SUBDIVISION NAME	Ladera, Lot 2 Replat
TOTAL ACREAGE OF DEVELOPMENT	15.0
TOTAL NUMBER OF LOTS	2
AVERAGE SIZE OF LOTS	7.5
INTENDED USE OF LOTS	<input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>0</u> COMMERCIAL: <u>2</u> INDUSTRIAL: <u>0</u>
ACREAGE PER USE	RESIDENTIAL: <u>0</u> COMMERCIAL: <u>15</u> INDUSTRIAL: <u>0</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>0</u> PRIVATE: <u>0</u>
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input checked="" type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input type="checkbox"/> PUBLIC SEWER
WATER SOURCES	<b>SURFACE WATER</b> <input type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER <b>GROUND WATER*</b> <input type="checkbox"/> PUBLIC WELL <input checked="" type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED?   <input checked="" type="checkbox"/> YES   <input type="checkbox"/> NO</p>	

COMMENTS: \_\_\_\_\_

TITLE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

**PUBLIC UTILITY CHECKLIST**

**ELECTRIC PROVIDER NAME** (if applicable): PEC

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**COMMUNICATIONS PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WATER PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**WASTEWATER PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

**GAS PROVIDER NAME** (if applicable): \_\_\_\_\_

VERIFICATION LETTER ATTACHED     NOT APPLICABLE

<b><u>PARKLAND DEDICATION?</u></b>	<b><u>AGRICULTURE FACILITIES (FINAL PLAT)?</u></b>
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?\***

*(See attached agreement)*

\*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at [www.cityofdrippingsprings.com](http://www.cityofdrippingsprings.com) and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED)    YES (VOLUNTARY\*)    NO

**APPLICANT'S SIGNATURE**

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

**Jon Thompson**  
\_\_\_\_\_

Applicant Name

\_\_\_\_\_

Applicant Signature

\_\_\_\_\_

\_\_\_\_\_

Date

\_\_\_\_\_

Notary

Date

*Notary Stamp Here*

\_\_\_\_\_

Property Owner Name

\_\_\_\_\_

Property Owner Signature

\_\_\_\_\_

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: \_\_\_\_\_ Date: \_\_\_\_\_

<b>FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST</b>		
<b>Subdivision Ordinance, Section 5</b>		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	ESD #6 Application ( <i>if within City or Development Agreement</i> ) or Proof of Submittal to Hays County Fire Marshal ( <i>if in the ETJ</i> )
<input type="checkbox"/>	<input type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
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PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

512.858.4725 • [cityofdrippingsprings.com](http://cityofdrippingsprings.com)

<input type="checkbox"/>	<input type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
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<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
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<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

**FINAL PLAT INFORMATION REQUIREMENTS**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.



<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> <li>- The location and size of all watercourses; and</li> <li>- 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and</li> <li>- Water Quality Buffer Zones as required by [WQO 22.05.017]</li> <li>- Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2].</li> <li>- U.S. Army Corps of Engineers flowage easement requirements; and</li> <li>- All critical environmental features (CEFs) such as karsts, springs, sinkholes,</li> </ul>

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> <li>• Owner responsible for operation and maintenance of stormwater facilities.</li> <li>• Owner/operator of water and wastewater utilities.</li> <li>• Owner/operator of roadway facilities</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> <li>- A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</li> <li>- An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument.</li> <li>- The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature.</li> <li>- A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission.</li> <li>- Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:</li> </ul>

**NARRATIVE OF COMPLIANCE**

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>This property is outside of the City limits and not subject to the Outdoor Lighting Ordinance.</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Since this is a commercial development, the Parkland Dedication Ordinance is not applicable.</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>Since this subdivision is outside of the city limits, the Landscape and Tree Preservation Ordinance is not applicable.</p>

<p>Subdivision, 28.02, Exhibit A</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p><a href="#">This subdivision will comply with the applicable portions of the Subdivision Ordinance as applicable to projects in the ETJ.</a></p>
<p>Zoning, Article 30.02, Exhibit A</p>	<p>Since this project is outside the City limits, the Zoning Ordinance is not applicable.</p>

Project Number: \_\_\_\_\_ - \_\_\_\_\_  
Only filled out by staff



**DRIPPING SPRINGS**  
Texas

**BILLING CONTACT FORM**

Project Name: Ladera, Lot 2 Replat  
Project Address: 4630 W Hwy 290, Dripping Springs, Texas 78620  
Project Applicant Name: Jon Thompson, J Thompson Professional Consulting

**Billing Contact Information**

Name: Rajendra "Robert" Persaud  
Mailing Address: PO Box 1789  
Dripping Springs, Texas 78620  
Email: robert@prostarwater.com Phone Number: (512) 848-0101

Type of Project/Application (check all that apply):

- |   |   |
|---|---|
| <input type="checkbox"/> Alternative Standard           | <input type="checkbox"/> Special Exception      |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit  |
| <input type="checkbox"/> Conditional Use Permit         | <input checked="" type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement          | <input type="checkbox"/> Waiver                 |
| <input type="checkbox"/> Exterior Design                | <input type="checkbox"/> Wastewater Service     |
| <input type="checkbox"/> Landscape Plan                 | <input type="checkbox"/> Variance               |
| <input type="checkbox"/> Lighting Plan                  | <input type="checkbox"/> Zoning                 |
| <input type="checkbox"/> Site Development Permit        | <input type="checkbox"/> Other _____            |

*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. **Please see the online Master Fee Schedule for more details.** By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

\_\_\_\_\_  
Signature of Applicant

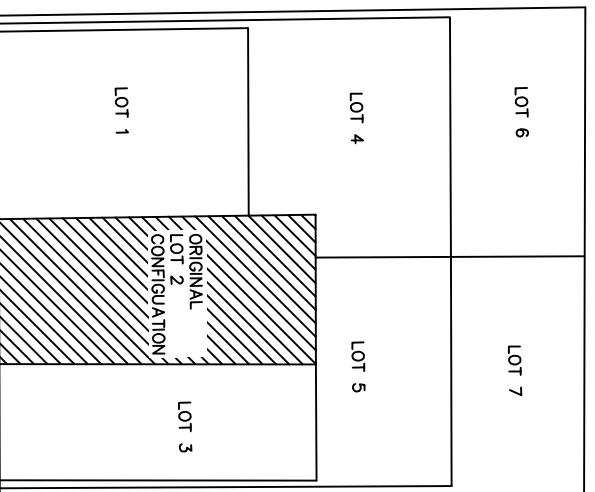
\_\_\_\_\_  
Date

# J.A. STEWARD SURVEY ABSTRACT 658

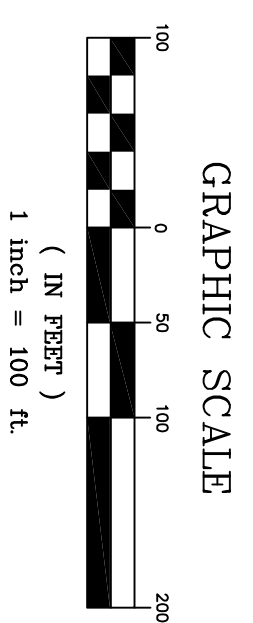
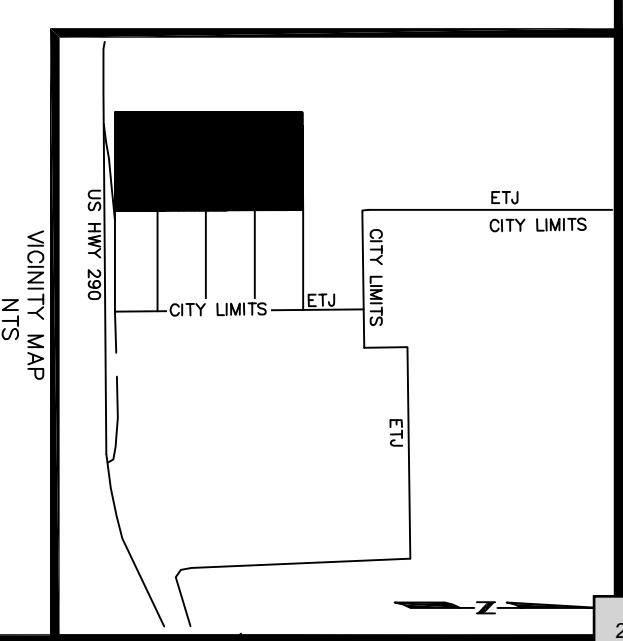
LADERA SUBDIVISION  
VOL. 7 PGS 51-52  
P.R.H.C.T.



BASIS OF BEARINGS:  
TEXAS STATE PLANE NAD83/2018 ADJUSTMENT  
TEXAS SOUTH CENTRAL ZONE 4204.  
MAGNETIC DECLINATION FOR THIS ZONE  
AND YEAR 2024 IS 10.10° WEST  
COORDINATES SHOWN ARE GRID  
COMBINED SCALE FACTOR 0.999918511



US HIGHWAY 290 (100' R.O.W. ORIGINAL)  
VOL. 108 PGS 284-285  
D.R.H.C.T.



- LEGEND**
- IRON ROD FOUND
  - IRON ROD W/CAP FOUND
  - IRON ROD SET W/CAP MARKED
  - "CARDINAL SURVEYING"
  - OFFICIAL PUBLIC RECORDS  
HAYS COUNTY, TEXAS
  - O.P.R.H.C.T.
  - D.R.H.C.T. DEED RECORDS HAYS COUNTY, TEXAS
  - P.R.H.C.T. PLAT RECORDS HAYS COUNTY,  
TEXAS

SHEET 2 OF 2

		CARDINAL SURVEYING AND MAPPING TBPELS FIRM NO. 10194078	REPLAT OF LOT 2 LADERA SUBDIVISION J.A. STEWARD SURVEY ABSTRACT NO. 658 HAYS COUNTY, TEXAS
DATE	BY	REVISIONS	

THE STATE OF TEXAS:  
: KNOWN ALL MEN BY THESE PRESENTS  
COUNTY OF HAYS :

THAT RAENDRA N. PERSAUD BEING THE OWNER LOT 2 OF THE LADERA SUBDIVISION AS RECORDED IN VOLUME 7 PAGES 51-52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS, AND BEING FURTHER DESCRIBED IN A WARRANTY DEED WITH A VENDOR'S LIEN RECORDED UNDER VOLUME 3712 PAGE 824 AND DOCUMENT NUMBER 90021122 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY REPLAT SAID LOT 2 IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT, TO BE KNOWN AS:

REPLAT LOT 2  
OF THE  
LADERA SUBDIVISION

BY: RAENDRA N. PERSAUD OWNER  
4630 U.S. HIGHWAY 290  
DRIPPING SPRINGS, TX 78620

STATE OF TEXAS,  
COUNTY OF HAYS:

BEFORE ME, THE UNDERSIGN AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME IN THE CAPACITY THEREIN STATED FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY  
OF 20\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

(TYPE OR PRINT NAME)  
MY COMMISSION EXPIRES ON: \_\_\_\_\_

THE STATE OF TEXAS:  
COUNTY OF HAYS:

THAT I, DAVID PAUL GARR AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING AND HEREBY STATE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF DRIPPING SPRINGS ORDINANCE AND CODES.

DAVID PAUL GARR R.P.L.S. NO. 3997 DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR  
CARDINAL SURVEYING AND MAPPING  
1405 KNOLL RIDGE DR.  
CEDAR PARK, TX 78613  
(512) 299-9171  
TBPELS FIRM NO. 10194078

STATE OF TEXAS:  
COUNTY OF HAYS:

I, ANDREW DODSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING. I AM RESPONSIBLE FOR THE PREPARATION OF THE ENGINEERING PORTION OF THE PLAT SUBMITTED HERewith, ALL ENGINEERING INFORMATION SHOWN ON THIS PLAT IS ACCURATE AND CORRECT; AND WITH REGARD TO THE ENGINEERING PORTIONS THEREOF, THE PLAT COMPLEES WITH THE CITY OF DRIPPING SPRINGS CODE AS AMENDED, AND ALL OTHER APPLICABLE CITY AND HAYS COUNTY CODES, ORDINANCES AND RULES. I CERTIFY THAT THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FEDERAL SURVEYING AND MAPPING ACT AND THE FEDERAL FLOOD FLOOD INSURANCE RATE MAPS (FIRM) NOS. 4820900085F, DATED SEPTEMBER 2, 2005.

ANDREW DODSON P.E. DATE  
REGISTERED PROFESSIONAL ENGINEER  
NO. 95647 -STATE OF TEXAS  
DODSON CIVIL GROUP  
2749 W. BROAD ST.  
BUDA, TX 78610  
(512) 748-3253  
TBPELS FIRM NO. 20870

STATE OF TEXAS,  
COUNTY OF HAYS:

I, ELAINE H. GARDEMAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF 20\_\_ A.D. AT O'CLOCK \_\_M., IN THE OFFICIAL PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT NUMBER \_\_\_\_\_

WITNESS MY HAND AND SEAL OF OFFICE THIS THE DAY OF 20\_\_ A.D.  
ELAINE H. GARDEMAS  
COUNTY CLERK  
HAYS COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

DATE	BY	REVISIONS

NOTES TO THE PLAT

1. THIS FINAL PLAT IS LOCATED WITHIN THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS, TEXAS.
2. NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS RECHARGE ZONE.
3. THIS PLAT LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER.
4. THIS PLAT LOCATED WITHIN THE BOUNDARIES OF THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
5. ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
6. THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 224 ANNUAL FLOODPLAIN FLOODPLAIN AS SHOWN ON THE FEDERAL INSURANCE RATE MAP. PLAT 2008-009. THIS PROPERTY IS NOT INSURED AGAINST FLOOD DAMAGE. THE FLOOD FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
7. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM ONSITE WATER WELL OR STORM WATER COLLECTION.
8. WASTEWATER SERVICE WILL BE PROVIDED BY EACH LOT THROUGH USE OF ON SITE SEWAGE FACILITY.
9. ELECTRIC SERVICE WILL BE PROVIDED BY FEDERALELCS ELECTRIC COOPERATIVE.
10. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.
11. ALL SETBACKS SHALL COMPLY WITH THE REQUIREMENTS SET OUT BY HAYS COUNTY, TEXAS.
12. UTILITY EASEMENTS OF 20 FEET IN WIDTH ALONG EACH SIDE OF A DEDICATED RIGHT OF WAY, 10 FEET ALONG EACH SIDE LOT LINE, AND REAR LOT LINE.
13. THE CITY IS AUTHORIZED TO ACCESS THE PRIVATE STREETS, EASEMENTS, ETC., FOR INSPECTION CODE COMPLIANCE AND HAYS COUNTY EMERGENCY SERVICE DISTRICT NO. 6 IS AUTHORIZED TO ACCESS PRIVATE STREETS FOR EMERGENCY ACCESS.
14. THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE EMERGENCY SERVICE DISTRICT NO. 6 OR ITS SUCCESSORS.
15. RAENDRA N. PERSAUD WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORM WATER FACILITIES AND EASEMENTS.
16. THIS SUBDIVISION IS SUBJECT TO ALL GENERAL NOTES AND RESTRICTIONS APPEARING ON THE PLAT OF LADERA SUBDIVISION RECORDED IN VOLUME 7 PAGES 51-52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS.
17. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED TO ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE (B) THE COUNTY ROADWAYS DEPARTMENT HAS BEEN ISSUED UNDER CHAPTER 751, CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
18. ALL CULVERTS, WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705, SUBCHAPTER 8.03.
19. ALL MAILBOXES LOCATED IN THE RIGHT OF WAY SHALL BE OF AN APPROVED TYPOT OR OTHER APPROVED DESIGN, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 2.01.
20. IMPERVIOUS COVER SHALL COMPLY WITH THE WATER QUALITY PLAN APPROVED FOR THIS SUBDIVISION AND SHALL NOT BE ALTERED.
21. SIDEWALKS SHALL BE CONSTRUCTED TO COMPLY WITH THE CITY OF DRIPPINGS SPRINGS ORDINANCES.
22. THE PURPOSE OF THE REPLAT IS TO CREATE 2 LOTS FROM 1 LOT.
23. THIS PROPERTY IS WITHIN THE HAYS TRINITY GROUNDWATER CONSERVATION DISTRICT NUMBER 2.
24. LOT 1 IS RESTRICTED TO AN ADVANCED ON-SITE SEWAGE SYSTEM ONLY.

HAYS COUNTY DEVELOPMENT SERVICES

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION,  
TO WHI:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY, RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

MARCUS PACHECO  
INTERIM DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

ERIC VAN GAASBEERK, R.S., C.F.M.  
INTERIM HAYS COUNTY FLOODPLAIN ADMINISTRATOR

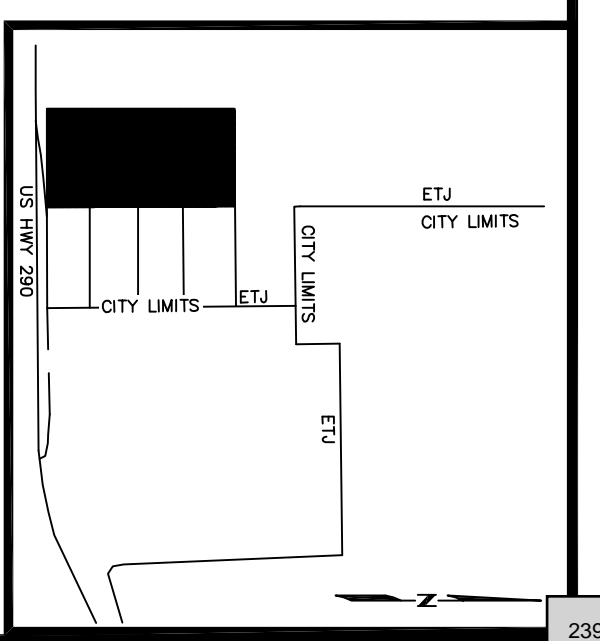
I, THE UNDERSIGNED, INTERIM DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF \_\_\_\_\_ FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF \_\_\_\_\_.

MARCUS PACHECO  
INTERIM DIRECTOR  
HAYS COUNTY DEVELOPMENT SERVICES

STATE OF TEXAS,  
COUNTY OF HAYS:  
CITY OF DRIPPING SPRINGS:

THIS PLAT, THE REPLAT OF LOTS 1B THRU 1D OF THE REDIVISION OF LOT 1 OF CALICHE HILL SECTION 1, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY ADMINISTRATIVELY APPROVED PURSUANT TO ORDINANCE 1250.09.

APPROVED THIS THE DAY OF 20\_\_ .  
BY: MICHELLE FISCHER  
CITY ADMINISTRATOR



DESCRIPTION

DESCRIPTION OF A 15.00 ACRE TRACT OF LAND IN THE J. A. STEWARD SURVEY ABSTRACT 658 IN HAYS COUNTY, TEXAS AND BEING ALL OF LOT 2 OF THE LADERA SUBDIVISION AS RECORDED IN VOLUME 7 PAGES 51-52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS AND BEING DESCRIBED IN A DEED TO RAENDRA N. PERSAUD AS RECORDED IN VOLUME 3712, PAGE 824 OF THE OFFICIAL RECORDS OF HAYS COUNTY, TEXAS, SAID 15.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL BEARINGS BEING GRID BASED ON THE TEXAS PLANE COORDINATE SYSTEM NAD 83/2018 ADJUSTMENT TEXAS SOUTH CENTRAL ZONE 4204:

BEGINNING at a 3/4" inch iron rod found in the north right of way line of US Highway 290 (hereinafter referred to as "Chase H. Chase H. S. 290") which the State of Texas has recorded in Volume 108, Pages 284-285 of the Dead Records of Hays County, Texas; said iron rod being the southwest corner of Lot 3a, of the Amended Plat of a Portion of Lot 3 Ladera as recorded in Volume 17, Pages 50-51 of the Plat Records of Hays County, Texas, some being the southwest corner of said Lot 2 of the Ladera Subdivision and of the herein described tract;

THENCE with the said north right of way line of US Highway 290, being common with the south line of Lot 2 Ladera S 88°52'44" W for a distance of 542.75 feet to a 3/4" inch iron rod monumenting the southwest corner Lot 1 of Ladera Subdivision, the southwest corner of said Lot 2 and of the herein described tract;

THENCE departing the said north right of way line of US Highway 290 with the west line of said Lot 2 being common in part with the east line of Lot 1 N 01°40'49" W passing at a distance of 935.23 feet to the called northeast corner of Lot 1 some being the southerly southeast corner of Lot 4 Ladera Subdivision, continuing with the east line of Lot 4 for a total distance of 1185.08 feet to a 3/4" inch iron rod found on the northeast corner of said Lot 2 and the northwest corner of Lot 3 Ladera Subdivision;

THENCE with the east line of said Lot 2 being common in part with the west line of Lot 3 Ladera S 34°15'13.5X E for a distance of 141.34 feet to a 3/4" inch iron rod monumenting the northwest corner of said Lot 3a, in all for a total distance of 1185.17 feet to the POINT OF BEGINNING of the herein described tract and containing 15.00 acres of land more or less.

**Cardinal**  
Surveying Mapping  
David P. Carr, RPLS  
TBPELS FIRM NO. 10194078

REPLAT OF LOT 2 LADERA SUBDIVISION  
J.A. STEWARD SURVEY ABSTRACT NO. 658  
HAYS COUNTY, TEXAS



Date: May 20, 2022

Permit Number: SUB2022-0019

Project Name: Ladera, Lot 2 Replat

Project Address: 4630 Hwy 290 W, Dripping Springs, TX 78620

### City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email [tcarpenter@cityofdrippingsprings.com](mailto:tcarpenter@cityofdrippingsprings.com).

1. Add in the recording information for all surrounding lots, including all parts of lot 3. [4.7.c] Add in the adjacent lots across US Highway 290 and include recording information. [4.7.c]
2. Show easements in the surrounding lots [4.7.d]
3. Lot 1 of this replat needs to change to another number because Lot 1 of the original Ladera subdivision already exists. [4.7.f]
4. Instead of the City Administrator's Signature block include the Planning and Zoning Commission Chair's signature block along with the City Secretary. [47.r.4]
5. In the City approval statement, update to read ..." Considered by the City of Dripping Springs and is Hereby approved by the Planning & Zoning Commission..." [47.r.4]
6. Provide Hays County 1445 approval letter.

### Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email [cgilpin@cityofdrippingsprings.com](mailto:cgilpin@cityofdrippingsprings.com).

7. Show current city limits on general location map. [Subdivision Ordinance 4.7(a)]
8. The delineation of the drainage basin to establish the WQBZ should start at the downstream point of the creek as it leaves the property to the east. Please update drainage basin and add WQBZ delineations. A WQBZ will be required 50 feet from the either side if the centerline of the stream (total 100 feet buffer zone) [WQO 22.05.017]
9. Provide inset showing original configuration of platted lots [Sec 7.3 Sub Ord]



10. Show all adjacent property owner information including properties on the other side of US290. [Sub. Ord. 4.7(c)]
11. Show any existing wells onsite? Per [TAC Title 16, Part 4, Chapter 76, Rule 76.1(a)(1)], a water well must be 50 ft from property line. Annotate 50 ft offset.
12. Delineate the spread of the 100-yr flow in the existing creek and contain within a drainage easement. [Hays County Development Regulations 3.07(B)] A drainage area of sixty-four (64) acres or greater within a contributing watershed for which a Regulatory floodplain has not previously been identified shall require the identification of a local flood plain. For areas of flow with less than sixty-four (64) acres of contributing area, the identification of a local flood plain is not required; however, any concentrated flow necessitates the dedication of a drainage easement.
13. Per the City's adopted Transportation Master Plan showing the need for 120 ft ROW on US 290 provide a minimum 10 ft ROW reserve along the frontage of US290.



# Planning and Zoning Commission

## Planning Department Staff Report

Item 13.

**Planning and Zoning Commission Meeting:** May 24, 2022  
**Project No:** VAR2022-0003  
**Project Planner:** Tory Carpenter, AICP, Senior Planner

### Item Details

**Project Name:** Headwaters Pool Variance  
**Property Location:** 410 Hazy Hills Loop  
**Legal Description:** Headwaters at Barton Creek Phase 1, Block A, Lot 21  
**Applicant:** Renee Godinez  
**Property Owner:** Adam Kim  
**Request:** Applicant is requesting a variance to Section 3.2.5 of the Headwaters Development Agreement limiting impervious cover to 50% on a residential lot.



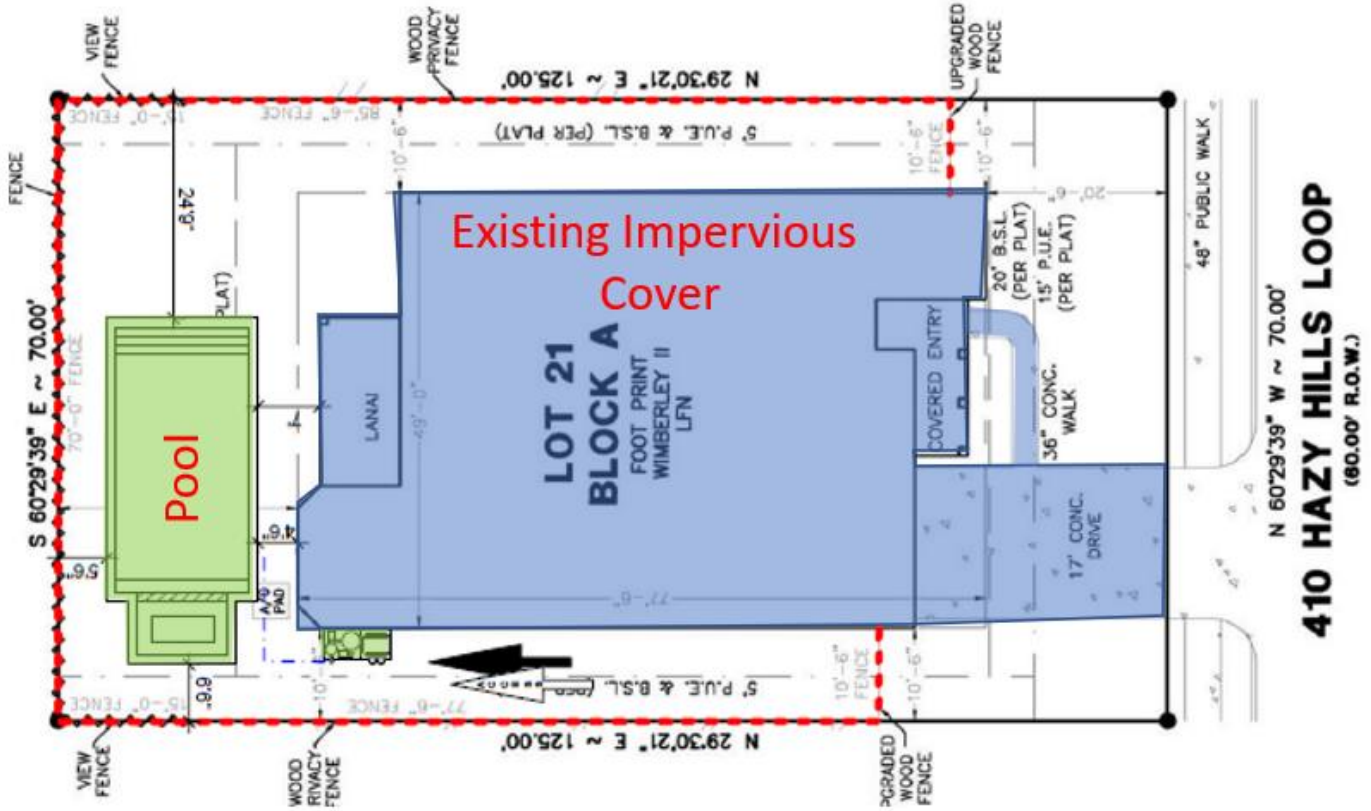
**Overview**

This variance request is associated with a permit for a pool on a single-family property in the Headwaters development. The applicant applied for and was granted an administrative pool encroachment variance to allow the pool to be within the building setback. This property is subject to the Headwaters Development Agreement which limits impervious cover to 50% on residential lots. The property is 8750 square feet.

The property owner provided the following description of the hardship and reason for this request:

1. *A pool is a reasonable accessory for a single-family residence and common development in the City of Dripping Springs.*
2. *The property has ample room in the backyard to hold a swimming pool/spa and there is an existing wall that can act as an erosion control to protect the surrounding land.*
3. *The extra 2% of impervious cover caused by surface water will not affect the property.*
4. *The pool and spa will be enclosed in the backyard, protected from the public by existing wood fencing and retaining walls.*
5. *We are not proposing to alter any existing structures.*
6. *The construction of the pool within this area would simply change the use of the portion of the lot, from a grass surface to a pool.*

Code Requirement	Applicant Request	Required Yard Deficit
No more than 50% impervious cover (4,375 sqft)	52.8% impervious cover (4,620 sqft)	<b>2.8%</b> <b>(245 sqft)</b>



**Surrounding Properties**

Direction	Zoning District	Existing Use	Comprehensive Plan
North	ETJ	Single Family	The area is not shown on the city's comprehensive future land use plan.
East	ETJ	Single Family	
South	ETJ	Open Space	
West	ETJ	Single Family	

**Approval Criteria for Variance (2.22.2-Zoning Ordinance)**

Approval Criteria	Staff Comments
1. there are special circumstances or conditions affecting the land involved such that the literal enforcement of the provisions of this Chapter would deprive the applicant of the reasonable use of the land; and	There are no special circumstances or conditions affecting the property.
2. the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant; and by preserving the natural features and topography of the land; and	Staff does not consider a private pool to be necessary for the preservation and enjoyment of a property. Additionally, the applicant can reduce the size of the pool by approximately 39% and meet the minimum impervious cover requirements.
3. the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious	Granting of the variance would not be detrimental to the public health, safety, welfare, or injurious to other property.

to other property within the area; and	within the area.
4. the granting of the variance constitutes a minimal departure from this Chapter; and	This variance does not constitute the minimum departure from the impervious cover requirements. The applicant can reduce the size of the pool by approximately 39% and meet the minimum impervious cover requirements.
5. the subject circumstances or conditions giving rise to the alleged hardship are not self-imposed, are not based solely on economic gain or loss, and do not generally affect most properties in the vicinity of the property; and	There is no apparent hardship on this property. Similarly situated properties in the vicinity constructed smaller pools.
6. Granting the variance is in harmony with the spirit, general purpose, and intent of this Chapter so that: <ul style="list-style-type: none"> <li>a. the public health, safety and welfare may be secured; and</li> <li>b. that substantial justice may be done.</li> </ul>	This request is not consistent with the purpose of the impervious cover requirement.

**Summary and Recommendation**

**Staff recommends denial of the variance request.**

**Public Notification**

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the Variance request.

**Meetings Schedule**

May 24, 2022 Planning & Zoning Commission

June 7, 2022 Board of Adjustments

**Attachments**

Attachment 1 – Variance Application

Attachment 2 – Application Materials

Recommended Action	Recommend denial of the requested variance
Alternatives/Options	Recommend approval of the variance with no or alternate conditions.

## Planning Department Staff Report

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Item 13.

Budget/Financial impact	N/A
Public comments	None received at this time
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



**DRIPPING SPRINGS**  
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**ALTERNATIVE STANDARD/SPECIAL EXCEPTION/VARIANCE/WAIVER APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**CONTACT INFORMATION**

PROPERTY OWNER NAME Adam Kim

STREET ADDRESS 410 Hazy Hills Loop

CITY Dripping Springs STATE TX ZIP CODE 78620

PHONE 707-738-6852 EMAIL adamkim555@gmail.com

APPLICANT NAME Renee Godinez

COMPANY Permit Solutions

STREET ADDRESS 2121 Lohmans Crossing

CITY Austin STATE TX ZIP CODE 78734

PHONE 512-201-4019 EMAIL renee@permitsolutionstx.com

**APPLICATION TYPE**

ALTERNATIVE STANDARD

VARIANCE

SPECIAL EXCEPTION

WAIVER

<b>PROPERTY INFORMATION</b>	
PROJECT NAME	Kim Pool Variance
PROPERTY ADDRESS	410 Hazy Hills Loop
CURRENT LEGAL DESCRIPTION	HEADWATERS AT BARTON CREEK PHASE 1, BLOCK A, Lot 21, ACRES 0.2009
TAX ID#	R148761
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION <input type="checkbox"/> HISTORIC DISTRICT OVERLAY

- Description of request & reference to section of the Code of Ordinances applicable to request:

Applying for variance to construct an in-ground pool and spa that exceeds maximum Impervious Coverage. Proposed IC is 52.8%, Max IC is 50% per PDD 6 Ordinance  
 We have already applied for a variance to encroach into the setback, see the attached approval.

- Description of the hardship or reasons the Alternative Standard/Special Exception/Variance / Waiver is being requested:

A pool is a reasonable accessory for a single family residence and common development in the City of Dripping Springs. The property has ample room in the backyard to hold a swimming pool/spa and there is an existing wall that can act as a erosion control to protect the surrounding land. The extra 2% of impervious cover caused by surface water will not effect the property.

- Description of how the project exceeds Code requirements in order to mitigate or offset the effects of the proposed alternative standard/special exception/variance/waiver:

The pool and spa will be enclosed in the backyard, protected from the public by existing wood fencing and retaining walls. We are not proposing to alter any existing structures. The construction of the pool within this area would simply change the use of the portion of the lot, from a grass surface to a pool.



**APPLICANT'S SIGNATURE**

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Permit Solutions (Renee Godinez) is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.  
(As recorded in the Hays County Property Deed Records, Vol. 19, Pg. 161.)

\_\_\_\_\_  
Name  
**owner**  
\_\_\_\_\_  
Title

STATE OF TEXAS           §  
  §  
COUNTY OF TRAVIS       §

This instrument was acknowledged before me on the 5th day of April 2022 by Adam Kim by means of an interactive two-way audio visual communication. This notarial act was an online notarization.

\_\_\_\_\_  
Notary Public, State of Texas

My Commission Expires: 31 AUG 2025



Public. This notarial act of online audio/video technology.

Renee Godinez  
Name of Applicant

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:

Rense Godinez  
Applicant Signature

04/04/2022  
Date

### CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input type="checkbox"/>	Application Fee ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted documents <b>When submitting digital files, a cover sheet must be included outlining what digital contents are included.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input type="checkbox"/>	Photographs
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Map/Site Plan/Plat
<input type="checkbox"/>	<input type="checkbox"/>	Cut/Fill Data Sheet ( <i>if applicable</i> )
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevations ( <i>if applicable</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Description and reason for request ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input type="checkbox"/>	Public Notice Sign - \$25
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Property Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (required if marked "Yes (Required)" on above Lighting Ordinance Section of application)

**BUYER: TO WET DOWN CONCRETE SHELL AT LEAST TWICE DAILY FOR SEVEN DAYS.**

- A&A VIP CIRCULATION SYSTEM
- FENCE REMOVAL & REINSTALL
- B.M. & T.O.F. T.B.D. BY P.M. @ L.O.
- ALL DOORS LEADING TO POOL AREA WILL BE EQUIPPED WITH AUDIBLE ALARMS
- EXCAVATORS MUST DIG THE PLUMBING TRENCH IN THE POOL FOR THE MAIN DRAIN
- A&S IS NOT RESPONSIBLE FOR ANY DAMAGE TO SPRINKLER, CABLE, PHONE, ELECTRICAL, INTERNET, WATER OR ANY UNDERGROUND LINES
- 4X8 TRASH BOX
- MUST WATER BOND
- VACUUM LINE TO POOL
- 80 sq. ft. BROWNCOAT
- FRENCH GREY STONESCAPES MINI PEBBLE
- EXCAVATOR TO PREGRADE FOR DECK

**PUMP TURNOVER RATE  
14.22 / 24 HRS  
150 GPM**

**NEW IMPERVIOUS COVER  
-POOL WATER: 450 sqft  
SPA WATER: 60 sqft  
POOL & SPA COPING: 112 sqft  
EQUIPMENT PAD: 24 sqft**

Impervious Coverage	
Lot Coverage Calculation	
Lot Size	8750
House/Garage	3126
Drive/Sidewalk/Patios	848
Total	3974
<b>Existing Coverage</b>	<b>45%</b>
<b>Proposed Coverage</b>	<b>47%</b>

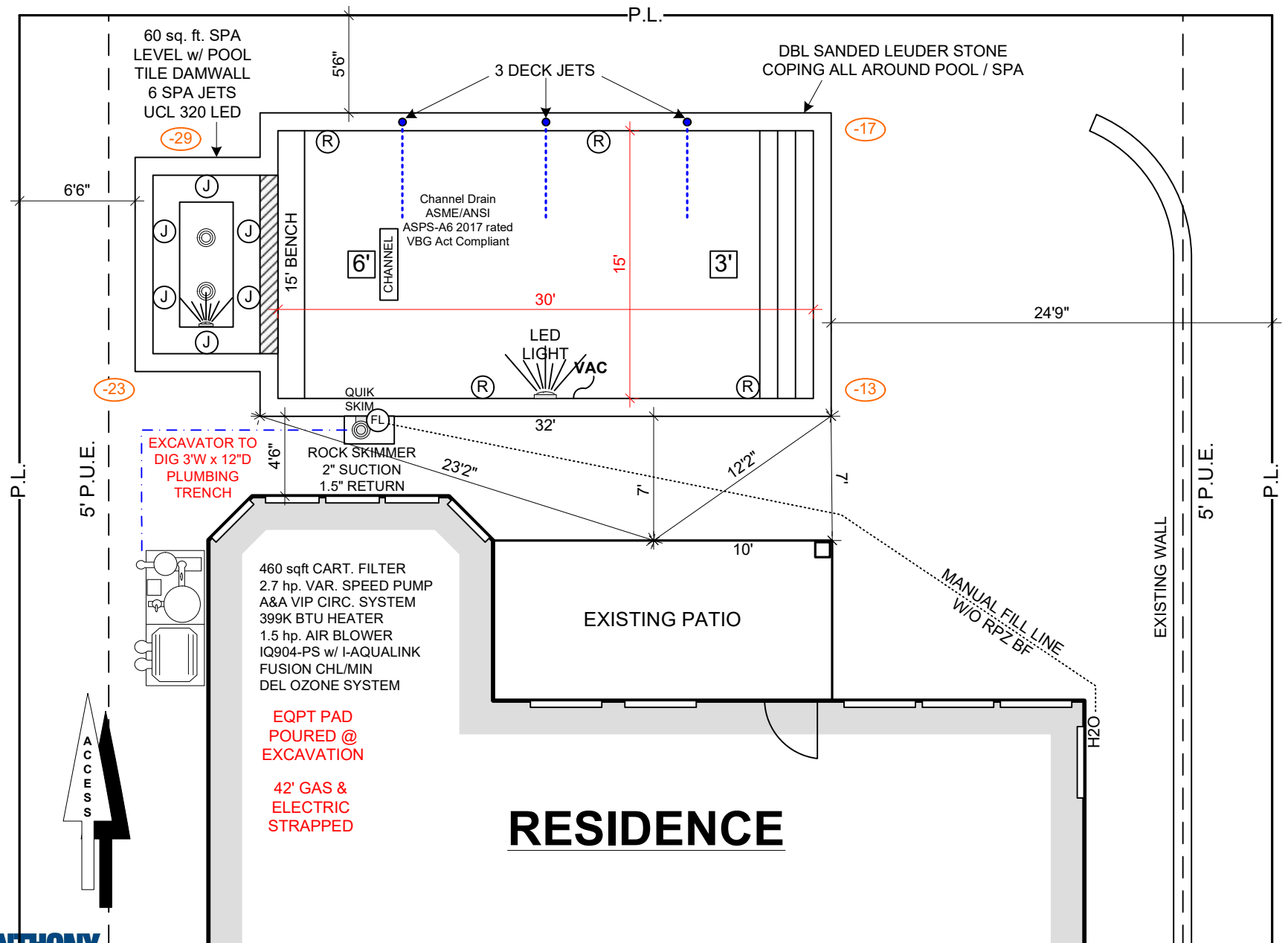
All Gates to be self closing and self latching with latch being a minimum of 54" in height per 2018 IRC, Appendix G

Compliance with the International Swimming Pool & Spa code as required by the 2018 IRC see R 326

Pool Equipment complies with 2018 International Energy Conservation Code SEC R 403. 10-12

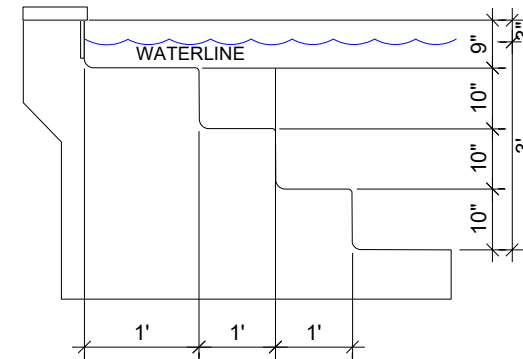
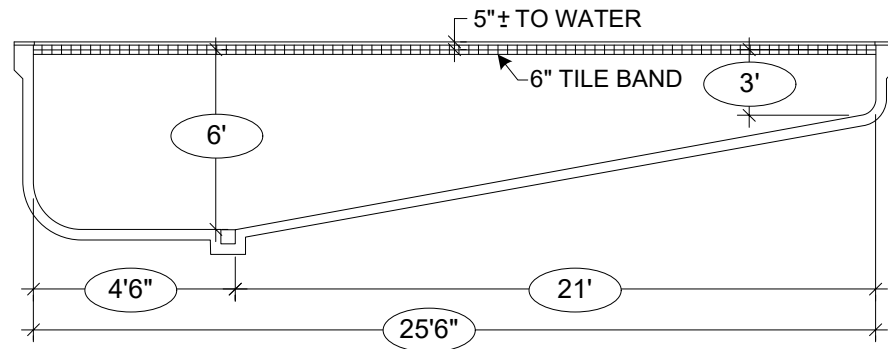
Electric runs		
Main Electric Run		
Additional Conduit		
Plumbing	Size	Run
A-Skimmer Suction Line	2"	20 FT
B-Skimmer Return Line	1.5"	20 FT
C-Main Drain	3"	20 FT
D>Returns	1.5"	100 FT
E-Pool Cleaner	1.5"	30 FT
F-Spa Return	1.5"	20 FT
G-Spa Main Drain	3"	20 FT
H-Air Line	1.5"	20 FT
I-Pencil Jets	1.5"	56 FT
J-Additional	1.5"	---

ANTHONY & SYLVAN POOLS LEGEND			
Customer Information		Job Information	
Customer: <b>Kim, Gretchen &amp; Adam Kim</b>		Job No: <b>2122</b>	
Address: 410 HAZY HILLS LOOP, DRIPPING SPRINGS, TX 78620		Item 13.	
MR. CELL: (707) 738-6852		MR. EMAIL: adamkim555@gmail.com	
POOL INFORMATION			
MAX. WIDTH:	15.0 FT	POOL/NEB PERIMETER:	90 FT
MAX. LENGTH:	30.0 FT	POOL/NEB SQ. FT.:	450 SQFT
DEPTH:	3 to 6	APPROX. VOLUME/T.O.:	15,188 GAL
DIVING POOL:	No	INTERNAL AREA:	855 SQFT
EXCAVATION			
DIG TYPE:	NARROW- TRACK HOE & BOBCAT	CONCRETE REMOVAL:	0 SF
STUMP REMOVAL:	0	GRADE & HAUL LOADS:	0 LOADS
FENCE/WALL REMOVAL:	0 TO 20LF	SILT FENCE TYPE:	NONE
DIRT HAUL:	HAUL		
POOL SPECIFICATIONS			
POOL COPING:	LEUDERS SEGMENTED COPING	POOL COPING LF:	0 LF
SPA/RBB COPING:	LEUDERS SEGMENTED COPING	SPA/RBB COPING LF:	123 LF
COPING COLOR CHOICE:		NOTCH BEAM:	0 LF
COPING GROUT COLOR:		BROWN COAT:	80 SF
EXT. 2ND STEP/BENCH:	0 LF	TILE CHOICE:	
SWIM OUT:	15 LF	TILE GROUT COLOR:	
SUN SHELF:	0 LF	TRIM TILE:	NONE
6" RAISED BOND BEAM:	0 LF	INTERIOR FINISH TYPE:	STONE SCAPES FRENCH GRAY
18" RAISED BOND BEAM:	0 LF	INTERIOR FINISH COLOR:	
12" RAISED BOND BEAM:	0 LF	INTERIOR OPTIONS:	NONE
		FITTINGS:	
POOL EQUIPMENT			
FILTER TYPE:	460 SQ. FT. CARTRIDGE W/SPA	BOOSTER PUMP:	NONE
FILTER RUN FT:	20	BOOSTER PUMP RUN:	0
POOL PUMP:	2.7 HP VS W/SPA	BOOSTER PUMP:	NONE
SKIMMERS:	1	BOOSTER PUMP RUN:	0
ADDL. SKIMMERS RUN:	0 LF	AUTOMATION:	IQ904-PS (2 JVA)
RETURNS:	4	AUTO MISC:	NONE
FILL TYPE:	MANUAL W/O RPZ BF	CHLORINATOR:	FUSION SANITIZER
FILL LINE DISTANCE:	58 LF	SANITIZER:	DEL OZONE GENERATOR
HEATER:	RAYPAK 399K BTU NG HEATER	SANITIZER:	NONE
POOL LIGHTS:	POOL COLOR LED QTY 1	CLEANER:	NONE
OTHER POOL LIGHTS:	NONE QTY 0	CLEANER:	NONE
ACCESSORIES:	NONE	CLEANER:	NONE
ACCESSORIES:	NONE	VACUUM KIT:	NO
CUP ANCHORS:	No	POOL COVER:	
COVER PUMP:	0	AUTO COVER LID:	
WATER FEATURES			
WATER FEATURE 1:	PENCIL JET(S)	NEGATIVE EDGE:	NO
W/F 1 QTY/RUN:	3 LF 56	NEGATIVE EDGE RUN:	0 LF
WATER FEATURE 2:	NONE	ACCESSORIES:	NONE
W/F 2 QTY/RUN:	0 LF	ACCESSORIES RUN:	0 LF
WATER FEATURE 3:	NONE	ACCESSORIES:	NONE
W/F 3 QTY/RUN:	0 LF	ACCESSORIES RUN:	0 LF
WATER FEATURE 4:	NONE		
W/F 4 QTY/RUN:	0 LF		
SPA SPECIFICATIONS			
SPA SQ. FT.:	60	WIDTH/LENGTH:	
SPA PERIMETER:	32 LF	SPA PLBG RUN:	20
SPA LIGHT(S) TYPE:	SPA COLOR LED QTY 1	SPA RAISED HEIGHT:	NONE
AIR BLOWER:	1.5HP BLOWER	SPA FACING (POOLSIDE):	
JETS (QTY):	6	SPA FACING (DRYSIDE):	
SPA ACCESSORIES:	NONE QTY 0	SPA VENEER AREA:	
SPA ACCESSORIES:	NONE QTY 0	SPILLWAY TYPE/WIDTH:	NOTCH LF
DECK - ELECTRIC - GAS SPECIFICATIONS			
POOL DECK AREA:	0 SF	POOL DECK DRAINAGE:	DECK O DRAIN 0
POOL DECK MATERIAL:	NONE	OTHER DECK DRAINAGE:	AREA DRAIN 0
POOL DECK COLOR:		OTHER DECK DRAINAGE:	DRAIN HEADS 0
EXISTING DECK TOPPING:	NONE	DOWNSPOUT CONNECTS:	
EXISTING DECK AREA:	0	DECK OTHER:	NONE 0
DECK CONTRACTOR:	NONE	DECK OTHER:	NONE 0
ELECTRIC CONTRACTOR:	A&S	CONCRETE PUMP:	NO
SUB PANEL:	NO	STEP TREAD/RISER:	NONE
FENCE CONTRACTOR:	A&S	POOL DECK STEPS:	0 LF
DOOR / GATE ALARMS:	NONE	TURNDOWN:	0 SQFT
HEATER GAS PLUMB:	48 LF	OTHER GAS PLUMB:	0 LF
GAS SIZE & TYPE:	N/A	GAS SIZE & TYPE:	N/A
HEATER GAS TRENCH:	HEATER GAS LINE TRENCHING - D 0	OTHER GAS TRENCH:	NONE 0
A&A VIP SYSTEM, QUIK SKIM, INFUSION RETURNS, CHANNEL DRAIN			
BACKYARD FEATURES			
WALLS:	NONE 0 SQFT	WALLS:	NONE 0 SQFT
FOOTER:	NONE 0 LF	WALL COPING:	NONE 0 LF
WALL COPING:	NONE 0 LF	WALL FACING:	NONE 0 SQFT
WALL FACING:	NONE 0 SQFT	MISCELLANEOUS:	NONE 0
POOL SETBACKS			
REAR:		EQUIPMENT:	
SIDES:		FENCE:	
HOUSE:		OTHER SETBACKS:	
ANTHONY & SYLVAN CO			
DESIGNER:	DAVE ROTHWELL	CELL PHONE NO.:	512-917-9151
A&S OFFICE:	AUSTIN	OFFICE PHONE NO.:	(512) 258-123
ADDRESS:	13343 HIGHWAY 183 N., AUSTIN, TX 78750	TOWNSHIP:	
GENERAL MANAGER:	DAN BARRETT	OFFICE PHONE NO.:	(512) 258-123
PROJECT MANAGER:		CELL PHONE NO.:	



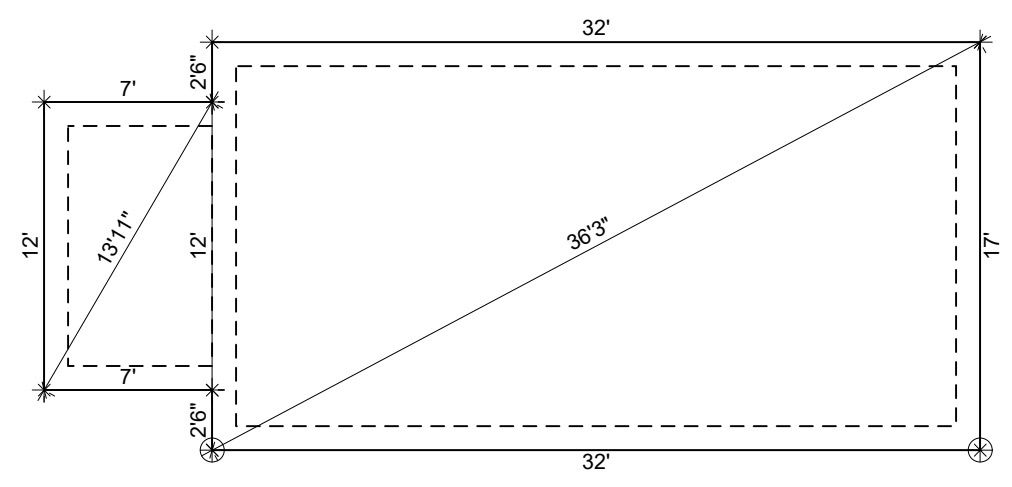
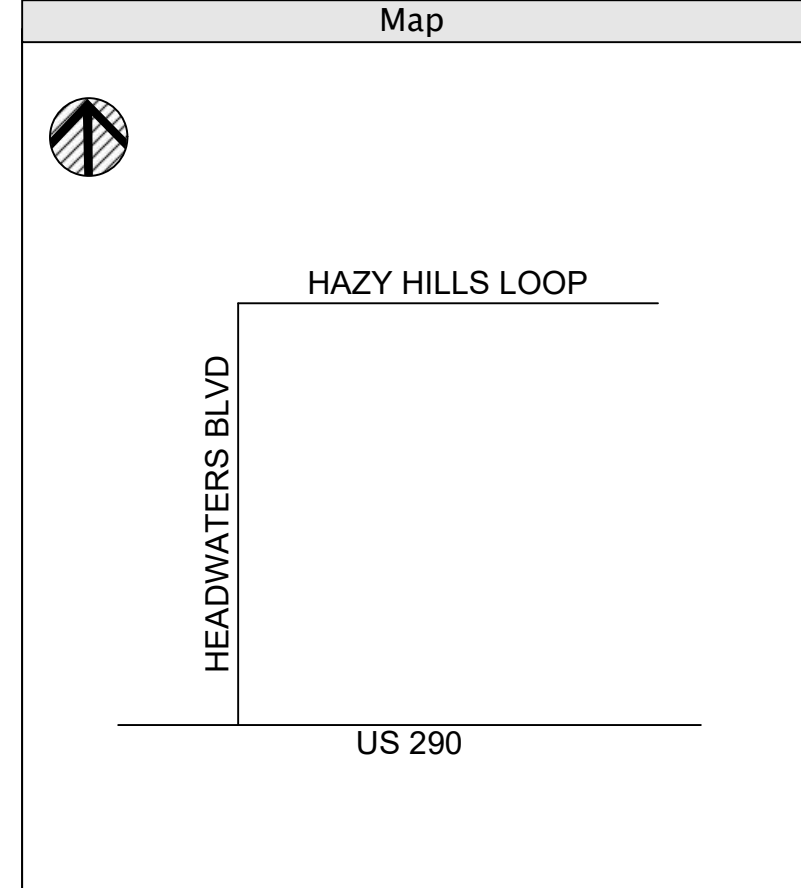
***NOTE***		NOTE: To be numbered and referred to on Plan via Symbol	
Symbol	Description	Date	Description
⊕	T.O.C. = ?	8.30.21	Initial Draft: Scott Reeves
⚠		11.15.21	Added elevations

CROSS SECTION - WEDGE



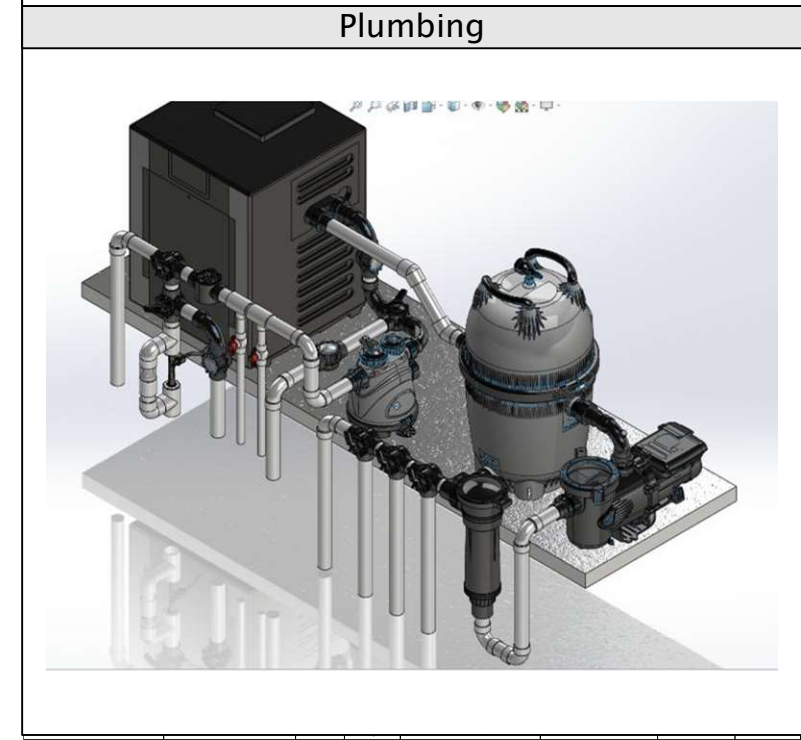
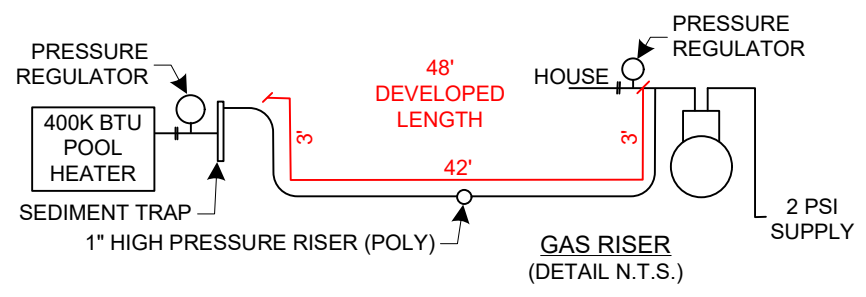
STEP DETAIL: 3' DEPTH  
NOT TO SCALE

ANTHONY & SYLVAN POOLS LEGEND			
Kim,		JOB NO:	2122
Item 13.			
CUSTOMER INFORMATION			
CUSTOMER:	GRETCHEN & ADAM KIM	CUSTOMER:	
ADDRESS:	410 HAZY HILLS LOOP	SUBDIVISION:	
CITY:	DRIPPING SPRINGS	STATE:	TX
ZIP:	78620	COUNTY:	
MR. CELL:	(707) 738-6852	MS. CELL:	
MR. EMAIL:	adamkim555@gmail.com	MS. EMAIL:	



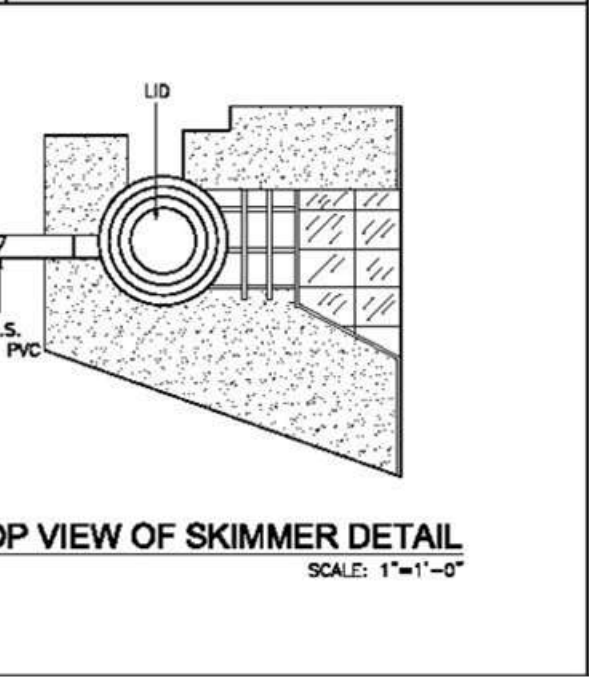
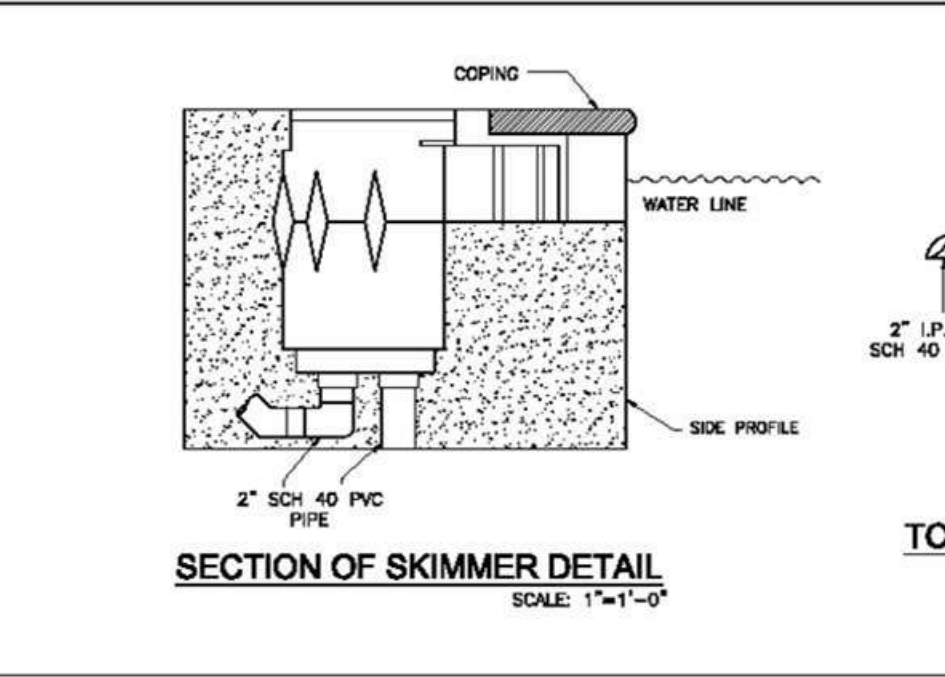
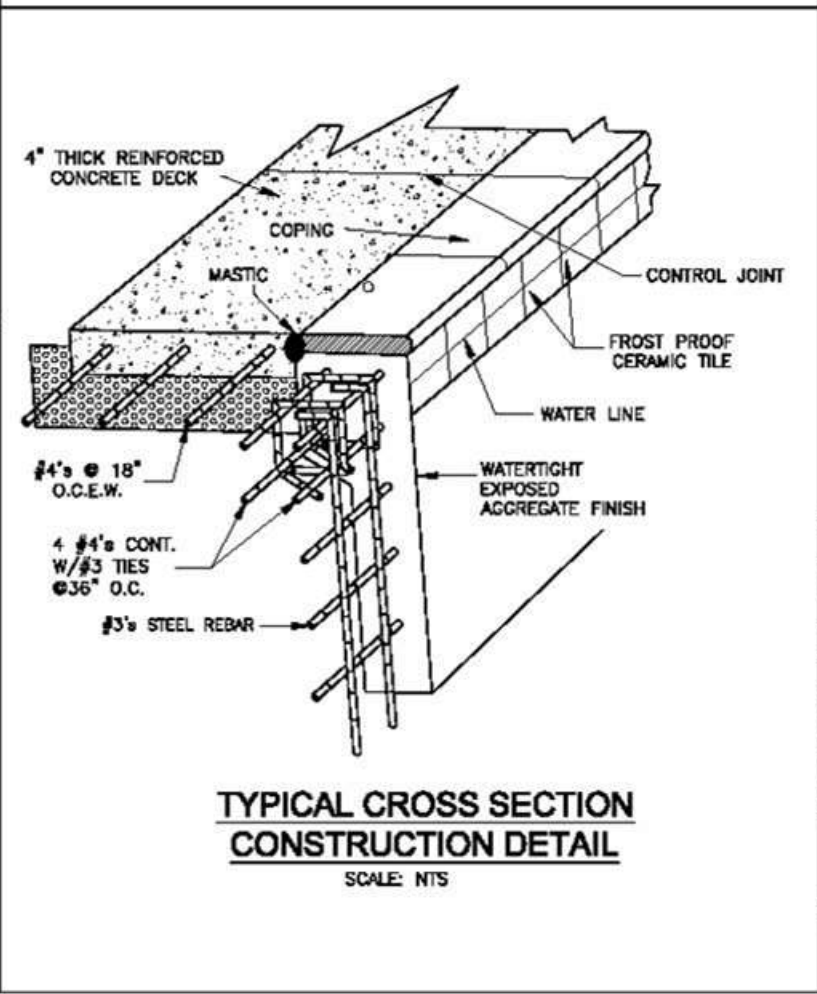
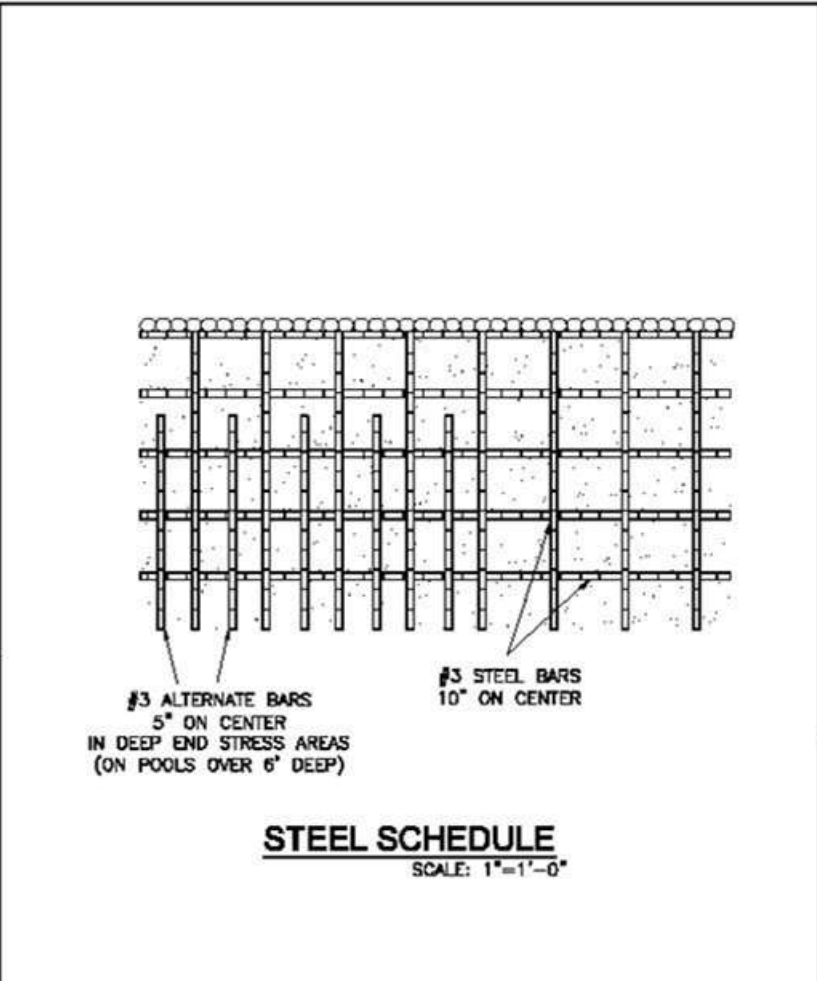
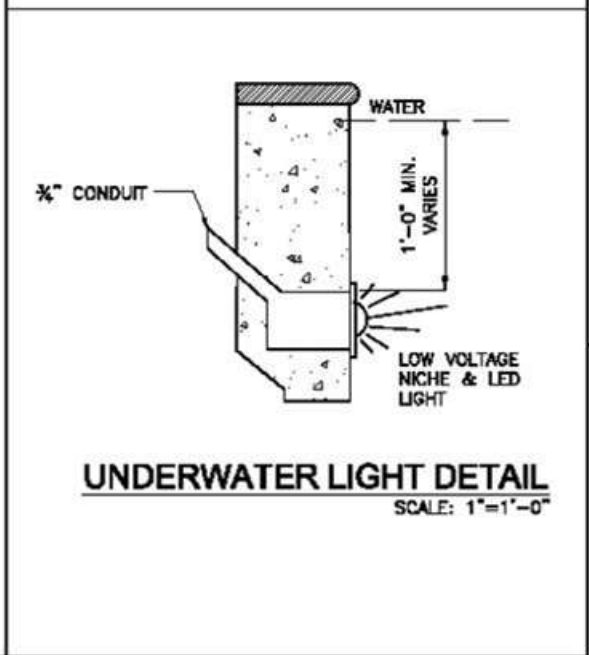
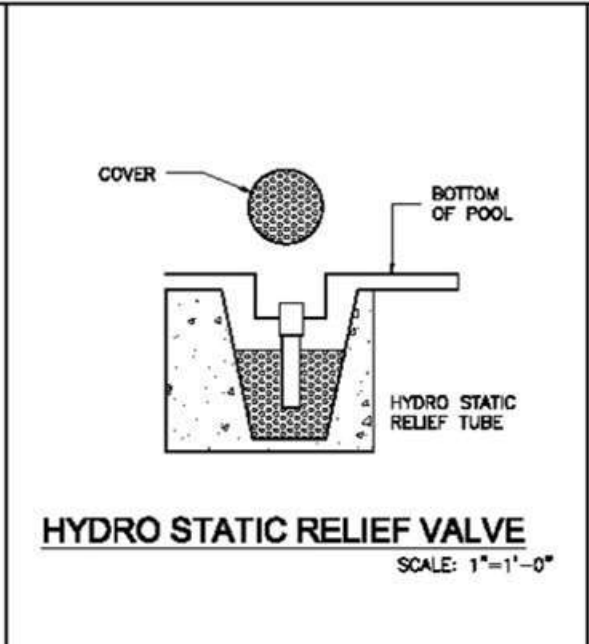
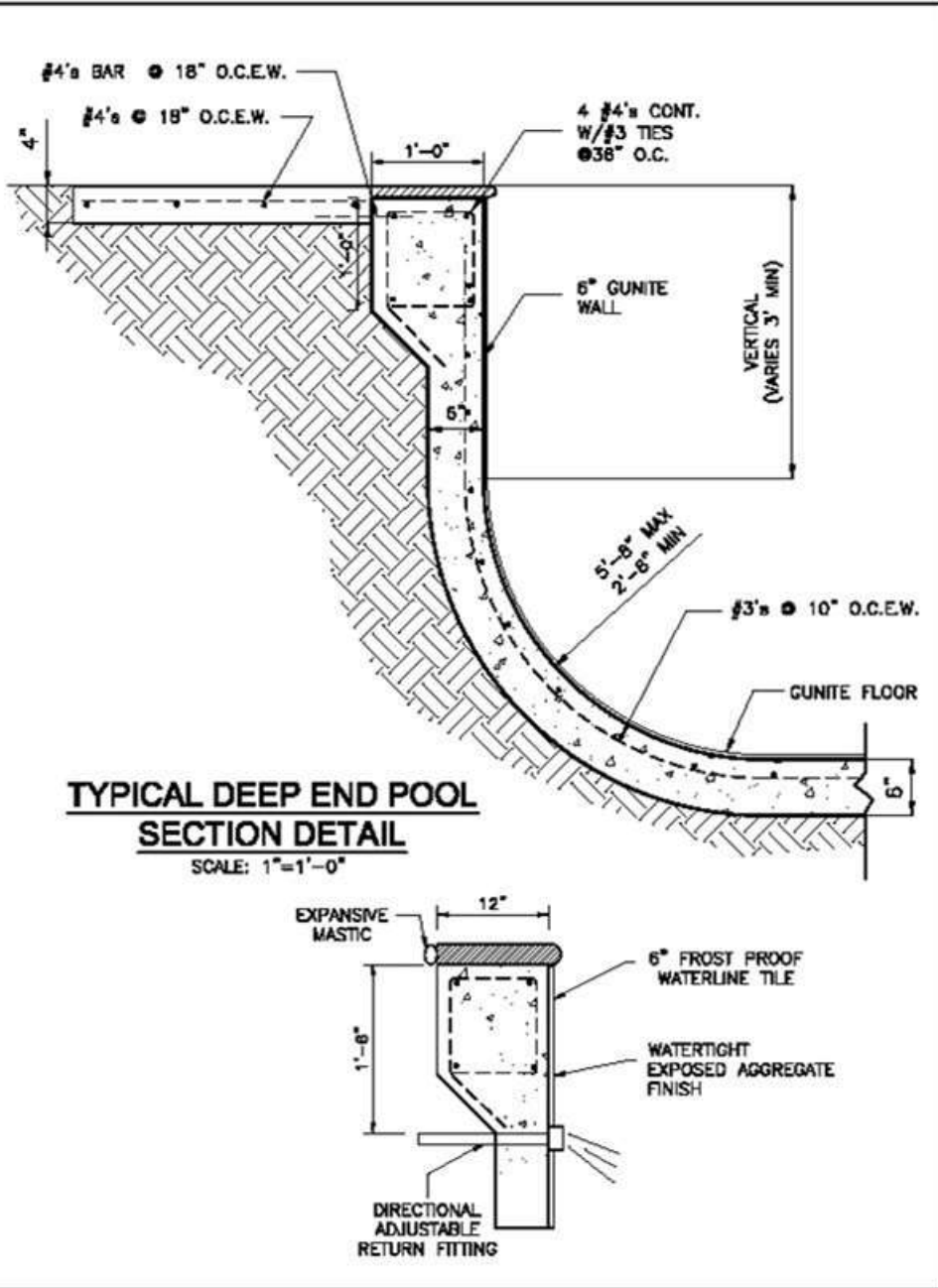
Pool Layout Detail  
LAYOUT TO DIG

DRAWING SCALE: 1/8" = 1' Unless otherwise noted



***NOTE***	NOTE:	REVISIONS	
To be numbered and referred to on Plan via Symbol	T.O.C. = ?	Date	Description
Changes from the agreement are by addendum only, signed by both parties and paid in full at time of affixing signature. No changes will occur prior to signing addendum.		8.30.21	Initial Draft: Scott Reeves

POOL SETBACKS			
REAR:	FT.	EQUIPMENT:	FT.
SIDES:	FT.	FENCE:	FT.
HOUSE:	FT.	OTHER SETBACKS:	FT.
ANTHONY & SYLVAN CO			
DESIGNER:	DAVE ROTHWELL	CELL PHONE NO:	512-917-9151
A&S OFFICE:	AUSTIN	OFFICE PHONE NO:	(512) 258-123
ADDRESS:	13343 HIGHWAY 183 N., AUSTIN, TX 78750	TOWNSHIP:	
GENERAL MANAGER:	DAN BARRETT	OFFICE PHONE NO:	(512) 258-123
PROJECT MANAGER:		CELL PHONE NO:	



**ANTHONY & SYLVAN POOLS**  
**POOL STANDARD DETAILS**

**HOUSTON, TEXAS**

ISSUED / REVISED		
NO.	DATE	DESCRIPTION
1	08/17/2013	FOR PERMIT
2	04/18/14	REVISION #1
3		

JOB NO: 13-210  
 CHECKED BY: JEV  
 DRAWN BY: JL  
 DATE: 04/18/2014  
 SCALE: AS SHOWN

DRAWING TITLE:  
**POOL DETAIL**

DRAWING NO.  
**S-1**

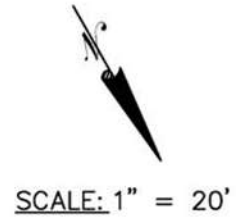
LEGEND	
SYMBOLS	DESCRIPTION
—	BOUNDARY LINE
- - -	EASEMENT LINE
— · —	BUILDING LINE
●	PROPERTY PIN
B.S.L.	BUILDING SETBACK LINE
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.W.	RIGHT OF WAY

**FENCE NOTE:**

DIMENSIONS GIVEN FOR FENCELINE ARE FOR TAKE OFF PURPOSES ONLY AND SHALL NOT BE USED TO LOCATE BUILDING ON LOT.

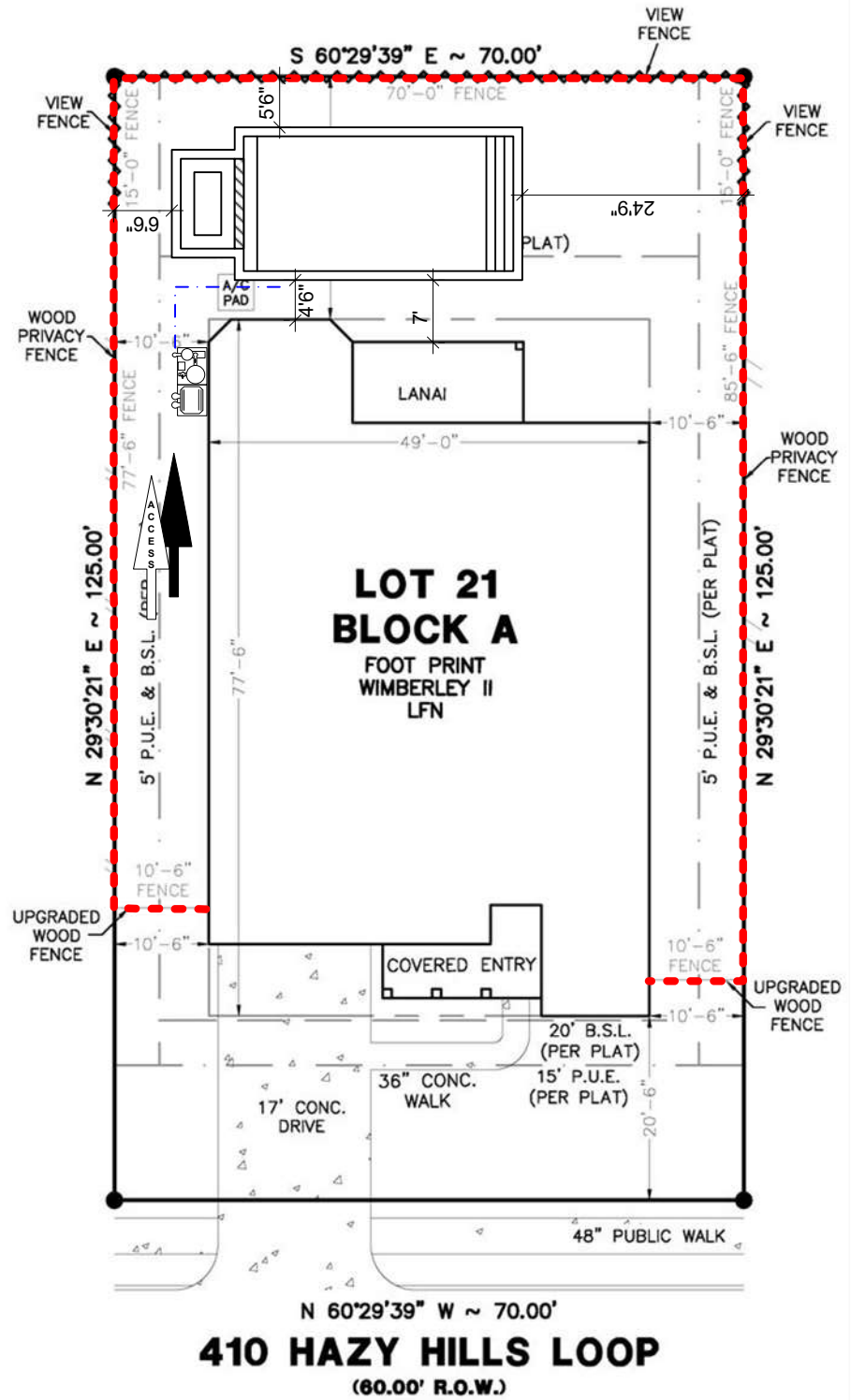
FENCE LENGTH: 284 LINEAR FT. (APPROX.)

**PLOT PLAN**



SOD TABLE:		
Fence Length:	284	linear ft
Front Yard:	138	yrd2
Rear Yard (Approx.):	336	yrd2
Front R.O.W. (Approx.):	32	yrd2
<b>TOTAL SOD:</b>	<b>566</b>	<b>yrd2</b>

FLATWORK AREA:		
Private Walk:	65	ft2
Private Drive:	485	ft2
A/C Pad:	16	ft2
Public Approach:	181	ft2
Public Walk:	212	ft2
<b>TOTAL FLATWORK:</b>	<b>959</b>	<b>ft2 (Approx.)</b>



- SIDEWALKS PER CITY OR SUBDIVISION REQUIREMENTS
  - SIZE, SHAPE, AND LOCATION OF DRIVEWAY TO BE VERIFIED BY BUILDER
- A.T.S. JOB#: 20051129s  
 Path: Projects\DreamFinders\Headwaters1\PlotPlans\PlotPlans\P-021-00A-HW1.dwg

**DREAM FINDERS HOMES**

410 HAZY HILLS LOOP  
 LOT: 21, BLOCK: A  
 HEADWATERS AT BARTON CREEK, PHASE 1  
 HAYS COUNTY, TEXAS

BUILDER SHALL LOCATE AND VERIFY ALL DIMENSIONS, BUILDING SETBACKS, EASEMENTS AND BUILDING PLACEMENTS OR COMPLIANCE WITH ALL ORDINANCES AND RESTRICTIONS, AND SHALL NOTIFY THIS OFFICE OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE ONSET OF CONSTRUCTION. THIS PLOT PLAN HAS BEEN DRAWN BASED ON INFORMATION GIVEN ON THE PLAT PROVIDED BY THE BUILDER AND IS SUBJECT TO ANY AND ALL BUILDING LINES, EASEMENTS AND RESTRICTIONS NOT SHOWN HERE.

**DATE ISSUED**

01/09/2020

**REVISIONS**

NO.	DATE	REASON	BY
1	5/17/2020	FLIPPED PLAN	MP

DRAWN BY: JW  
 CHECKED BY: CB



www.ats-engineers.com  
**Engineers Inspectors & Surveyors**  
 TBPLS Firm Reg. #10126000  
 4910 WEST HWY 290  
 AUSTIN, TEXAS 78735  
 (512) 328-6995  
 FAX: (512) 328-6996

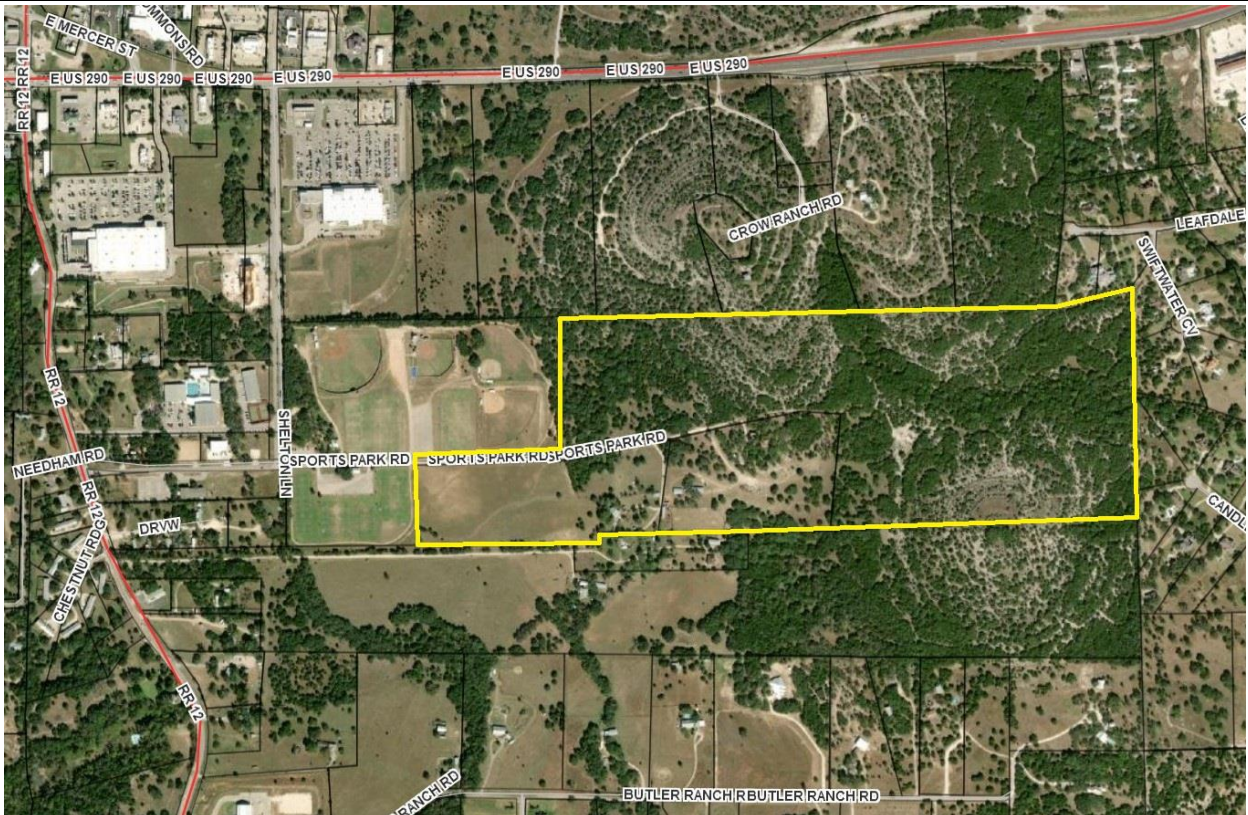


# City of Dripping Springs

511 Mercer Street  
Dripping Springs, Texas 78620

**Agenda Item Report from:** Howard Koontz, Planning Director; Laura Mueller, City Attorney; Leslie Pollack, Transportation Engineer.

<b>Meeting Date:</b>	May 24, 2022
<b>Agenda Item Wording:</b>	Presentation and discussion regarding an ordinance rezoning a property from AG to PDD # 14 with a base zoning of SF-3, SF-5, LR with primarily residential uses with some local retail and governmental uses for property located south of U.S. 290 and east of Rob Shelton Blvd. along Sports Park Road adjacent to the Sports and Recreation Park and commonly known as "Village Grove", directly south and adjacent to Wallace Mountain, and directly west and adjacent to The Preserve subdivision. Applicant: Matthew Scrivener, Austin Land Innovations
<b>Agenda Item Requestor:</b>	Matthew Scrivener, Austin Land Innovations
<b>Applicant:</b>	Matthew Scrivener, Austin Land Innovations
<b>Owner:</b>	Austin Land Innovations
<b>Date of Application:</b>	November 30, 2021
<b>Staff Recommendation</b>	Staff recommends <b>approval</b> as presented; the development of these acres provides needed transportation connections, housing types, parkland, and stormwater improvements.







**Location:**

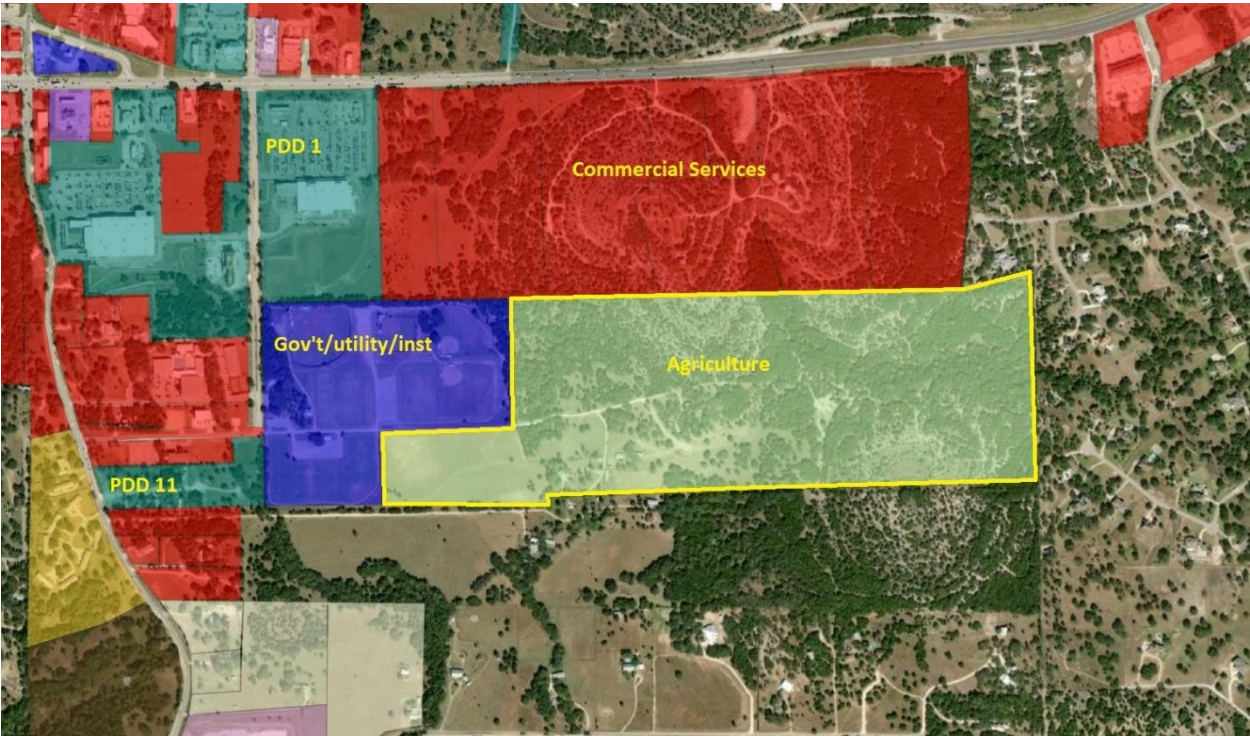
The subject property is generally located at a point between the eastern terminus of Sports Park Road, and south of Wallace Mountain, and west of The Preserve subdivision.

**Physical and Natural Features:**

The property features a landscape usual and typical of the city of Dripping Springs, a well-drained, sandy soil of moderate slopes with a high concentration of surface rocks, sparse ground cover, patches of dense cedars, and in much more limited instances Live Oaks. The property generally saddle-shaped, with its highest elevations to the north and southeast, and predominantly slopes downward toward the southwest and east. Although the 112 acres are situated between two prominent and mostly off-site hilltops, one central in the north and the other to the southeast, neither create much of a steep slope condition along any of the real estate proposed for improvements.

**Surrounding Properties:**

The subject property is within the core of the City of Dripping Springs. The City has seen fast growth in this area of the City and should take various measures to ensure the proper development and compatibility with the surrounding area.

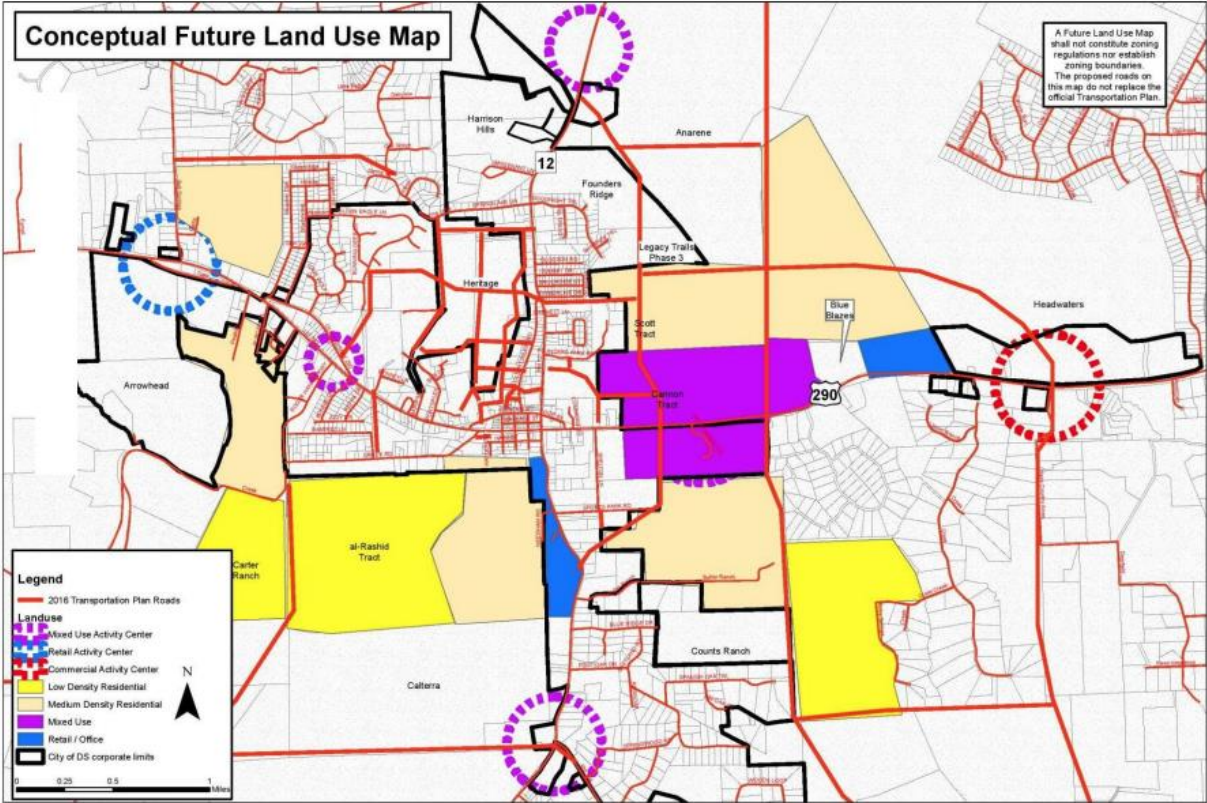


The current zoning, future land use designation, and exiting uses on the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Comprehensive Plan / Future Land Use Plan
North	Commercial Services	Vacant; SFR; Wallace Mountain Cemetery	Mixed Use
East	ETJ (The Preserve subdivision)	SFR	N/A
South	ETJ (Private ranch/large lot residential)	Ranch/Estate SFR	Medium Density Residential
West	GUI	Sports Park	N/A

**Future Land use Map and Zoning Designation:**

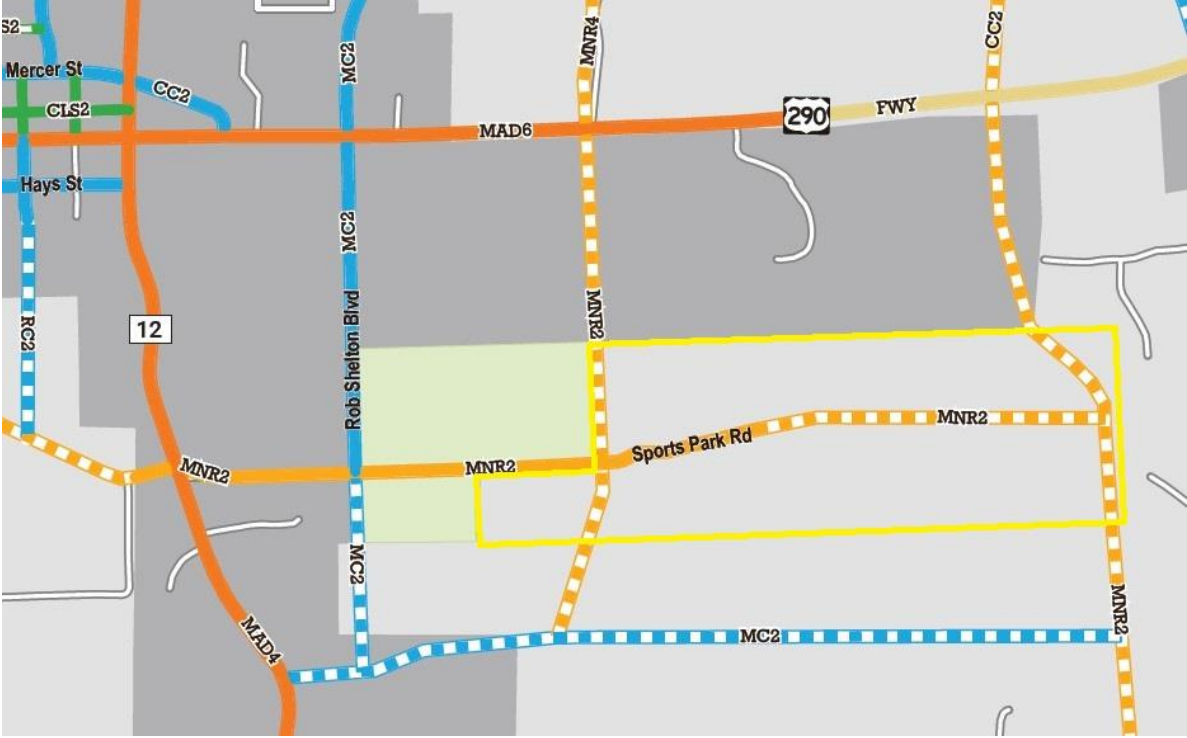
The subject property is designated on the Future Land Use Map as Medium Density Residential. This category includes small lot, single-family homes used for residential uses. A portion of the proposed PDD (7 of the 112 acres) is designated mixed use, which is congruent with the development of the remainder, as the mixed use is directly adjacent to off-site properties assigned to be mixed use, and the Sports Park to the west would function symbiotically with general, high-turnover convenience retail. Lastly, the residents of the PDD would benefit from nearby, convenience retail that would defer trips by automobile onto 290 for immediate goods and services.



The base zoning of Single-family residential—Town center (SF-3) allows for connectivity and access to adjacent neighborhoods and amenities such as parks and nearby retail. The Planned Development districts places regulations that are compatible with the adjacent tracts and allows for a smooth transition for high density (toward the city center) to less intense density (away from RR12 & 290). The provided land plan is designed to have more intense residential lots to the west, near Sports Park and the established retail in and around PDD #1, and less intense residential to the east (towards The Preserve subdivision) and south (ranch and estate residential), in the City’s ETJ.

**Other Master Plans:**

The 2021 Future Transportation Plan shows a proposed east/west vehicular connection through the subject property, effectively extending Sports Park Road to the north/south collector to the east. In the proposed lotting plan, that connection has instead been shifted south, along the southern parent boundary. The reasoning for this adjustment was primarily to keep heavy arterial traffic from driving through the Sports Park which when occupied features a number of pedestrians, but tertiary benefits include better utilization of the lot for development and improvements, and a more direct route for connection to Ranch Road 12.



**Offsite Road Transportation/ Road Improvements:**

The Village Grove Development Team has had on-going conversations with city staff, two meetings before the Development Agreement Working Group, three meetings before the city’s

Transportation Committee, and two meetings with TxDOT to discuss transportation improvements associated with the development. Three alternate connectivity scenarios were considered for the development to align with the city's transportation plan. The final, preferred scenario includes a minor arterial roadway constructed between RM 12, south of the PDD 11 Development, to US 290, aligning with the signalized intersection at Wild Ridge Boulevard. The alignment provides a direct route between RM 12 and US 290 without bisecting the city's Sports & Recreation Park. This roadway will ultimately be a four-lane arterial but is proposed to be initially constructed as a two-lane roadway to meet development demands. Right of Way will be provided for future connectivity to the south on the eastern side of the development, in alignment with the Transportation Master Plan. The traffic signal at RM 12 and Sports Park Road will be relocated to the new arterial and Sports Park Road will become one-way eastbound. The Development will also provide for a future two-lane north/south connection to US 290 and Lone Peak Way, east of Rob Shelton Boulevard and DS Sports & Rec Park, which is also detailed in the city's Transportation Master Plan.

The transportation improvements proposed to be constructed by Village Grove are those that provide additional roadway capacity and much needed relief to the RR 12 & US 290 intersection. These improvements align with the City's transportation priorities. The construction of a four-lane east/west arterial provides needed mobility in this quadrant of the city. A two-lane roadway is needed to meet the traffic demands of the Village Grove development, but ultimately a four-lane roadway is needed for the demands of the entire system area to accommodate future growth. Additional off-site improvements have not yet been determined by the TIA.

### **Wastewater Agreement:**

The Wastewater Utility Agreement for this project is currently under negotiation and will be presented to City Council for approval with PDD. The project will connect to East Interceptor which will be built once all necessary easements are acquired, the TPDES permit is no longer being legally challenged and the South Regional Water Reclamation System has been expanded. Funding for the East Interceptor and the plant expansion has been secured through the Texas Water Development Board. If the developer elects to start the project prior to WW service being available from the city, the current draft of the WWUA allows the developer to apply for a temporary TLAP permit from TCEQ. Pump and Haul will not be permitted.

### **Proposed Zoning District and PDD Development Regulations:**

The Planned Development District is requesting a base zoning district of Single-family residential—Town center (SF-3), Single-family attached residential, Garden Home (SF-5), and Local Retail (LR) intended to promote stable, quality, attached- and detached-occupancy residential development on individual lots at medium densities. Individual ownership of each unit is encouraged. This district provides a "buffer" or transition district between lower density residential areas (to the south and east) and multiple-family or nonresidential areas or major thoroughfares (to the north).

The Planned Development Districts permitted uses are as follows:

<ul style="list-style-type: none"> <li>○ <b>SF-3 Residential areas permitted uses:</b></li> <li>○ <b>Detached, Single Family areas</b> <ul style="list-style-type: none"> <li>▪ Single-Family Dwelling, Detached;</li> <li>▪ Garden Home/Townhome;</li> <li>▪ Accessory Bldg/Structure (Residential);</li> <li>▪ Home Occupation;</li> <li>▪ Swimming Pool, Private; and</li> <li>▪ Those uses listed in the City's zoning ordinance for the SF-3 District or any less intense residential district uses are hereby permitted by right within the Project, and others are designated as requiring a Conditional Use Permit (CUP).</li> </ul> </li> </ul>
<ul style="list-style-type: none"> <li>○ <b>SF-5 Residential permitted uses:</b></li> <li><b>Townhome areas</b> <ul style="list-style-type: none"> <li>▪ Garden (Non-Retail)</li> <li>▪ Accessory Bldg/Structure (Residential)</li> <li>▪ Duplex/Two-Family</li> <li>▪ Garden Home/ Townhome</li> <li>▪ Home Occupation</li> <li>▪ Single- Family Dwelling Detached</li> <li>▪ Swimming Pool, Private</li> <li>▪ Artist Studio</li> <li>▪ Park and /or Playground</li> <li>▪ Tennis Court</li> <li>▪ Water Supply Facility (Private)</li> </ul> </li> </ul>
<p><b>LR Permitted Uses:</b></p> <p><b>Commercial/ Civic Center Area</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Bldg./ Structure (Non- Residential)</li> <li>▪ Garden Home/Townhome</li> <li>▪ Home Occupation</li> <li>▪ Living Quarters on Site with Business</li> <li>▪ Residential Loft</li> <li>▪ Bank</li> <li>▪ Offices, General / Professional</li> <li>▪ Office, Brokerage Services</li> <li>▪ Office, Health Services</li> <li>▪ Office, Legal Services</li> <li>▪ Office, Professional</li> <li>▪ Office, Real Estate Office</li> <li>▪ Insurance Agency Offices</li> <li>▪ Antique Shop</li> </ul>

- Appliance Repair
- Art Dealer/ Gallery
- Artisan's Shop
- Artist Studio w/out living quarters
- Bakery or Confectionary Retail
- Barbershop
- Beauty Shop/Nail Salon
- Bicycle Sales and Repair
- Book Store
- Computer Sales
- Consignment Shop
- Cooking School
- Dance/ Drama/ Music Studio or School
- Drapery, Blind Upholstery Store
- Financial Services
- Florist Shop
- Food or Grocery Store – Limited
- Furniture Store (New and/or Used)
- Garden Shop (Inside Storage)
- Hardware Store
- Locksmith
- Market (Public)
- Mobile food vendor- 10 days or less
- Needlework Shop
- Pet Shop/Supplies (no live animal sales)
- Pharmacy
- Photocopying / Duplicating
- Photography Studio
- Restaurant (No Drive- Through Service)
- Tailor Shop
- Travel Agency
- Civic/ Conference Center
- Health Club
- Museum
- Park and /or Playground
- Community Center (Municipal)
- Fire Station
- Medical Clinic or Office
- Library
- Post Office
- Contractors Office (No Outside Storage)
- Government Building (Municipal, County, State, Federal; No outdoor storage of construction/repair materials, heavy equipment, or service vehicles over ¾ tons)

Uses not specifically listed above are not permitted by right within this zoning district.

**Permitted Uses w/ Conditional Approval**

LR Commercial/ Civic Center Area:

SF-3 Residential:

- Sewage Pumping Station
- Wastewater Treatment Plant

SF-5 Residential:

- Community or Group Home
- Child Day-Care Facility
- Group Day-Care Home
- Home for the Aged, Residential
- Wastewater Treatment Plant
- Contractor’s Temporary On-site Office
- Sewage Pumping Station
- Wastewater Treatment Plant

- Armed Services Recruiting Center
- Bar
- Mobile food vendor- longer than 10 days
- Multi-family dwelling(s)
- Mobile food vendor court
- Studio, Tattoo or Body Piercing
- Temporary Outdoor Sales/ Promotion
- Parking Lot, Commercial
- Parking Structure Commercial
- Day Camp for Children
- Dinner Theater
- Contractor’s temporary On-site Office (After initial building of infrastructure and buildings)
- Sewage Pumping Station
- Water Supply (Elevated Storage Tank)

<b>Development Standards – detached homes</b>		
	<b>Single-family residential— Town center (SF-3)</b>	<b>Planned Development District (SF-3)</b>
<b>Size of Lots</b>		
Minimum Lot area	3,500 square feet	5,000 square feet
Minimum Lot Width	35 feet	50 feet
Minimum Building Width	25 feet	25 feet
<b>Setback Requirements</b>		
Minimum Front Yard	10 feet	10 feet
Minimum Side Yard	5 feet, 7.5 feet	5 feet; 10 feet
Minimum Rear Yard	10 feet	10 feet
Accessory Building	5 feet	5 feet
<b>Height Regulations</b>		
Main Building	2 ½ stories, or 40’	2 ½ stories, or 40’
<b>Other Development Standards</b>		
Impervious Cover	65 %	60% (project-wide)

<b>Development Standards – attached homes</b>		
	<b>Single-family attached residential district (SF-5) garden home</b>	<b>Planned Development District (SF-5)</b>
<b>Size of Lots</b>		
Minimum Lot area	2,500 square feet	Sufficient for structures between
Minimum Lot Width	30 feet	2- and 5-units wide
<b>Setback Requirements</b>		
Minimum Front Yard	15 feet	10 feet
Minimum Side Yard	0 feet/15 feet	5 feet/10 feet
Minimum Rear Yard	20 feet	10 feet
Accessory Building	5 feet	5 feet
<b>Height Regulations</b>		
Main Building	2 ½ stories, or 40’	3 stories, or 50’
<b>Other Development Standards</b>		
Impervious Cover	80 %	60% (project-wide)

**Other development regulations:**

**Commercial (Local Retail):** Regulations will follow the zoning district unless modified later but includes an allowance of up to 55’ in height with City Administrator approval, up from the district maximum of 40’ and/or two stories, whichever is less.

Maximum Height of Fence: Six (6) feet; provided, however, that the Property may have an eight (8) foot maximum height of fence where separating residential lots from adjacent arterial or collector roads. All fences shall provide a finished face to abutting streets and these fences shall not conflict with sight triangles at street intersections or obstruct views from adjacent driveways. No fence shall extend into the front Street Yard, nor shall there be artificial mounding of soil to increase the fence height.

2.4.7 Parking.

- A. Residential Parking. Development of the Property shall include parking at a minimum of two garage spaces per residence and townhouse. There shall be parking along only one side of each internal local street and such side will be the side where there are no fire hydrants. If fire hydrants are on both sides of the street, then parking shall be allowed on only one side and sufficient “no parking” signs or painted curb shall be on either side of the hydrant.
- B. Commercial Parking. Parking shall be provided for the commercial area; the number of parking spaces within the Commercial Area shall be determined in accordance with the City ordinances and the proposed use of the commercial spaces. The total number of parking stalls for the commercial area may be determined by a shared use parking study provided by Owner and accepted by City.

Design of Residences

Design of all buildings shall meet the requirements of the City Exterior Design and Architectural



Standards Ordinance Sec. 24.03 of the City Code of Ordinances, except as specifically provided in the subsections below. Design review and approval process shall be as defined in Sec. 24.03.012.

(a) Single Family Detached Residences. All residences shall consist of 100% Masonry on all elevations. Native Stone, Brick Masonry, Stucco, and Cementitious Siding shall be deemed appropriate materials to satisfy the Masonry requirement. A variety of masonry material is encouraged in the design of each residence.

(i) Elevation Articulation and Enhancement Features. The front elevation of all homes shall contain wall plane articulation. No elevation shall be single wall plane across the entire width of the front elevation of the building. Each front elevation shall contain a minimum of two of the following elements, to be identified on the architectural plans submitted for building permit:

1. A minimum of two wall planes on the front elevation, offset a minimum of 18 inches;
2. Covered front porches or patio with a minimum size of 60 square feet;
3. A side-entry or swing-in garage entry (for garage doors that do not face the front street);
4. A garage door recessed from the primary front facade a minimum of four feet (for garage doors that face the street);
5. Enhanced garage door materials (wood, ornamental metal, decorative door, window inserts and hardware, painted or stained to match house);
6. Shed roof or trellis (at least 18" deep) above garage door for additional architectural detail;
7. A combination of at least two roof types (e.g. hip and gable) or two different roof planes of varying height and/or direction;
8. Two or more masonry finishes to compliment the architectural style of the home; and
9. The addition of one or more dormers on the front elevation to compliment the architectural style of the home.

(ii) Floor Plan Variety. Floorplans will be available in single and two-story housing plans. A minimum of six (6) floorplans will be available, offering a variation of front elevations so that there is no discernable repetition in any street scape. Articulation on the front face should be used to ensure a nonrepetitive streetscene. Where building pads are interrupted by a street or open space lot of at least 50 feet in width, a plan may repeat. A plan can be repeated every third building pad (Example: Plan A 1, Plan B 1, Plan A 1, Plan B 2), although elevations shall be different on the two houses.

(iii) Roof Forms and Treatments. On buildings with pitched roofs, the minimum main roof pitch is 5:12. Lower roof pitches are acceptable on porch elements, awnings or architectural feature elements. Pitched roofs shall be clad in 30-year minimum composition shingles or low reflectivity coated metal roofing materials.

(b) Townhome Residences. All multi-unit-freestanding townhome residence buildings shall consist of 100% Masonry on all elevations. Native Stone, Brick Masonry, Stucco, and Cementitious Siding shall be deemed appropriate materials to satisfy the Masonry requirement. A variety of masonry materials is encouraged in the design of each building.

(i) Townhome Elevations & Enhancements. Street and Greenbelt elevations of all Multi-unit townhome buildings shall comply with the design standards for Elevation Articulation and Enhancement, and Roof Forms & Treatments as defined for Single Family Detached Homes and provided in the subsection above.

(ii) Townhome Building Variety. Multi-unit townhome buildings shall consist of no more than five (5) attached dwelling units. Planning with buildings of a variety of unit mixes is encouraged. Multi-unit townhome buildings consisting of five (5) dwelling units shall not adjoin one another.

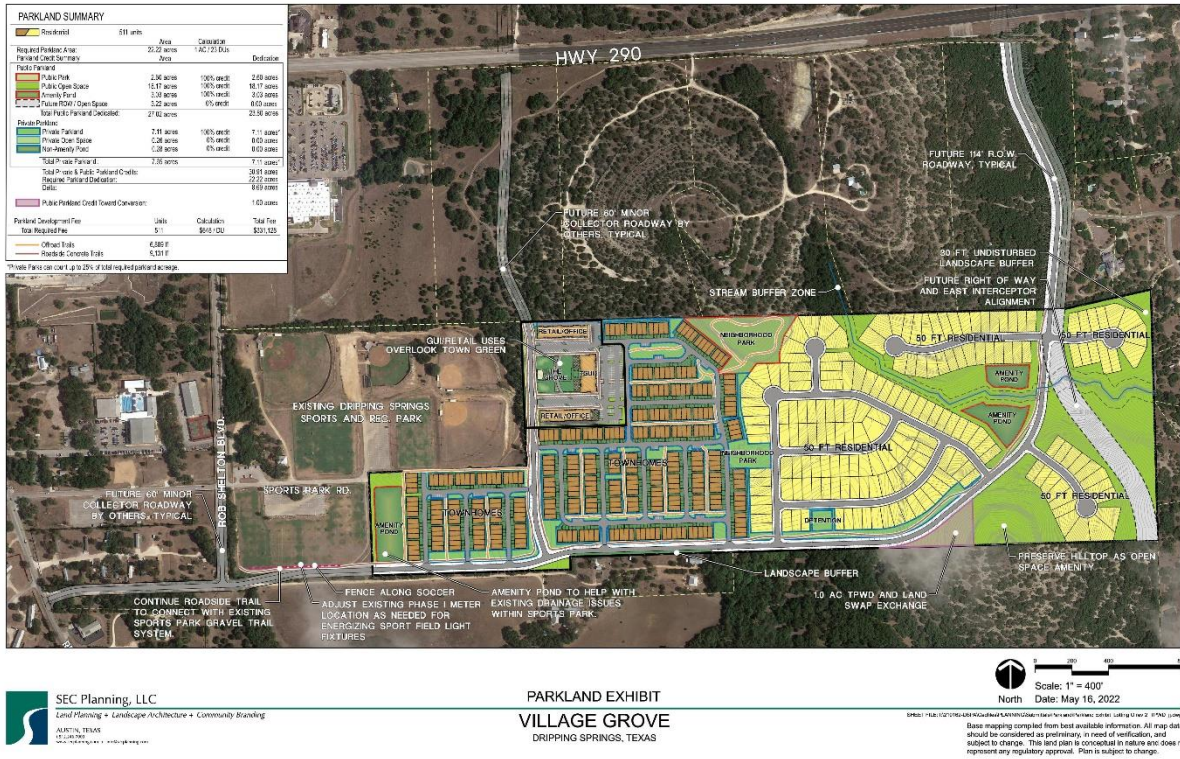
(c) Commercial and Civic Buildings:

(i) Design of all buildings for commercial or civic uses shall meet the requirements of the City Exterior Design and Architectural Standards Ordinance Sec. 24.03 of the City Code of Ordinances.

(ii) Alternative Design Standards for any building type may be developed in order to create unique or enhanced design standards with equivalent or increased aesthetic effect. The considerations and findings for approval and the approval and appeal process for an Alternative Design Standard shall be as provided in Sec. 24.03.007. Such Alternative Design Standards shall incorporate the building material preferences and incentives as defined in Sec. 24.03.053(c)

### **Parkland:**

The Project is required to have 23.09 acres of Parkland. The Project will include approximately 23.9 net acres that will be dedicated for publicly-accessible Parkland. This dedication of the Parkland shall fulfill all parkland dedication requirements of the Project to the City, including, but not limited to the requirements of the Parkland Dedication Ordinance under the City's Code of Ordinances and any applicable requirements within the Subdivision Ordinance. The applicant has prepared a Master Parks and Open Space Plan which has been approved in concept by the City's Parks Board. The actual site development and construction plans for the project's parks will have to be reviewed by staff and affirmed by the Parks Board. Park development fees shall be paid at time of Final Platting. For transportation purposes, a land swap is in process for open space in the development's area for property in Sports and Recreation Park needed for roadway. For more details, see Parks Consultant Brent Luck's memo from the April Parks Board meeting, attached.



**Highlights:**

1. A minor arterial roadway will be built from Ranch Road 12 eastward to US 290. The right of way and the first two lanes will be built as a function of this project; the remaining two lanes will be built at a future date to be determined.
2. The project will feature roughly 31 acres of public and private amenity parkland, programmed for both passive and active recreational opportunities.
3. The 2021 Future Transportation Plan includes necessary off-highway facility improvements, and this project will further the goals of that study with some 5,000 feet of 10-foot wide paved shared use pathways along the arterial spine road.
4. The developer has included seven acres of mixed use acreage that can be programmed with not only a public plaza, but also a civic center that could serve as a future city hall or other community/civic/institutional amenity.
5. The site features 331 attached, single-family residences which is a product type that is a conspicuous minority of dwelling in Dripping Springs. This style of residential architecture and land use provides a break from the homogeneity of detached dwellings and multi-family dwellings, and also can combat the growing challenge of affordability which threatens economic wellness of the community at-large.

**Outstanding Issues Requiring resolution:**

1. Off-site road agreement: primarily details, such as roadway section widths, financial responsibility, incorporating the recommendations of the Traffic Impact Analysis, and incorporating adjacent properties (PDD #11) onto the new minor arterial.

2. Parks: although the concept plan of the layout of the internal parks and the operations and maintenance of the 30+ acres of parkland have been approved by the Parks Board, the specific site planning and construction drawings will need to be reviewed and approved by the Parks Board prior to construction activities beginning; details of the land swap and location of the parkland being consumed for right-of-way, as administered by Texas Parks & Wildlife.
3. Shared use path: details of the location and length of the paved 10-foot shared path need to be monumented in an agreement.
4. Civic site: most of the details of the operations and programming of the 7-acre civic site need to be confirmed amongst the parties with standing.
5. Wastewater agreement: terms and conditions, especially timing, are yet to be determined.
6. Tree installations/replacement: an outstanding issue of tree size at the time of installation, as well as the efficacy of assigning an acceptable season in which the project can be planted, should be agreed upon by all persons involved.

**Evaluation:**

According to Article 30.03.007 (c)(3), the PDD shall be evaluated with respect to the following:

<b>Article 30.03.007 (c)(3)</b>	
a) The plan's compliance with all provisions of the zoning ordinance and other ordinances of the city.	The PDD is in compliance with all provisions of the city's code of ordinances, with the exceptions of the variance amendments requested herein.
b) The impact of the development relating to the preservation of existing natural resources on the site and the impact on the natural resources of the surrounding properties and neighborhood.	The development of the property will consume nearly 112 acres of undeveloped land, which today serves as de facto open space. The developer will offset the loss of these open space acres by retaining roughly 30 acres for active and passive recreation, and further by planting two (2) three-inch caliper trees for every one-family detached residential lot, two (2) three-inch caliper trees for each garden home structure, and 237 2.5-inch caliper trees along the rights of way and commercial areas for a total of 697 newly installed overstory canopy trees. By designing <i>with</i> the primary landforms found on the acreage, as opposed to <i>despite</i> the elevations, the development team has been able to reduce and/or minimize mass grading to the greatest extent possible, so that the natural, pre-development condition of the site can remain as close to intact after construction activities are complete. The city's expectation that grading alterations remain minimal is being monumented in the PDD ordinance language as directed by the city's engineer.
c) The relationship of the development to adjacent uses in terms of harmonious design, facade treatment, setbacks, building materials, maintenance of property values, and any possible negative impacts.	The proposed development is a closely related use to the residential uses adjacent to the east, is mutually beneficial to the institutional uses to the west and furthers the

goals of the future land use map by providing those exact uses called for in the existing comprehensive plan. The development is proposing design standards for the homes consistent with existing city guidelines and projects that have been approved in the city’s immediate past. The standards would require 100% masonry on all residential elevations which include native stone, brick, masonry, stucco, and cementitious siding. The development will also provide variation on the front façade of all residences to ensure a nonrepetitive streetscape.

d) The provision of a safe and efficient vehicular and pedestrian circulation system.

The applicant has worked with staff to ensure safe and efficient vehicular and pedestrian circulation. The development team has had several conversations with City Staff, DAWG (2), Transportation Committee (3), and TxDOT (2) to discuss transportation improvements associated with the development. As stated above, the applicant will be installing an east/west minor arterial connection through the property from RR12 to US Highway 290 that will provide the site with adequate access, and relieve some of the volume that travels through the RR12/US290 intersection. These system improvements are substantially in compliance with the published terms of the city’s Future Transportation Plan, adopted by the Mayor & City Council in October of 2021.

e) The general design and location of off-street parking and loading facilities to ensure that all such spaces are usable and are safely and conveniently arranged.

The parking for residential uses is compatible with the city’s current parking requirements for dwellings. If any of the amenities in the project are to change, parking will be reevaluated by the Development Review Committee (City Planner, City Engineer, City Administrator, Building Official.) Parking metrics, including number of parking spaces, locations, and assigned uses will be finally determined in the joint use agreement associated with the 7-acre mixed use site.

f) The sufficient width and suitable grade and location of streets designed to accommodate prospective traffic and to provide access for firefighting and emergency equipment to buildings.

The applicant is proposing efficient traffic circulation and will be required to comply with fire code in order to provide adequate access to the structures. The transportation plan meets the satisfaction of the city’s transportation committee and furthers the goals and minimum standards of the city’s Transportation Master Plan. Finally, the development of this property, and the associated roadway extension from the northeast corner to US290 creates the opportunity for an additional emergency services access to The Preserve subdivision, off-site to the northeast of this project.

g) The coordination of streets to arrange a convenient system consistent with the transportation plan of the city.

The applicant has worked with staff to ensure that roadway network system within the development is compatible with the city’s recently adopted Transportation Master Plan. The current transportation plan extends a minor, 2-lane arterial from RR12 to US Highway 290, which will be expanded to 4-lanes when conditions warrant. The proposed transportation plan proposes an off-site north/south connection to directly link the 7-acre mixed-use site with US290 at Lone Peak as well. These new thoroughfares will ensure that there is proper safety and adequate circulation for vehicles and pedestrian traffic despite being added to an existing regional system that

	is intermittently at- or over capacity.
h)	The use of landscaping and screening to provide adequate buffers to shield lights, noise, movement, or activities from adjacent properties when necessary, and to complement and integrate the design and location of buildings into the overall site design.
	The applicant is proposing landscape buffer screens for adjacent residential lots to the south and to the east. Within the development the applicant is proposing fencing up to 8 feet in height along any collector or arterials streets to provide a buffer from the adjacent residential lots.
i)	Exterior lighting to ensure safe movement and for security purposes, which shall be arranged so as to minimize glare and reflection upon adjacent properties.
	The development will comply with the city's lighting ordinance.
j)	The location, size, accessibility, and configuration of open space areas to ensure that such areas are suitable for intended recreation and conservation uses
	The applicant presented their Parkland Dedication to the Parks Commission on April 4, 2022. The Parks Commission voted to recommend approval of the Parkland dedication. Once created, site development plans for the construction of the parks in the project will need review and approval by the Parks Commission.
k)	Protection and conservation of soils from erosion by wind or water or from excavation or grading.
	The applicant will be required to conform to all ordinances as well as State regulations regarding conservation and erosion control at the time of development.
l)	Protection and conservation of watercourses and areas subject to flooding.
	There is only a minor water course known to cause stormwater flood issues, and it's an off-site channel that traverses the Sports and Recreation Park soccer fields. The applicant will re-design the previous stormwater facility, and create a new water quality detention pond that will capture not only their own stormwater runoff, but intercept that which is currently causing flood conditions inside the park.
m)	The adequacy of water, drainage, sewerage facilities, solid waste disposal, and other utilities necessary for essential services to residents and occupants.
	The applicant is in the process of negotiating a wastewater and water agreement with the City in order to secure LUEs for the site. Furthermore, the applicant will provide all utilities and facilities required of the development and they will be constructed in accordance with the public improvement plans. The development will also manage drainage, providing stormwater detention and water quality facilities per City and TCEQ regulations.
n)	Consistency with the comprehensive plan.
	The comprehensive plan and future land use plan designates the area as medium density residential which allows for a smaller lot residential development. Though the development is primarily residential it will feature approximately seven acres of mixed use that is harmonious with existing adjacent uses.

<b>Commission Recommendations:</b>	The DAWG's primary concern was the overall plan for traffic circulation, especially in light of the project's adjacency to Sports & Rec Park to the west.
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	<p>The Transportation Committee recommended approval at the April 2022 meeting;</p> <p>The Parks &amp; Recreation Commission recommended approval at their April 4, 2022 meeting; and</p>
<b>Actions by Other Jurisdictions/Entities:</b>	TxDOT has reviewed the drive connections and has agreed to work with the City and Developer on finalizing the connections.
<b>Previous Action:</b>	<p>The City approved a consent to MUD (a financing mechanism) for the project in October of 2021, and formally approved the annexation of the property effective February 2022. Some of the more major highlights from that agreement include:</p> <ul style="list-style-type: none"> <li>• Up to 531 residential units (4.7 units per acre)</li> <li>• 351 single-family townhome and duplex units</li> <li>• Up to 180 50-ft single family units</li> <li>• retail, parkland, and GUI on site</li> <li>• 100% masonry and façade regulations</li> <li>• Approval of 23.9 acres of open space and parkland plus a town green in an up to 6.4 civic site with potential retail uses and including a centrally located park for the residents</li> <li>• Includes easement for roadway to 290 that includes a wastewater easement for the East Interceptor</li> </ul>
<b>Recommended Action:</b>	Staff recommends that the Planning Commission vote to <b>recommend approval</b> of the proposal as submitted.
<b>Alternatives/Options:</b>	Postponement (to a date certain); or deferral of the item back to a contributing Board or Commission; or Recommend denial to City Council.
<b>Budget/Financial Impact:</b>	The City will gain additional property tax, roads, trails, utility infrastructure, an as-yet undetermined amount of civic acreage, a partial park development fee, and various development fees.
<b>Attachments:</b>	<ul style="list-style-type: none"> <li>- Proposed Planned Development District</li> <li>- Exhibits</li> <li>- Staff Report</li> <li>- Public comments</li> </ul>
<b>Related Documents at City Hall:</b>	Zoning Application

<b>Public Notice Process:</b>	Notice for the May 24, 2022 and June 7, 2022 public hearings were published in the newspaper and on the City’s Website.
<b>Public Comments:</b>	Yes, please see the three exhibits attached to this agenda.
<b>Enforcement Issues:</b>	N/A
<b>Comprehensive Plan Element:</b>	This property is listed as Medium Density Residential on the Future Land Use Map.





**DRIPPING SPRINGS**  
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**ZONING/PDD AMENDMENT APPLICATION**

Case Number (staff use only): \_\_\_\_\_

**CONTACT INFORMATION**

PROPERTY OWNER NAME 740 Sports Park, LLC  
STREET ADDRESS 837 Bell Springs Rd.  
CITY Dripping Springs STATE TX ZIP CODE 78620  
PHONE \_\_\_\_\_ EMAIL david@denbowcompany.com

APPLICANT NAME Matthew Scrivener  
COMPANY Dripping Springs Partners, LLC  
STREET ADDRESS 7401 B Hwy 71 West, Suite 160  
CITY Austin STATE TX ZIP CODE 78731  
PHONE 615 405-0225 EMAIL matthew@atxli.com

**REASONS FOR AMENDMENT**

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	740 Sports Park LLC
PROPERTY ADDRESS	740 Sports Park Road
CURRENT LEGAL DESCRIPTION	see Attached
TAX ID#	R18076
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	A9
REQUESTED ZONING/AMENDMENT TO PDD	SF3, SF5, LR, G4I
REASON FOR REQUEST (Attach extra sheet if necessary)	The property has recently been Annexed into the city limits. New zoning classifications are being requested so that the property can be developed with single family residences, retail, office and governments, utility and institutional uses.
INFORMATION ABOUT PROPOSED USES (Attach extra sheet if necessary)	see above

## COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? \*

(See attached agreement).


 YES (REQUIRED)\*  YES (VOLUNTARY)\*  NO\*

\* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see *Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information*).

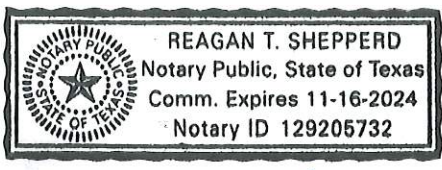
**APPLICANT'S SIGNATURE**

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Matthew Scrivener is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.  
(As recorded in the Hays County Property Deed Records, Vol. \_\_\_\_\_, Pg. \_\_\_\_\_.)

  
\_\_\_\_\_  
Name David Denbow

\_\_\_\_\_  
Title manager

STATE OF TEXAS            §  
  §  
COUNTY OF HAYS         §



This instrument was acknowledged before me on the 15 day of November,  
2021 by David Denbow

  
\_\_\_\_\_  
Notary Public, State of Texas

My Commission Expires: 11-16-2024

Matthew Scrivener  
\_\_\_\_\_  
Name of Applicant

**ZONING AMENDMENT SUBMITTAL**

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal.

Applicant Signature Matthew Scriveran

11-15-21  
Date

**CHECKLIST**

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>When submitting digital files, a cover sheet must be included outlining what digital contents are included.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings ( <i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Planned Development District ( <i>if applicable</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

HAYS COUNTY TAX ASSESSOR - COLLECTOR

Property: R18076    Owner: 740 SPORTS PARK LLC    Property Address: 740 SPORTS PARK RD DRIPPING SPRINGS, TX 78620    Tax Year: 2021    Assessed Value: N/A  
 INACTIVE

2021 GENERAL INFORMATION

Property Status: **Inactive**  
 Property Type: **Real**  
 Legal Description: **ABS 415 PHILIP A SMITH SURVEY 17.0518 AC (1.00 AC HS)**  
 Neighborhood: -  
 Account: **10-0415-0260-00000-4**  
 Map Number: -

2021 OWNER INFORMATION

Owner Name: **740 SPORTS PARK LLC**  
 Owner ID: **00323297**  
 Exemptions: **Agriculture Use**  
 Percent Ownership: **100%**  
 Mailing Address: **837 BELL SPRINGS RD DRIPPING SPRINGS, TX 78620**  
 Agent: -

2020

Tax Statement  Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$2,785.71	3-2-2021	\$2,785.71	\$0.00
Hays County	\$819.92	3-2-2021	\$819.92	\$0.00
Hays County ESD #6-FIRE	\$180.72	3-2-2021	\$180.72	\$0.00
North Hays County ESD #1-EMS	\$62.68	3-2-2021	\$62.68	\$0.00
Special Road Dist	\$60.17	3-2-2021	\$60.17	\$0.00
<b>TOTALS</b>	<b>\$3,909.20</b>		<b>\$3,909.20</b>	<b>\$0.00</b>

TOTAL TAXES DUE	Effective Date:
	11/9/2021
<b>Current Amount Due</b>	\$0.00
<b>Past Years Due</b>	\$0.00
<b>Total Due</b>	\$0.00

2019

Tax Statement  Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$2,558.61	12-20-2019	\$2,558.61	\$0.00
Hays County	\$703.38	12-20-2019	\$703.38	\$0.00
Hays County ESD #6-FIRE	\$159.65	12-20-2019	\$159.65	\$0.00
North Hays County ESD #1-EMS	\$54.12	12-20-2019	\$54.12	\$0.00
Special Road Dist	\$60.98	12-20-2019	\$60.98	\$0.00
<b>TOTALS</b>	<b>\$3,536.74</b>		<b>\$3,536.74</b>	<b>\$0.00</b>

2018

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$1,542.80	12-11-2018	\$1,542.80	\$0.00
Hays County	\$337.26	12-11-2018	\$337.26	\$0.00
Hays County ESD #6-FIRE	\$107.15	12-11-2018	\$107.15	\$0.00
North Hays County ESD #1-EMS	\$40.95	12-11-2018	\$40.95	\$0.00
Special Road Dist	\$37.88	12-11-2018	\$37.88	\$0.00
<b>TOTALS</b>	<b>\$2,066.04</b>		<b>\$2,066.04</b>	<b>\$0.00</b>

2017

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$1,643.28	1-25-2018	\$1,643.28	\$0.00
Hays County	\$513.98	1-25-2018	\$513.98	\$0.00
Hays County ESD #6-FIRE	\$104.76	1-25-2018	\$104.76	\$0.00
North Hays County ESD #1-EMS	\$39.93	1-25-2018	\$39.93	\$0.00
Special Road Dist	\$54.80	1-25-2018	\$54.80	\$0.00
<b>TOTALS</b>	<b>\$2,356.75</b>		<b>\$2,356.75</b>	<b>\$0.00</b>

2016

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$1,531.25	1-19-2017	\$1,531.25	\$0.00
Hays County	\$502.52	1-19-2017	\$502.52	\$0.00
Hays County ESD #6-FIRE	\$99.96	1-19-2017	\$99.96	\$0.00
North Hays County ESD #1-EMS	\$37.72	1-19-2017	\$37.72	\$0.00
Special Road Dist	\$51.57	1-19-2017	\$51.57	\$0.00
<b>TOTALS</b>	<b>\$2,223.02</b>		<b>\$2,223.02</b>	<b>\$0.00</b>

DISCLAIMER

Every effort has been made to offer the most current and correct information possible on these pages. The information included on these pages has been compiled by County staff from a variety of sources, and is subject to change without notice. Hays County Tax Office makes no warranties or representations whatsoever regarding the quality, content, completeness, accuracy or adequacy of such information and data. Hays County Tax Office reserves the right to make changes at any time without notice. Original records may differ from the information on these pages. Verification of information on source documents is recommended. By using this application, you assume all risks arising out of or associated with access to these pages, including but not limited to risks of damage to your computer, peripherals, software and data from any virus, software, file or other cause associated with access to this application. Hays County Tax Office shall not be liable for any damages whatsoever arising out of any cause relating to use of this application, including but not limited to mistakes, omissions, deletions, errors, or defects in any information contained in these pages, or any failure to receive or delay in receiving information.

BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.

**BEGINNING** at an iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

**THENCE**, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704138 OPRHCT.;

**THENCE**, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 859.59 feet to a ½ inch iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 79.0723 acre tract as described in Volume 1128, Page 849 O.P.R.,H.C.T., said point being the beginning of a curve to the left;

**THENCE**, with the north line of the herein described tract, and the south line of said 79.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N81°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N75°43'32"E, for a distance of 441.05 feet to a ½ inch iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.T.H.C.T.;

**THENCE**, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 560.13 feet to a ½ inch iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

**THENCE**, with the lines common to said 5.00 acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch iron rod with cap stamped "AST" set;
3. S88°18'03"W, , at a distance of 150.23 pass a ½ inch iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the **POINT OF BEGINNING** and containing 17.038 acres of land, more or less.



**DRIPPING SPRINGS**  
Texas

City of Dripping Springs

Item 14.

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**ZONING/PDD AMENDMENT APPLICATION**

Case Number (staff use only): \_\_\_\_\_ - \_\_\_\_\_

**CONTACT INFORMATION**

PROPERTY OWNER NAME Clinton Cunningham and Dawn Cunningham  
STREET ADDRESS 840 Sports Park Rd.  
CITY Dripping Springs STATE TX ZIP CODE 78620  
PHONE \_\_\_\_\_ EMAIL \_\_\_\_\_

APPLICANT NAME Matthew Scrivener  
COMPANY Dripping Springs Partners, LLC  
STREET ADDRESS 7401 B Hwy 71 W. Suite 160  
CITY Austin STATE TX ZIP CODE 78735  
PHONE 615 405-0225 EMAIL matthew@axtli.com

**REASONS FOR AMENDMENT**

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN



PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	Clinton Cunningham and Dawn Cunningham
PROPERTY ADDRESS	840 Sports Park Road
CURRENT LEGAL DESCRIPTION	see attached
TAX ID#	R 17837
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	Ag
REQUESTED ZONING/AMENDMENT TO PDD	SF3, SF5, LR, G4I
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	The property has recently been annexed into the city limits. New zoning classifications are being requested so that the property can be developed with single family residences, retail, office and government, utility and institutional uses.
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	See above

**COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? \***

*(See attached agreement).*

YES (REQUIRED)\*  YES (VOLUNTARY)\*  NO\*

\* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*



### ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal.

Applicant Signature Matthew Scireman

11-15-21  
Date

#### CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents  <b>When submitting digital files, a cover sheet must be included outlining what digital contents are included.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings ( <i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i> ).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Planned Development District ( <i>if applicable</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

Item 14.

HAYS COUNTY TAX ASSESSOR - COLLECTOR

Property Owner Property Address Tax Year 2021 CERTIFIED \$3  
 R17837 CUNNINGHAM CLINTON D & DAWN 840 SPORTS PARK RD DRIPPING SPRINGS, TX 78620

2021 GENERAL INFORMATION

Property Status **Active**  
 Property Type **Real**  
 Legal Description **ABS 415 PHILIP A SMITH SURVEY 15.00 AC (1.00 AC HS)**  
 Neighborhood -  
 Account **10-0415-0040-00002-4**  
 Map Number -

2021 OWNER INFORMATION

Owner Name **CUNNINGHAM CLINTON D & DAWN**  
 Owner ID **00136693**  
 Exemptions **Agriculture Use, Homestead**  
 Percent Ownership **100%**  
 Mailing Address **PO BOX 1430 DRIPPING SPRINGS, TX 78620**  
 Agent -

2021

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$4,364.35	-	\$0.00	\$4,364.35
Hays County	\$1,281.33	-	\$0.00	\$1,281.33
Hays County ESD #6-FIRE	\$287.65	-	\$0.00	\$287.65
North Hays County ESD #1-EMS	\$107.42	-	\$0.00	\$107.42
Special Road Dist	\$83.32	-	\$0.00	\$83.32
<b>TOTALS</b>	<b>\$6,124.07</b>		<b>\$0.00</b>	<b>\$6,124.07</b>

TOTAL TAXES DUE	El
	1
<b>Current Amount Due</b>	
<b>Past Years Due</b>	
<b>Total Due</b>	

2020

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$4,147.32	2-9-2021	\$4,147.32	\$0.00
Hays County	\$1,299.16	2-9-2021	\$1,299.16	\$0.00
Hays County ESD #6-FIRE	\$290.68	2-9-2021	\$290.68	\$0.00
North Hays County ESD #1-EMS	\$100.82	2-9-2021	\$100.82	\$0.00
Special Road Dist	\$94.49	2-9-2021	\$94.49	\$0.00
<b>TOTALS</b>	<b>\$5,932.47</b>		<b>\$5,932.47</b>	<b>\$0.00</b>

2019

Tax Statement Details

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$4,228.52	12-18-2019	\$4,228.52	\$0.00
Hays County	\$1,240.43	12-18-2019	\$1,240.43	\$0.00
Hays County ESD #6-FIRE	\$285.98	12-18-2019	\$285.98	\$0.00
North Hays County ESD #1-EMS	\$96.94	12-18-2019	\$96.94	\$0.00
Special Road Dist	\$106.52	12-18-2019	\$106.52	\$0.00
<b>TOTALS</b>	<b>\$5,958.39</b>		<b>\$5,958.39</b>	<b>\$0.00</b>

2018

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$4,236.70	12-17-2018	\$4,236.70	\$0.00
Hays County	\$1,164.75	12-17-2018	\$1,164.75	\$0.00
Hays County ESD #6-FIRE	\$238.43	12-17-2018	\$238.43	\$0.00
North Hays County ESD #1-EMS	\$91.12	12-17-2018	\$91.12	\$0.00
Special Road Dist	\$129.53	12-17-2018	\$129.53	\$0.00
<b>TOTALS</b>	<b>\$5,860.53</b>		<b>\$5,860.53</b>	<b>\$0.00</b>

2017

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$4,118.90	11-13-2017	\$4,118.90	\$0.00
Hays County	\$1,167.41	11-13-2017	\$1,167.41	\$0.00
Hays County ESD #6-FIRE	\$232.94	11-13-2017	\$232.94	\$0.00
North Hays County ESD #1-EMS	\$88.79	11-13-2017	\$88.79	\$0.00
Special Road Dist	\$126.14	11-13-2017	\$126.14	\$0.00
<b>TOTALS</b>	<b>\$5,734.18</b>		<b>\$5,734.18</b>	<b>\$0.00</b>

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Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

May 25, 1989

FIELD NOTES DESCRIBING A 10.00 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO JACK HOWELL BY DEED RECORDED IN VOLUME 753, PAGE 252 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING FOR REFERENCE at an iron pin set at the southwest corner of the above said Jack Howell Tract, said point being situated at the most southerly southeast corner of that certain forty 40.00 acre tract of land conveyed to Dripping Springs Independent School District by deed recorded in Volume 646, Page 731 of the Hays County Deed Records, said point being situated on the north boundary line of a thirty (30) foot wide ingress and egress easement described in a deed of record in Volume 181, Page 171 of the Hays County Deed Records.

THENCE, along the north boundary line of said easement, same being the north boundary line of that certain 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records; S 89°47'00" E for 1077.21 feet to a 60-D nail set in a fence corner post.

THENCE, continuing along the fenced north boundary line of said 90.01 acre tract, same being the south boundary line of said Jack Howell Tract, the following two (2) courses:

1. N 0°16'55" E for 70.42 feet to an iron pin found.
2. S 89°45'13" E for 741.35 feet to an iron pin set for the southwest corner of the herein described tract and being the POINT OF BEGINNING.

THENCE, through the interior of said Howell Tract, N 2°49'06" E for 636.99 feet to an iron pin set on the south boundary line of a proposed sixty (60) foot wide road, said point being situated at the northwest corner of the herein described tract.

THENCE, continuing through the interior of said Howell Tract along the south boundary line of said proposed road, the following three (3) courses:

1. N 77°36'53" E for 224.62 feet to an iron pin set.
2. An arc distance of 182.90 feet along a curve to the right whose elements are: I=15°12'13", R=689.28 feet, T=91.99 feet and whose chord bears N 85°13'00" E for 182.37 feet to an iron pin set.
3. S 87°10'54" E for 238.19 feet to an iron pin set for the northeast corner of the herein described tract.

May 25, 1989  
Re: 10.00 acre tract  
Page 2

THENCE, continuing through the interior of said Howell Tract, S 2°49'06" W for 691.47 feet to an iron pin set on the fenced north boundary line of said 90.01 acre Wesson Tract and being situated at the southeast corner of the herein described tract.

THENCE, along the north boundary line of said 90.01 acre tract and the south boundary line of said Howell Tract, N 89°45'13" W for 636.35 feet to the POINT OF BEGINNING of the herein described tract containing 10.00 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.



Jimmy F. Johnson  
SURVEYOR  
STATE OF MISSOURI  
#4018

Job #1646

Updated

9-3-93

Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

June 14, 1990

FIELD NOTES DESCRIBING A 5,000 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 5,000 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 102.3069 TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 5,000 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY NETES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pin found at the southwest corner of the above described remaining tract, said point being the southeast corner of a 17.0518 acre tract of land conveyed to J. C. and Nora Gardwell by deed recorded in Volume 797, Page 709 of the Hays County Deed Records; said point also situated on the north boundary line of a 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records.


THENCE, along the west boundary line of the above described tract, N 6°12'10" E for 560.25 feet to an iron pin found at the northwest corner of the herein described tract, and being the northeast corner of the 17.0518 acre Gardwell Tract.

THENCE, through the interior of said Main Pass Partner Tract along the south boundary line of a proposed sixty (60) foot wide road N 77°36'53" E for 361.81 feet to an iron pin found at the northeast corner of the herein described tract, same being the northwest corner of a 10.00 acre tract of land conveyed to Gary and Fleola Dousett by deed recorded in Volume 795, Page 872 of the Hays County Deed Records.

THENCE, along the east boundary line of the herein described tract, S 2°49'06" W for 636.99 feet to an iron pin found at the southeast corner of the herein described tract, same being the southwest corner of the above described Dousett Tract, also being situated on the fenced north boundary line of the above described Virginia B. Wesson Tract.

THENCE, along the fenced south boundary line of the herein described tract, same being a fenced portion of the north boundary line of the above described Virginia B. Wesson Tract, N 89°45'13" W for 302.61 feet to the POINT OF BEGINNING of the herein described tract containing 5,000 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Jimmy L. Smith, Surveyor, State of Texas, No. 1334  
Updated 9-3-93

Job #1651

EXHIBIT "D"





City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

**ZONING/PDD AMENDMENT APPLICATION**

Case Number (staff use only): \_\_\_\_\_

**CONTACT INFORMATION**

PROPERTY OWNER NAME Robert MOKHTARIAN c/o Gregg Bell  
STREET ADDRESS 12600 Hill Country Blvd. Suite R-275  
CITY Bee Cave STATE TX ZIP CODE 78738  
PHONE 512 797-0310 EMAIL gbell@bellrealstate.com

APPLICANT NAME Matthew Scrivener  
COMPANY Dripping Springs Partners LLC  
STREET ADDRESS 7401 B Hwy 71 West, Suite 160  
CITY Austin STATE TX ZIP CODE 78735  
PHONE 615 405-0225 EMAIL matthew@atxli.com

**REASONS FOR AMENDMENT**

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	Robert Morkharian
PROPERTY ADDRESS	Sports Park Road
CURRENT LEGAL DESCRIPTION	see attached
TAX ID#	R17835 + R19955
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	A9
REQUESTED ZONING/AMENDMENT TO PDD	SF3, SF5, LR, G4I
REASON FOR REQUEST (Attach extra sheet if necessary)	The property has recently been Annexed into the city limits. New zoning classifications are being requested so that the property can be developed with single family residences, retail, office and government, utility and institutional uses.
INFORMATION ABOUT PROPOSED USES (Attach extra sheet if necessary)	see above

## COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? \*

(See attached agreement).

 YES (REQUIRED)\*  YES (VOLUNTARY)\*  NO\*

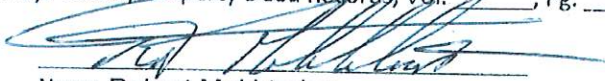
\* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see *Outdoor Lighting tab on the CORDS webpage and online Lighting Ordinance under Code of Ordinances tab for more information*).

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Matthew Scirener is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.

(As recorded in the Hays County Property Deed Records, Vol. \_\_\_\_\_, Pg. \_\_\_\_\_.)



Name Robert Mokhtarian

ROBERT MOKHTARIAN

Title Trustee / Owner



STATE OF TEXAS §  
  §  
COUNTY OF HAYS §

This instrument was acknowledged before me on the 12th day of November,  
2021 by Robert Mokhtarian

A. Valady  
Notary Public, State of ~~Texas~~ California

My Commission Expires: 09-23-2024

See attached  
CA Acknowledgment  
11-12-2021  
A.V.

ROBERT MOKHTARIAN  
Name of Applicant

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

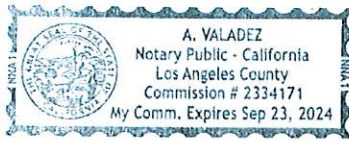
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Los Angeles )  
On 11-12-2021 before me, A. Valadez, Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Robert Mokhtarian  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature A. Valadez  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document Zoning/PDD  
Title or Type of Document: Amendment application Document Date: 11-12-2021  
Number of Pages: 4 Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_  
 Corporate Officer -- Title(s): \_\_\_\_\_  
 Partner --  Limited  General  
 Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_

Signer's Name: \_\_\_\_\_  
 Corporate Officer -- Title(s): \_\_\_\_\_  
 Partner --  Limited  General  
 Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

**ZONING AMENDMENT SUBMITTAL**

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:

Applicant Signature Matthew Scireman

11-15-21  
Date

**CHECKLIST**

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>When submitting digital files, a cover sheet must be included outlining what digital contents are included.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings ( <i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses ( <i>attach extra sheets if necessary</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign ( <i>refer to Fee Schedule</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Planned Development District ( <i>if applicable</i> )
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

HAYS COUNTY TAX ASSESSOR - COLLECTOR

Property - Owner: R17835 MOKHTARIAN ROBERT & MOKHTARIAN EDWA  
 Property Address: SPORTS PARK RD DRIPPING SPRINGS, TX 78620  
 Tax Year: 2021  
 \$2,56

2021 GENERAL INFORMATION

Property Status: **Active**  
 Property Type: **Real**  
 Legal Description: **A0415 PHILIP A SMITH SURVEY, ACRES 61.949**  
 Neighborhood: -  
 Account: **10-0415-0040-00000-4**  
 Map Number: -

2021 OWNER INFORMATION

Owner Name: **MOKHTARIAN ROBERT & MOKHTARIAN EDWA**  
 Owner ID: **00338240**  
 Exemptions:  
 Percent Ownership: **100%**  
 Mailing Address: **MOKHTARIAN ROBERT TRUSTEE % FARIAS JE' CPA 659 W WOODBURY RD ALTADENA, CA 91**  
 Agent: -

2021

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$33,614.96	-	\$0.00	\$33,614.96
Hays County	\$9,309.98	-	\$0.00	\$9,309.98
Hays County ESD #6-FIRE	\$2,060.82	-	\$0.00	\$2,060.82
North Hays County ESD #1-EMS	\$769.63	-	\$0.00	\$769.63
Special Road Dist	\$610.57	-	\$0.00	\$610.57
<b>TOTALS</b>	<b>\$46,365.96</b>		<b>\$0.00</b>	<b>\$46,365.96</b>

TOTAL TAXES DUE	Eff 11
Current Amount Due	
Past Years Due	
Total Due	

2020

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$30,110.32	2-4-2021	\$30,110.32	\$0.00
Hays County	\$8,862.35	2-4-2021	\$8,862.35	\$0.00
Hays County ESD #6-FIRE	\$1,953.38	2-4-2021	\$1,953.38	\$0.00
North Hays County ESD #1-EMS	\$677.55	2-4-2021	\$677.55	\$0.00
Special Road Dist	\$650.45	2-4-2021	\$650.45	\$0.00
<b>TOTALS</b>	<b>\$42,254.05</b>		<b>\$42,254.05</b>	<b>\$0.00</b>

2019

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$29,108.49	1-27-2020	\$29,108.49	\$0.00
Hays County	\$8,002.11	1-27-2020	\$8,002.11	\$0.00
Hays County ESD #6-FIRE	\$1,816.33	1-27-2020	\$1,816.33	\$0.00
North Hays County ESD #1-EMS	\$615.71	1-27-2020	\$615.71	\$0.00
Special Road Dist	\$693.69	1-27-2020	\$693.69	\$0.00
<b>TOTALS</b>	<b>\$40,236.33</b>		<b>\$40,236.33</b>	<b>\$0.00</b>

2018

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$8,146.75	1-2-2019	\$8,146.75	\$0.00
Hays County	\$2,089.75	1-2-2019	\$2,089.75	\$0.00
Hays County ESD #6-FIRE	\$420.74	1-2-2019	\$420.74	\$0.00
North Hays County ESD #1-EMS	\$160.79	1-2-2019	\$160.79	\$0.00
Special Road Dist	\$234.75	1-2-2019	\$234.75	\$0.00
<b>TOTALS</b>	<b>\$11,052.78</b>		<b>\$11,052.78</b>	<b>\$0.00</b>

2017

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$8,139.76	1-9-2018	\$8,139.76	\$0.00
Hays County	\$2,148.47	1-9-2018	\$2,148.47	\$0.00
Hays County ESD #6-FIRE	\$421.45	1-9-2018	\$421.45	\$0.00
North Hays County ESD #1-EMS	\$160.65	1-9-2018	\$160.65	\$0.00
Special Road Dist	\$234.55	1-9-2018	\$234.55	\$0.00
<b>TOTALS</b>	<b>\$11,104.88</b>		<b>\$11,104.88</b>	<b>\$0.00</b>

**DISCLAIMER**

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HAYS COUNTY TAX ASSESSOR - COLLECTOR

Property Owner: R19955 MOKHTARIAN ROBERT & MOKHTARIAN EDWA  
 Property Address: SPORTS PARK RD DRIPPING SPRINGS, TX 78620  
 Tax Year: 2021 As of \$757

2021 GENERAL INFORMATION

Property Status: **Active**  
 Property Type: **Real**  
 Legal Description: **A0693 C H MALLOTT SURVEY, ACRES 18.30**  
 Neighborhood: -  
 Account: **10-0693-0005-00000-4**  
 Map Number: -

2021 OWNER INFORMATION

Owner Name: **MOKHTARIAN ROBERT & MOKHTARIAN EDWA**  
 Owner ID: **O0338240**  
 Exemptions: -  
 Percent Ownership: **100%**  
 Mailing Address: **MOKHTARIAN ROBERT TRUSTEE % FARIAS JET CPA 659 W WOODBURY RD ALTADENA, CA 91710**  
 Agent: -

2021

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$9,929.98	-	\$0.00	\$9,929.98
Hays County	\$2,750.20	-	\$0.00	\$2,750.20
Hays County ESD #6-FIRE	\$608.77	-	\$0.00	\$608.77
North Hays County ESD #1-EMS	\$227.35	-	\$0.00	\$227.35
Special Road Dist	\$180.37	-	\$0.00	\$180.37
<b>TOTALS</b>	<b>\$13,696.67</b>		<b>\$0.00</b>	<b>\$13,696.67</b>

TOTAL TAXES DUE	Effect 11/9/2021
Current Amount Due	\$1
Past Years Due	
<b>Total Due</b>	<b>\$1</b>

2020

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$9,201.48	2-4-2021	\$9,201.48	\$0.00
Hays County	\$2,708.26	2-4-2021	\$2,708.26	\$0.00
Hays County ESD #6-FIRE	\$596.94	2-4-2021	\$596.94	\$0.00
North Hays County ESD #1-EMS	\$207.05	2-4-2021	\$207.05	\$0.00
Special Road Dist	\$198.77	2-4-2021	\$198.77	\$0.00
<b>TOTALS</b>	<b>\$12,912.50</b>		<b>\$12,912.50</b>	<b>\$0.00</b>

2019

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$8,598.73	1-27-2020	\$8,598.73	\$0.00
Hays County	\$2,363.84	1-27-2020	\$2,363.84	\$0.00
Hays County ESD #6-FIRE	\$536.55	1-27-2020	\$536.55	\$0.00
North Hays County ESD #1-EMS	\$181.88	1-27-2020	\$181.88	\$0.00
Special Road Dist	\$204.92	1-27-2020	\$204.92	\$0.00
<b>TOTALS</b>	<b>\$11,885.92</b>		<b>\$11,885.92</b>	<b>\$0.00</b>



2018

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$2,406.62	1-2-2019	\$2,406.62	\$0.00
Hays County	\$617.33	1-2-2019	\$617.33	\$0.00
Hays County ESD #6-FIRE	\$124.29	1-2-2019	\$124.29	\$0.00
North Hays County ESD #1-EMS	\$47.50	1-2-2019	\$47.50	\$0.00
Special Road Dist	\$69.35	1-2-2019	\$69.35	\$0.00
<b>TOTALS</b>	<b>\$3,265.09</b>		<b>\$3,265.09</b>	<b>\$0.00</b>

2017

[Tax Statement](#) [Details](#)

TAXING ENTITY	TOTAL TAXES DUE	DATE PAID	AMOUNT PAID	BALANCE
Dripping Springs ISD	\$2,404.49	1-9-2018	\$2,404.49	\$0.00
Hays County	\$634.65	1-9-2018	\$634.65	\$0.00
Hays County ESD #6-FIRE	\$124.50	1-9-2018	\$124.50	\$0.00
North Hays County ESD #1-EMS	\$47.46	1-9-2018	\$47.46	\$0.00
Special Road Dist	\$69.29	1-9-2018	\$69.29	\$0.00
<b>TOTALS</b>	<b>\$3,280.39</b>		<b>\$3,280.39</b>	<b>\$0.00</b>

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FIELD NOTES DESCRIBING A 79.0723 ACRE TRACT OF LAND OUT OF THE P.A. SMITH LEAGUE SURVEY, THE G.H. MALOTT SURVEY AND THE BENJAMIN F. MIMS SURVEY NO. 8 IN HAYS COUNTY, TEXAS, SAID 79.0723 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 85.2757 ACRE TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE HAYS COUNTY, TEXAS DEED RECORDS, SAID 79.0723 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING at an iron pin found at the Northeast corner of that certain 40.00 acre tract of land conveyed to Dripping Springs Independent School District by Deed Recorded in Volume 646, Page 731 of the Hays County, Texas Deed Records, said point being situated at the most Northerly Northwest corner of said 85.2757 acre tract.

THENCE, along the fenced North boundary line of said 85.2757 acre tract, same being the South boundary line of that certain tract of land conveyed to Robert F. Shelton by deed recorded in Volume 143, Page 16 of the Hays County, Texas Deed Records, the following three (3) courses:

1. S 89°27'58" E for 465.05 feet to an iron pin found.
2. S 89°29'16" E for 2496.82 feet to a 60#D' nail found.
3. N 79°12'52" E for 480.33 feet to an iron pin found on the West boundary line of that certain 423.54 acre tract of land conveyed to B.T. Gowden by deed recorded in Volume 827, Page 81 of the Hays County, Texas Deed Records, same being the Northeast corner of the herein described tract.

THENCE, along the fenced West boundary line of said 423.54 acre tract, S 0° 20'06" W for 1362.07 feet to an iron pin found at the Northeast corner of that certain 82.02 acre tract of land conveyed to Lidia Crabb, Trustee, by deed recorded in Volume 367, Page 294 of the Hays County, Texas Deed Records, same being the Southeast corner of the herein described tract.

THENCE, along the fenced North boundary line of said 82.02 acre tract, N 89°45'13" W for 1821.90 feet to an iron pin found at the Southeast corner of that certain 10.00 acre tract of land conveyed to Gary and Fiola Doucet by deed recorded in Volume 795, Page 782 of the Hays County, Texas Deed Records.

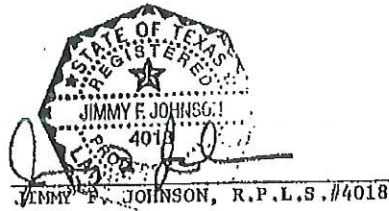
THENCE, along the East boundary line of said 10.00 acre tract, N 2°49'06" E for 691.47 feet to an iron pin found on the South boundary line of a proposed sixty (60) foot wide street.

THENCE, along the South boundary line of said proposed sixty foot wide street the following five (5) courses:

1. N 87°10'54" W for 238.19 feet to an iron pin found.
2. An arc distance of 182.90 feet along a curve to the left whose elements are: I = 15°12'13", R = 689.28', T = 91.99', and whose chord bears S 85°13'00" W for 182.37 feet to an iron pin found.
3. S 77°36'53" W for 1026.64 feet to an iron pin found.
4. An arc distance of 120.16 feet along a curve to the right whose total elements are: I = 12°02'49", R = 1007.77', T = 106.33', and whose subchord bears S 81°01'50" W for 120.09 feet to an iron pin found.
5. An arc distance of 91.72 feet along a curve to the right whose elements are: I = 5°12'53", R = 1007.77', T = 45.89' and whose chord bears S 87°03'15" W for 91.69 feet to an iron pin found.

THENCE, along the East boundary line of said 40.00 acre Dripping Springs Independent School District Tract; N 0°20'18" W for 847.82 feet to the POINT OF BEGINNING of the herein described tract containing 79.0723 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.



FIELDNOTE DESCRIPTION

DESCRIPTION OF A STRIP OF LAND, 60-FEET (60') IN WIDTH, TOTALING 1.18 ACRES IN THE PHILIP A SMITH LEAGUE SURVEY NO. 28, A-415, IN HAYS COUNTY, TEXAS, BEING THE REMAINING PORTION OF THAT CALLED 86.2767 ACRE TRACT DESCRIBED IN THE WARRANTY DEED TO MAIN PASS PARTNERS, LTD., OF RECORD IN VOLUME 766, PAGE 606, REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS (RPRHCT), LESS THAT CALLED 79.0723 ACRE TRACT SEVERED FROM SAID 86.2767 ACRE TRACT AND DESCRIBED IN THE WARRANTY DEED WITH VENDOR'S LIEN TO ROBERT MOKHTARIAN, ET ALIA, OF RECORD IN VOLUME 1128, PAGE 849, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS; SAID 1.18 ACRE STRIP OF LAND, AS SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Bearing Basis: Grid Bearings of the Texas Coordinate System of 1983, Texas South Central Zone (4204), US Survey Feet, Reference Frame: NAD\_83(2011)(Epoch:2010.0000); Combined Scale Factor: 0.99992022; Mapping Angle: 0° 27' 07". Distances cited herein are surface.

COMMENCING for reference at iron rod with cap stamped "KC ENG" found on the north line of a 30' wide Ingress & Egress Easement described in Volume 181, Page 171, Deed Records Hays County, Texas (DRHCT), being the most southerly southeast corner of a called 40.00 acre tract described in the General Warranty Deed to The City of Dripping Springs, of record in Volume 1482, Page 871, OPRHCT, same being the southwest corner of that called 17.0518 acre described in the Warranty Deed with Vendor's Lien to Jean-Claude Cardwell, and wife, Mara Cardwell, of record in Volume 797, Page 709, RPRHCT;

THENCE N 02° 13' 09" W, with the east line of said 40.00 acre tract, the following three (3) courses and distances:

- 1) N 02° 13' 09" W, with the west line of said 17.0518 acre tract, 498.64 feet to a 1/4-inch iron rod found for the northwest corner of said 17.0518 acre tract, same being the westerly southwest corner of said 86.2767 acre tract, and POINT OF BEGINNING herein;
- 2) N 02° 13' 09" W, 60.00 feet to a 1/4-inch iron rod found for a southeast reentrant corner of said 40.00 acre tract, and a most westerly northwest easient corner of said 86.2767 acre tract and herein, and
- 3) N 87° 48' 51" E, 859.70 feet to a 1/4-inch iron rod found on the west line of said 79.0723 acre tract, and being the northeast corner herein; and from which point, a 1/4-inch iron rod found for the northeast corner of said 40.00 acre tract, and the northwest corner of said 79.0723 acre tract bears N 02° 13' 09" W, 786.07 feet;

THENCE S 02° 13' 09" E, crossing said 86.2767 acre tract with said west line of 79.0723 acre tract, 60.00 feet to a 1/4-inch iron rod found on the south line of said 86.2767 acre tract, same being the north line of said 17.0518 acre tract, for a southwest corner of said 79.0723 acre tract and southeast corner herein;

THENCE S 07° 48' 51" W, with the south line of said remainder tract, and north line of said 17.0518 acre tract, 859.70 feet to the POINT OF BEGINNING containing 1.18 acres of land, more or less, within these metes and bounds.

This description accompanied by Staudt Surveying, Inc. Boundary Survey 17077-01.dwg

Surveyed by: Staudt Surveying, Inc.  
P.O. Box 1273  
18740 Fitzhugh Road, Ste. 102  
Dripping Springs, Texas 78620  
512-868-2236  
Firm Registration No.: 10081700



Bryan D. Newsome 18 November 2017  
Bryan D. Newsome Registered Professional Land Surveyor No. 5657 Date

Received on/by: \_\_\_\_\_

Project Number: \_\_\_\_\_

Only filled out by staff



DRIPPING SPRINGS  
Texas

**BILLING CONTACT FORM**

Project Name: Village Grove

Project Address: Sports Park Rd.

Project Applicant Name: Matthew Scrivener

**Billing Contact Information**

Name: Matthew Scrivener

Mailing Address: 7401B Hwy 71 W, Suite, Suite 160,  
Austin, TX 78735

Email: matthew@atxLi.com Phone Number: 615 405-0225

Type of Project/Application (check all that apply):

- Alternative Standard
- Certificate of Appropriateness
- Conditional Use Permit
- Development Agreement
- Exterior Design
- Landscape Plan
- Lighting Plan
- Site Development Permit
- Special Exception
- Street Closure Permit
- Subdivision
- Waiver
- Wastewater Service
- Variance
- Zoning
- Other \_\_\_\_\_

*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. Please see the online Master Fee Schedule for more details. By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

Matthew Scrivener  
Signature of Applicant

11.10.21  
Date

Received on/by:

Date, initials



**LIGHTING ORDINANCE COMPLIANCE AGREEMENT**

Property Address: 840 Sports Park Rd, 740 Sports Park Rd. and

Commercial

Residential

SPORTS PARK RD.

Applicant's Name (and Business Name, if Applicable):

Dripping Springs Partners. LLC

Applicant's Address: 7401 B Hwy 71 W, Ste 160 Austin, TX 78735

Applicant's Email: matthew@axtl.com

VOLUNTARY COMPLIANCE with mitigation conditions:

**MANDATORY COMPLIANCE:**

**IF APPLYING FOR:**

- Conditional Use Permit
- Zoning Amendment Application
- Subdivision Approval
- Building Permit

- Site Development Permit
- Sign Permit
- Alcoholic Beverage Permit
- Food Establishment Permit
- On-Site Sewage Facility Permit

By applying for a Conditional Use Permit, Zoning Amendment Application, Subdivision Approval, or Building Permit for a major addition, all existing outdoor lighting shall be brought into conformance with the City of Dripping Spring's Lighting Ordinance (see Ch. 24, Sec 1, 24.06.005 in CODS Code of Ord.) before final inspection, issuance of a certificate of occupancy, or final plot recordation.

Applicants receiving a permit for: Site Development, Sign Permit for externally or internally-illuminated outdoor sign, initial Alcoholic Beverage Permit, initial Food Establishment Permit, and On-Site Sewage Facility Permit shall have a maximum of 90 days from permit issuance to conform with the City of Dripping Spring's Lighting Ordinance (see Ch. 24, Sec 1, 24.06.005 in CODS Code of Ord.).

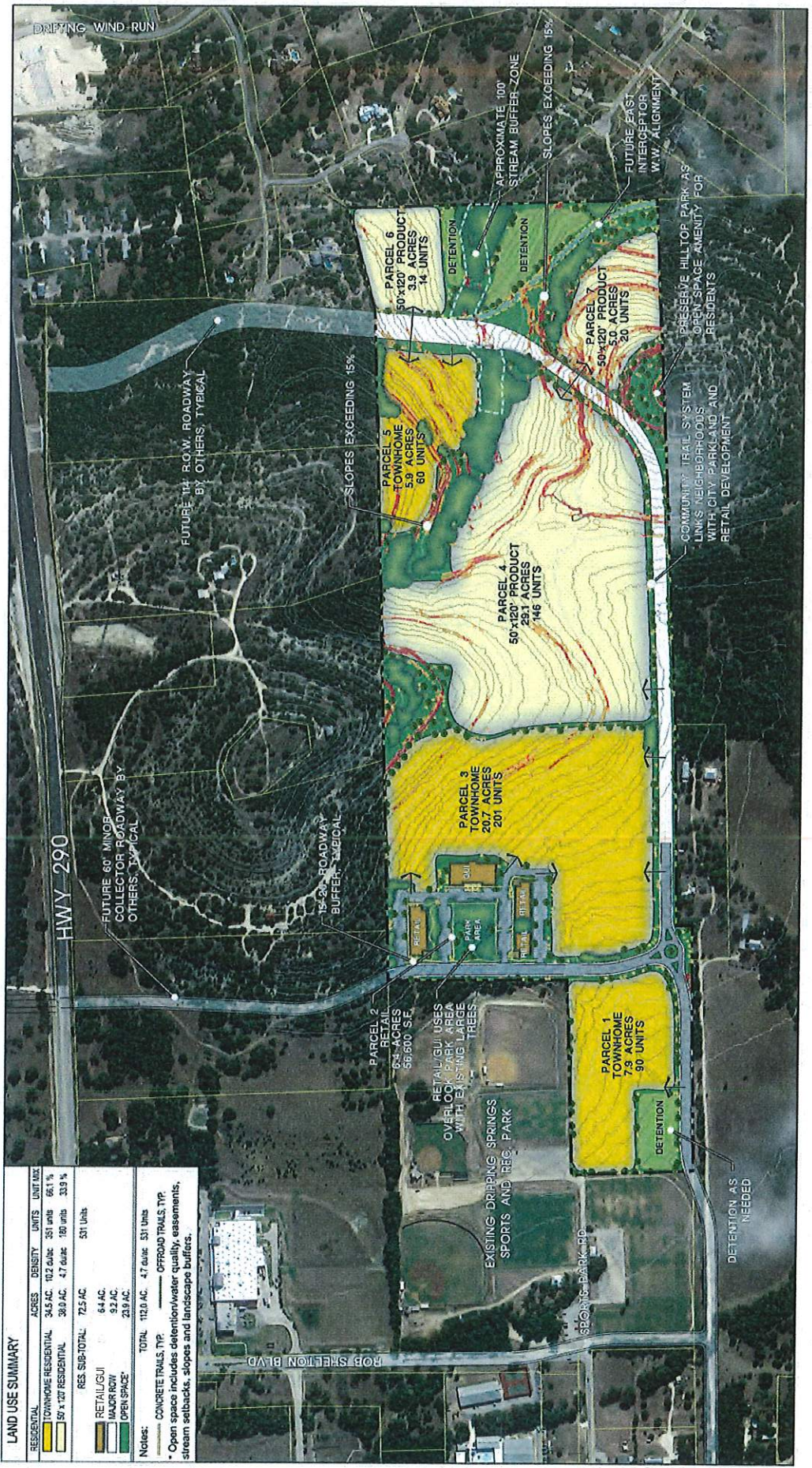
-If existing lighting is nonconforming, plans for bringing the lighting into conformance are required to be attached to this agreement.

-If existing lighting is already in conformity with the lighting ordinance, photos of all on-site lighting are required to be attached to this agreement for verification.

By signing below, I acknowledge that I have read and agreed to these terms and conditions and accept responsibility for conforming to the above stated ordinance specifications:

  
Signature

11-15-21  
Date



**LAND USE SUMMARY**

RESIDENTIAL	ACRES	DENSITY	UNITS	UNIT MIX
TOWNHOME RESIDENTIAL	34.5 AC	10.2 dw/AC	351 UNITS	66.1 %
50' x 120' RESIDENTIAL	30.0 AC	4.7 dw/AC	141 UNITS	33.9 %
<b>RES. SUB-TOTAL:</b>	<b>72.5 AC</b>		<b>511 UNITS</b>	
RETAIL/GUI	64 AC			
MAJOR ROW	92 AC			
OPEN SPACE*	23.9 AC			
<b>TOTAL:</b>	<b>152.8 AC</b>	<b>4.7 dw/AC</b>	<b>511 UNITS</b>	

**NOTES:**  
 CONCRETE TRAILS, TYP. — OFFROAD TRAILS, TYP.  
 \* Open space includes detention/water quality easements, stream setbacks, slopes and landscape buffers.

Scale: 1" = 400'  
 Date: August 06, 2021  
 North  
 SHEET FILE: \\2020\08\06\GIS\PLANS\MOKTARIAN\CONCEPTING

**CONCEPT**  
**MOKTARIAN TRACT**  
 DRIPPING SPRINGS, TEXAS

**SEC Planning, LLC**  
 Land Planning + Landscape Architecture + Community Branding  
 AUSTIN, TEXAS  
 1102.243.3400  
 www.secplanning.com • info@secplanning.com

Base mapping compiled from best available information. All map data was verified in the field. The information is preliminary and subject to change. This land plan is not a warranty, does not represent any regulatory approval. Plans are subject to change.

RGB

Draft C

November 15, 2021

**PLANNED DEVELOPMENT DISTRICT No. \_\_\_\_:**  
**Village Grove**

Planned Development District Ordinance  
Approved by the Planning & Zoning Commission on:  
\_\_\_\_\_, 2021  
Approved by the City Council on:  
\_\_\_\_\_, 2021



**THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE** (“Ordinance”) is enacted pursuant to City of Dripping Springs Code of Ordinances, Article 30.3.

**WHEREAS**, the Owner is the owner of certain real property consisting of approximately 112 acres located within the City Limits of the City of Dripping Springs (“City”), in Hays County, Texas, commonly known as “Village Grove” and as more particularly identified and described in *Exhibit “A”* (the “Property”) to *Attachment “A”*; and

**WHEREAS**, the Property will be subdivided and developed by Owner, its affiliates or their successors and assigns, for construction and use in general accordance with the PD Master Plan shown as *Exhibit “B”* to *Attachment “A”*; and

**WHEREAS**, the Owner, its affiliates or their successors and assigns intends to develop a master-planned community that will include a mix of land uses, together with parkland and roadway connections described herein;

**WHEREAS**, The City has approved the applications for annexation of the Property into the City as well as the Agreement Concerning Creation and Operation of Dripping Springs Municipal Utility District No. 1 (the “MUD Consent”);

**WHEREAS**, the Owner has submitted an application to the City to rezone the Property to Planned Development District (“PDD”), designating it “PDD – \_\_\_”; and

**WHEREAS**, after public notice, the Planning and Zoning Commission conducted a public hearing and recommended approval on \_\_\_\_\_, 2021; and

**WHEREAS**, pursuant to the City’s Planned Development Districts Ordinance, Article 30.03 of the City’s Code of Ordinances (the “PD Ordinance”), the Owner has submitted a PD Master Plan that conceptually describes the Project, which is attached to this Ordinance as *Exhibit “B”* to *Attachment “A”*; and

**WHEREAS**, this Ordinance, PD Master Plan, and the Code of Ordinances shall be read in harmony, will be applicable to the Property, and will guide development of the Property; and

**WHEREAS**, the City Council has approved the annexation of the Property, this proposed Ordinance, the PD Master Plan, and the Annexation and Development Agreement for Village Grove and has determined that it promotes the health, safety, and general welfare of the citizens of Dripping Springs; complies with the intent of the City of Dripping Springs Comprehensive Plan; and is necessary in light of changes in the neighborhood; and

**WHEREAS**, the City Council finds that this proposed Ordinance ensures the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes under Code §30.03.004: provides for a superior design of lots or buildings; provides for

increased recreation and/or open space opportunities for public use; provides amenities or features that would be of special benefit to the property users or community; protects or preserves natural amenities and environmental assets such as trees, creeks, ponds, floodplains, slopes, hills, viewscapes, and wildlife habitats; protects or preserves existing historical buildings, structures, features or places; provides an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services; and meets or exceeds the present standards of this article;

**WHEREAS,** the City Council is authorized to adopt this Ordinance in accordance with Texas Local Government Code Chapters 51 and 211; and

**WHEREAS,** the Ordinance has been subject to public notices and public hearings and has been reviewed and approved by the City’s Planning and Zoning Commission.

**NOW, THEREFORE, BE IT ORDAINED by the City Council of Dripping Springs:**

**1. FINDINGS OF FACT**

The City Council finds that the facts and matters in the foregoing recitals are true and correct; and, are hereby incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

**2. ENACTMENT**

- A. Zoning District Created.** PDD – \_\_\_ is hereby established consistent with *Attachment “A,”* which is attached hereto and incorporated into this Ordinance for all intents and purposes. Code of Ordinances Chapter 30, Exhibit A [Zoning Ordinance], § 3.1 [Zoning Districts] is hereby amended to add the zoning district identified as PDD – \_\_\_.
- B. Zoning Map Amended.** The official zoning map of the City is hereby amended to demarcate the boundaries of PDD – \_\_\_ consistently with the boundaries of the Property delineated in the Property Legal Description, *Exhibit “A”* to *Attachment “A”*.
- C. PD Master Plan Approved.** The PD Master Plan attached as *Exhibit “B”* to *Attachment “A”* is hereby approved. The PD Master Plan, together with *Attachment “A”*, constitutes the zoning regulations for the Project. All construction, land use and development of the Property must substantially conform to the terms and conditions set forth in the PD Master Plan, this Ordinance, *Attachment “A”* and the exhibits. The PD Master Plan is intended to serve as a guide to illustrate the general vision and design concepts. The PD Master Plan is to serve as the conceptual basis for the site plan(s) subsequently submitted to the City seeking site development permit approval. This approval shall not be interpreted as approval of a variance, utility sources, or other site plan or plat requirements without specific reference in the ordinance or variance chart, or in future approvals.

- D. Administrative Approval of Minor Modifications.** In order to provide flexibility with respect to certain details of the development of the Project, the City Administrator is authorized to approve minor modifications. Minor modifications do not require consent or action of the Planning & Zoning Commission or City Council. Examples of minor modifications include slight adjustments to the internal street and drive alignments in accordance in Section 2.7.2 Roadway Alignments; building envelopes; number of buildings; orientation of buildings; and adjustments that do not result in overall increases to traffic, density, or impervious cover. Changes that affect the lotting plan shall not be minor unless the change does not affect the maximum number of lots or the maximum number of lots of certain widths. Adjustments of lot locations shall not be minor unless the relocated lots are adjacent to previous locations. The City Administrator may approve minor modifications in writing following consultation with the Development Review Committee. Any appeal of the City Administrator’s determination regarding whether or not a change is a minor modification may be appealed by any aggrieved party to the Board of Adjustment.
  
- E. Code of Ordinances.** The Code of Ordinances shall be applicable to the Project, except as specifically provided for by this Ordinance, *Attachment “A”*, or the PD Master Plan.
  
- F. Resolution of Conflicts.** The documents governing the PDD should be read in harmony to the extent possible. If a conflict arises between the charts included in the exhibits and the illustrations contained in the exhibits, the charts shall control. If a conflict arises between the terms of this Ordinance and the exhibits, the terms of this Ordinance shall control.
  
- G. Attachments and Exhibits Listed.** The following attachment and exhibits thereto are incorporated into this Ordinance in their entirety, as though set forth fully in the text of this Ordinance:

*Attachment “A”* – Planned Development District No. \_\_\_ and Zoning Map

<b>Exhibit A</b>	<b>Property Legal Description</b>
<b>Exhibit B</b>	<b>PD Master Plan</b>
<b>Exhibit C</b>	<b>Parks, Trails and Open Space Plan</b>
<b>Exhibit D</b>	<b>Lotting Plan</b>
<b>Exhibit E</b>	<b>PD Code Modifications Chart</b>
<b>Exhibit F</b>	<b>PD Street Standards</b>
<b>Exhibit G</b>	<b>Water Quality Buffer Zones</b>
<b>Exhibit H</b>	<b>PD Phasing Plan</b>
<b>Exhibit I</b>	<b>PD Uses Chart</b>

### **3. REPEALER**

All ordinances, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated herein.

### **4. SEVERABILITY**

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

### **5. PENALTY**

Any person, firm, association or persons, company, corporations or their agents or employees violating or failing to comply with any of the provisions of this Ordinance may be subject to a fine pursuant to Section 54.001 of the Texas Local Government Code, upon conviction of not more than Two Thousand Dollars (\$2,000.00). The foregoing fine may be cumulative of other remedies provided by State law, and the power on injunction as provided by Texas Local Government Code 54.012 and as may be amended, may be exercised in enforcing this Ordinance whether or not there has been a complaint filed.

### **6. CODIFICATION**

The City Secretary is hereby directed to record and publish the attached rules, regulations and policies in the City's Code of Ordinances as authorized by Section 52.001 of the Texas Local Government Code.

### **7. PROPER NOTICE & MEETING**

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapters 52 and 211 of the Texas Local Government Code.

### **8. EFFECTIVE DATE**

This Ordinance shall be effective immediately upon approval by the City Council and publication as required by law.

PASSED & APPROVED this, the \_\_\_\_\_ day of \_\_\_\_\_, 2021 by a vote of \_\_\_ (ayes) to (nays) to \_\_\_ (abstentions) of the City Council of Dripping Springs.

**CITY OF DRIPPING SPRINGS:**

by: \_\_\_\_\_  
Bill Foulds, Jr., Mayor

**ATTEST:**

\_\_\_\_\_  
Andrea Cunningham, City Secretary

*Attachment “A”*

# City of Dripping Springs

## CODE OF ORDINANCES

### ARTICLE 30.03: PLANNED DEVELOPMENT DISTRICTS

#### PLANNED DEVELOPMENT DISTRICT NO. \_\_:

##### ARTICLE I. GENERAL PROVISIONS

- 1.1. **Popular Name.** This Chapter shall be commonly cited as the “PDD – \_\_ Ordinance”, also referred to as “this Ordinance” herein.
- 1.2. **Scope.** This Ordinance applies to the Property.
- 1.3. **PD Master Plan.** The PD Master Plan has been approved by the City and shall guide permitting, development and use of the Property.
- 1.4. **Definitions.** Words and terms used herein shall have their usual meaning except as they may be specifically defined herein, or, if capitalized and not defined herein, as defined in the Code (hereinafter defined):

**Applicable Rules:** The City’s rules, ordinances, and regulations in effect as of October \_\_, 2021, as amended by: (i) any amendments authorized by Chapter 245, Texas Local Government Code; (ii) any approvals, variances, waivers, and exceptions to such rules that are approved by the City with respect to the development of the Property, as set forth on *Exhibit E*”, and (iii) any additional restrictions or regulations agreed to by the Developer in writing.

**City:** The City of Dripping Springs, an incorporated Type A, general-law municipality located in Hays County, Texas.

**City Administrator or Administrator:** The chief administrative officer of the City of Dripping Springs, Texas. The term also includes the Deputy City Administrator and City Administrator’s designee.

**City Council:** The governing body of the City of Dripping Springs, Texas.

**City Engineer:** The person or firm designated by the City Council as the engineer for the City of Dripping Springs, Texas.

**Code, City's Code of Ordinances or City of Dripping Springs Code of Ordinances:** The entirety of the City's ordinances, regulations and official policies in effect as of April 1, 2021 except as modified by the Project Approvals and variances granted under the Development Agreement and this Ordinance. This term does not include Zoning or Building Codes, Sign Ordinance, the Water Quality Protection Ordinance or regulations mandated by state law, or that are necessary to prevent imminent harm to human safety or property, which may be modified and made applicable to the Project even after the Effective Date.

**Dripping Springs Technical Criteria:** The criteria adopted in Article 28.07 of the City of Dripping Springs Code of Ordinances that includes technical criteria standard specifications and adopted in Ordinance 2019-39 and as modified.

**Effective Date:** The Effective Date of this Ordinance shall be the date of approval by the City Council and publication as required by law.

**Homeowners Association:** A community group that is organized with respect to the Property in which individual owners of lots share common interests and responsibilities for costs and upkeep of common space or facilities. The group may take the form of a Home Owners Association or Property Owners Association.

**Impervious Cover:** Buildings, parking areas, roads, and other impermeable man-made improvements covering the natural land surface that prevent infiltration as determined by City Engineer. For purposes of compliance with this document, the term expressly excludes storage tanks for rainwater collection systems.

**Impervious Cover Percentage:** The percentage calculated by dividing the total acres of impervious cover on the Property by the total number of acres included in the Property.

**Landscaping Ordinance:** Article 28.06, Landscaping and Tree Preservation, of Chapter 28, Subdivisions and Site Development of the City of Dripping Springs Code of Ordinances.

**MUD Consent:** Agreement Concerning Creation and Operation of Dripping Springs Municipal Utility District No. 1.

**Outdoor Lighting Ordinance:** Article 24.06, Outdoor Lighting, of Chapter 24 of the City of Dripping Springs Code of Ordinances.

**Owner:** Dripping Springs Partners, LLC., a Texas limited liability company, and 740 Sports Park, LLC, a Texas limited liability company, and their respective successors and assigns as subsequent owners of any portion of the Property.

**Project:** A land use and development endeavor proposed to be performed on the Property,

as provided by this Ordinance and generally depicted on the PD Master Plan on *Exhibit B*”.

**Project Approvals:** The approvals, waivers and exceptions to the Applicable Rules approved by the City with respect to the development of the Property, as set forth on *Exhibit E*”.

**Property:** The land as more particularly described in *Exhibit “A”*.

**TCEQ:** The Texas Commission on Environmental Quality, or its successor agency.

**TIA:** Traffic Impact Analysis, as specified in Chapter 28, Article 28.02: Exhibit A-Subdivision Ordinance, Section 11.11 of the Dripping Springs Code of Ordinances.

**TxDOT:** The Texas Department of Transportation or its successor agency.

**Water Quality Protection Ordinance:** Article 22.05 of Chapter 22, General Regulations of the Code.

## ARTICLE II. DEVELOPMENT STANDARDS

- 2.1. General Regulations.** Except as otherwise provided in this Ordinance and the PD Master Plan, the Property shall be governed by the site regulations and development standards contained in the Code of Ordinances.
- 2.2. Phasing.** The Property may be developed in phases. The Project is intended to be developed in phases as shown on *Exhibit “H”*. Owner may change the phasing of development from time to time in response to market conditions or other factors. Phases may be developed concurrently. Construction Plans shall be submitted to the City for approval with each phase. Each plat filed with the City shall contain parkland required for that phase and parkland for the entire Land shall be submitted by separate exhibit with each plat application including the amount associated with prior platted areas and the amount associated with the area subject to such plat. The chart shall also show the average lot size computation for the Land as a whole and resulting from the plat and prior platted areas. In addition, an impervious cover and LUE tracking chart shall be submitted as an exhibit with each plat filed indicating the amount of impervious cover proposed for the entire Land, the amount associated with prior platted areas and the amount associated with the area subject to such plat.
- 2.3. Permitted Uses.**
- 2.3.1. Base Zoning:** The base zoning district for the (i) townhome portion of the Property shall be SF-5, (ii) the single family lots portion of the Property shall be SF-3; (iii) commercial portion of the Property shall be Local Retail (LR) and the civic enter portion of the Property shall be GUI.
- 2.3.2. Allowed Uses:** Those uses listed in the PD Uses Chart attached as *Exhibit “I”* are



hereby permitted by right within the Project.

## 2.4. Design Specifications:

**2.4.1 Impervious Cover.** The Property may be developed with an Impervious Cover Percentage that does not exceed 60% over the entire Project. With regard to the Commercial portion of the Project, as permitted by the City, Owners shall have the right to impervious cover limits not to exceed 70% of the entire Commercial portion. Owner may apportion such limits as it deems desirable so long as the overall limitation herein specified is not exceeded.

**2.4.2 Maximum Density:** The overall density of the residential portion of the Project will be a maximum of 4.7 dwelling units per acre, composed of up to 351 single family townhome units and 180 single family detached lots. The overall density of the commercial area will be a maximum of 6.4 acres, which may be adjusted upon the receipt of written administrative approval from the City administrator.

**2.4.3 Minimum Lot Area:** The residential single family detached lots shall have a minimum area of five thousand (5,000) square feet each with a width at street frontage of 50 feet. The commercial lot area shall comply with Local Retail zoning district.

### 2.4.4 Building Height.

a. Single family detached residential units shall not exceed a height of 2½ stories or 40 feet, whichever is less, measured from the average elevation of the existing grade of the unit to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances. Townhouse units shall not exceed a height of 3 stories or 50 feet, whichever is less, measured from the average elevation of the existing grade of the unit to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances.

b. Commercial and GUI buildings shall not exceed a height of 3 stories or 50 feet, whichever is less, measured from the average elevation of the existing grade of the building to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances

**2.4.5 Residential Setbacks.** Residential building setbacks shall be as follows:

a. **Minimum Front Yard:** Residential building setbacks shall be ten (10) feet from the street right of way.

b. **Minimum Side Yard:** Residential building setbacks shall be five (5) feet; provided, however corner lots will be set back a minimum of ten (10) feet from the street right of way.

**c. Minimum Rear Yard:** Residential building setbacks shall be ten (10) ten feet.

**d. Minimum Setback for Accessory Building:** For residential uses five (5) feet; no accessory buildings or structures are permitted in any residential front yard.

**e. Maximum Height of Fence:** Six (6) feet; provided, however, that the Property may have an eight (8) foot maximum height of fence where separating residential lots from adjacent arterial or collector roads. All fences shall provide a finished face to abutting streets and these fences shall not conflict with sight triangles at street intersections or obstruct views from adjacent driveways. No fence shall extend into the front Street Yard.

**f. Buffer areas and Setbacks:** The buffer along such shared boundary shall meet the requirements in City Ordinance Section 28.06.052 – Landscape Buffers.

**2.4.6 Commercial Setbacks:** Commercial building setbacks shall those required by the Local Retail zoning district.

**2.4.7 Cut & Fill.** Improvements requiring a site development permit will be held to no more than 12 feet of cut or fill; however, fill placed under foundations with sides perpendicular to the ground need not comply with this requirement. No cut shall be greater than 12 feet, except for structural excavation for building foundations, which must be approved by City Engineer. To be allowable, the City Engineer must first review and approve the structural stability, the aesthetics, and the erosion prevention techniques to be utilized for all cuts and fills exceeding six feet (6') of depth. Cut and fill requirements shall not apply to either right-of-way or residential development.

**2.4.8 Parking.**

**a. Residential Parking:** Development of the Property shall include parking at a minimum of two spaces per residence. There shall be parking along only one side of each internal local street.

**b. Commercial Area Parking:** Parking shall be provided for the commercial area; the number of parking spaces within the Commercial Area shall be determined in accordance with the City ordinances and the proposed use of the commercial spaces. The total number of parking stalls for the commercial area may be determined by a shared use parking study provided by Owner and accepted by City.

**2.4.9 Design of Residences:** All residences shall consist of 100% Masonry on all elevations. Native Stone, Brick Masonry, Stucco, and Cementitious Siding shall be deemed appropriate materials to satisfy the Masonry requirement.

(a) The front elevation of all homes shall contain wall plane articulation. No elevation shall be single wall plane across the entire width of the front elevation of the building. Each front elevation shall contain a minimum of two of the following elements, to be identified on the architectural plans submitted for building permit:

1. A minimum of two wall planes on the front elevation, offset a minimum of 18 inches;
2. Covered front porches or patio with a minimum size of 60 square feet;
3. A side-entry or swing-in garage entry (for garage doors that do not face the front street);
4. A garage door recessed from the primary front facade a minimum of four feet (for garage doors that face the street);
5. Enhanced garage door materials (wood, ornamental metal, decorative door, window inserts and hardware, painted or stained to match house);
6. Shed roof or trellis (at least 18" deep) above garage door for additional architectural detail;
7. A combination of at least two roof types (e.g. hip and gable) or two different roof planes of varying height and/or direction;
8. Two or more masonry finishes to compliment the architectural style of the home; and
9. The addition of one or more dormers on the front elevation to compliment the architectural style of the home.

(b) Floorplans will be available in single and two-story housing plans. A minimum of six (6) floorplans will be available, offering a variation of front elevations so that there is no discernable repetition in any street scape. Articulation on the front face should be used to ensure a nonrepetitive streetscene. Where building pads are interrupted by a street or open space lot of at least 50 feet in width, a plan may repeat. A plan can be repeated every third building pad (Example: Plan A 1, Plan B 1, Plan A 1, Plan B 2), although elevations shall be different on the two houses.

**2.4.10** Roofs and Overhead Structures. On buildings with pitched roofs, the minimum main roof pitch is 5:12. Lower roof pitches are acceptable on porch elements, awnings or architectural feature elements. Pitched roofs shall be clad in 30-year minimum composition shingles or low reflectivity coated metal roofing materials.

**2.4.11 Parkland:** The Project is required to have \_\_\_ acres of Parkland. The Project will include approximately 23.9 net acres that will be dedicated for Parkland, the area being shown more fully shown on *Exhibit "C"* attached hereto and incorporated herein for all purposes (the "Parkland"). This dedication of the Parkland shall fulfill all parkland dedication requirements of the Project to the City, including, but not limited to the requirements of the Parkland Dedication Ordinance under the City's Code of Ordinances and any applicable requirements within the Subdivision Ordinance. Owner has prepared a Master Parks and Open Space Plan which has

been approved by City. The Park Development Fees in Section 28.03.010 of the Applicable Rules shall be paid at time of Final Platting.

- 2.5. Parks, Trails and Open Space.** Parkland and open space and associated improvements shall be in accordance the standards shown on *Exhibit "C"* attached hereto. A Master Parks and Trails Plan shall be submitted to the City for approval prior to approval of the first preliminary plat for the Project. The Master Parks and Trails Plan shall address all issues regarding public dedication, public access, and maintenance including finalizing the location of parks, amenities, trails, and trail connections to adjacent properties. The Park Development Fee shall be paid upon approval of the final plat of the Property.
- 2.6. Access.**
- 2.6.1 Traffic Impact Analysis.** Owner has provided to the City, and the City has approved the Traffic Impact Analysis.
- 2.6.2 Roadway Alignments:** The roadway alignments shown on the PD Master Plan are approved by the City. All roadways and driveways not shown on the PD Master Plan shall be subject to the approval of the City Administrator, which approval shall not be unreasonably withheld.
- 2.7. Street Standards.** The standards for the various street widths and related landscaping and walkways are depicted on *Exhibit "F"*.
- 2.8. Utilities.** All proposed utilities within the Property will be located underground (other than above-ground appurtenances to such underground utilities and three phase electric lines providing service to the entire Project) provided, however, to the extent any above-ground utilities exist as of the date hereof, they can remain above-ground. All other issues related to utilities shall be finalized by separate agreement.
- 2.9. Lighting and Signage.** All illumination for street lighting, signage, security, exterior, landscaping, and decorative facilities for the Project shall comply with Article 24.06 of the City's Code of Ordinances ("Outdoor Lighting Ordinance"), as may be amended, from time to time. To the extent any portion of the Agreement conflicts or is inconsistent with the Outdoor Lighting Ordinance, the Outdoor Lighting Ordinance shall control. Owner, homeowners, end users and/or a Property Owner Association will be required to operate and maintain the lighting within the Project according to the Applicable Rules. Owner agrees that the CCR's for the Project shall reinforce this provision and be applied to all construction and builders. A Master Sign Plan shall be submitted for City approval prior to the placement of any signs that are not in compliance with either (i) the City's Sign Ordinance or (ii) the variances described in the PD Modifications Chart attached hereto as *Exhibit "E"*.
- 2.10. Water Quality Buffer Zones.** The Water Quality Buffer Zones are depicted on *Exhibit "G"*.
- 2.11. Water Quality:** Owner agrees to implement and comply with the City's Water Quality

Protection Ordinance in place on the Effective Date except as modified by this Ordinance or by specific variance.

**2.12.1 Tree Replacement Plan.**

**2.12.1.1** Subject to 2.12.1.2, the Tree Replacement Plan shall be in accordance to the City of Dripping Springs Code of Ordinances – Chapter 28, Article 28.06 Landscaping and Tree Preservation.

**2.12.1.2** The cash-in-lieu fee requirements are determined to be \$\_\_\_\_\_. There will be \_\_\_\_ acres of Disturbed Trees (\_\_\_\_ acres times \$6,000 equals \$\_\_\_\_\_). Owner shall receive credit against the cash-in-lieu fees equal to the following:

- \_\_\_\_ lots with two 3-inch caliper size trees at \$685.00 per tree for a total lot credit of \$\_\_\_\_\_, plus
- 237 4-inch caliper size trees to be located in the boulevards and commercial center at \$1,000.00 per tree for a total of \$\_\_\_\_\_.

The combined total credit will be \$\_\_\_\_\_. The total cost of tree replacements in the Tree Replacement Plan exceeds the minimum the total cost per acre of disturbance in the Tree Removal Plan.

Exhibit A                      Property Legal Description – Three Tracts

Tract 1 (80.2523 acres)

FIELD NOTES DESCRIBING A 79.0723 ACRE TRACT OF LAND OUT OF THE P.A. SMITH LEAGUE SURVEY, THE C.H. MALOTT SURVEY AND THE BENJAMIN F. MIMS SURVEY NO. 8 IN HAYS COUNTY, TEXAS, SAID 79.0723 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 85.2757 ACRE TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE HAYS COUNTY, TEXAS DEED RECORDS, SAID 79.0723 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING at an iron pin found at the Northeast corner of that certain 40.00 acre tract of land conveyed to Dripping Springs Independent School District by Deed Recorded in Volume 646, Page 731 of the Hays County, Texas Deed Records, said point being situated at the most Northerly Northwest corner of said 85.2757 acre tract.

THENCE, along the fenced North boundary line of said 85.2757 acre tract, same being the South boundary line of that certain tract of land conveyed to Robert F. Shelton by deed recorded in Volume 143, Page 16 of the Hays County, Texas Deed Records, the following three (3) courses:

1. S 89°27'58" E for 465.05 feet to an iron pin found.
2. S 89°29'16" E for 2496.82 feet to a 60+D nail found.
3. N 79°12'52" E for 480.33 feet to an iron pin found on the West boundary line of that certain 423.54 acre tract of land conveyed to D.T. Cowden by deed recorded in Volume 827, Page 81 of the Hays County, Texas Deed Records, same being the Northeast corner of the herein described tract.

THENCE, along the fenced West boundary line of said 423.54 acre tract, S 0° 20'06" W for 1362.07 feet to an iron pin found at the Northeast corner of that certain 82.02 acre tract of land conveyed to Lidia Crabb, Trustee, by deed recorded in Volume 367, Page 294 of the Hays County, Texas Deed Records, same being the Southeast corner of the herein described tract.

THENCE, along the fenced North boundary line of said 82.02 acre tract, N 89°45'13" W for 1821.90 feet to an iron pin found at the Southeast corner of that certain 10.00 acre tract of land conveyed to Gary and Piola Doucet by deed recorded in Volume 795, Page 782 of the Hays County, Texas Deed Records.

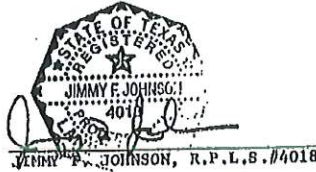
THENCE, along the East boundary line of said 10.00 acre tract, N 2°49'06" E for 691.47 feet to an iron pin found on the South boundary line of a proposed sixty (60) foot wide tract.

THENCE, along the South boundary line of said proposed sixty foot wide street the following five (5) courses:

1. N 87°10'54" W for 238.19 feet to an iron pin found.
2. An arc distance of 182.90 feet along a curve to the left whose elements are: I = 15°12'13", R = 689.28', T = 91.99', and whose chord bears S 85°13'00" W for 182.37 feet to an iron pin found.
3. S 77°36'53" W for 1026.64 feet to an iron pin found.
4. An arc distance of 120.16 feet along a curve to the right whose total elements are: I = 12°02'49", R = 1007.77', T = 106.33', and whose subchord bears S 81°01'50" W for 120.09 feet to an iron pin found.
5. An arc distance of 91.72 feet along a curve to the right whose elements are: I = 5°12'53", R = 1007.77', T = 45.89' and whose chord bears S 87°03'15" W for 91.69 feet to an iron pin found.

THENCE, along the East boundary line of said 40.00 acre Dripping Springs Independent School District Tract; N 0°20'18" W for 847.82 feet to the POINT OF BEGINNING of the herein described tract containing 79.0723 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.



FIELDNOTE DESCRIPTION

DESCRIPTION OF A STRIP OF LAND, 60 FEET (60') IN WIDTH, TOTALING 1.18 ACRES IN THE PHILIP A SMITH LEAGUE SURVEY NO. 28, A-416, IN HAYS COUNTY, TEXAS, BEING THE REMAINING PORTION OF THAT CALLED 85.2767 ACRE TRACT DESCRIBED IN THE WARRANTY DEED TO MAIN PASS PARTNERS, LTD., OF RECORD IN VOLUME 766, PAGE 606, REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS (RPRHGT), LESS THAT CALLED 79.0723 ACRE TRACT SEVERED FROM SAID 85.2767 ACRE TRACT AND DESCRIBED IN THE WARRANTY DEED WITH VENDOR'S LIEN TO ROBERT MOKHTARIAN, ET ALIA, OF RECORD IN VOLUME 1128, PAGE 840, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS; SAID 1.18 ACRE STRIP OF LAND, AS SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Bearing Basis: Grid Bearings of the Texas Coordinate System of 1983, Texas South Central Zone (4204), US Survey Feet, Reference Frame: NAD\_83(2011)(Epoch:2010.0000); Combined Scale Factor 0.99992022; Mapping Angle: 0° 27' 07". Distances cited herein are surface.

COMMENCING for reference at iron rod with cap stamped "K.C. ENG" found on the north line of a 30' wide Ingress & Egress Easement described in Volume 161, Page 171, Deed Records Hays County, Texas (DRHGT), being the most southerly southeast corner of a called 40.00 acre tract described in the General Warranty Deed to The City of Dripping Springs, of record in Volume 1482, Page 671, OPRHGT, same being the southwest corner of that called 17.0518 acre described in the Warranty Deed with Vendor's Lien to Jean-Claude Cardwell, and wife, Mara Cardwell, of record in Volume 767, Page 709, RPRHGT;

THENCE N 02° 13' 09" W, with the east line of said 40.00 acre tract, the following three (3) courses and distances:

- 1) N 02° 13' 09" W, with the west line of said 17.0518 acre tract, 408.04 feet to a 1/2-inch iron rod found for the northwest corner of said 17.0518 acre tract, same being the westerly southwest corner of said 85.2767 acre tract, and POINT OF BEGINNING herein;
- 2) N 02° 18' 08" W, 60.00 feet to a 1/2-inch iron rod found for a southeast reentrant corner of said 40.00 acre tract, and a most westerly northwest easant corner of said 85.2767 acre tract and herein, and
- 3) N 87° 48' 41" E, 859.70 feet to a 1/2-inch iron rod found on the west line of said 79.0723 acre tract, and being the northeast corner herein; and from which point, a 1/2-inch iron rod found for the northeast corner of said 40.00 acre tract, and the northwest corner of said 79.0723 acre tract bears N 02° 13' 09" W, 788.07 feet;

THENCE S 02° 15' 09" E, crossing said 85.2767 acre tract with said west line of 79.0723 acre tract, 60.00 feet to a 1/2-inch iron rod found on the south line of said 85.2767 acre tract, same being the north line of said 17.0518 acre tract, for a southwest corner of said 79.0723 acre tract and southeast corner herein;

THENCE S 97° 48' 41" W, with the south line of said remainder tract, and north line of said 17.0518 acre tract, 859.70 feet to the POINT OF BEGINNING containing 1.18 acres of land, more or less, within these metes and bounds.

This description accompanied by Staudt Surveying, Inc. Boundary Survey 17077-01.dwg

Surveyed by: Staudt Surveying, Inc.  
P.O. Box 1273  
18740 Fitzhugh Road, Ste. 102  
Dripping Springs, Texas 78620  
612-888-2238  
Firm Registration No.: 10001700



*Bryan D. Nowosin*  
Bryan D. Nowosin Registered Professional Land Surveyor No. 6887 12 November 2017 Date



## Tract 2 (15 acres)

**Oak Hill Surveying Co., Inc.**  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

May 25, 1989

FIELD NOTES DESCRIBING A 10.00 ACRE TRACT OF LAND OUT OF THE P. A. SHEFFER LEAGUE IN HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO JACK HOWELL BY DEED RECORDED IN VOLUME 753, PAGE 252 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING FOR REFERENCE at an iron pin set at the southwest corner of the above said Jack Howell Tract, said point being situated at the most southerly southeast corner of that certain forty 40.00 acre tract of land conveyed to Dripping Springs Independent School District by deed recorded in Volume 646, Page 731 of the Hays County Deed Records, said point being situated on the north boundary line of a thirty (30) foot wide ingress and egress easement described in a deed of record in Volume 181, Page 171 of the Hays County Deed Records.

THENCE, along the north boundary line of said easement, same being the north boundary line of that certain 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records; S 89°47'00" E for 1077.21 feet to a 60-0 nail set in a fence corner post.

THENCE, continuing along the fenced north boundary line of said 90.01 acre tract, same being the south boundary line of said Jack Howell Tract, the following two (2) courses:

1. N 0°16'55" E for 70.42 feet to an iron pin found.
2. S 89°45'13" E for 741.35 feet to an iron pin set for the southwest corner of the herein described tract and being the POINT OF BEGINNING.

THENCE, through the interior of said Howell Tract, N 2°49'06" E for 636.99 feet to an iron pin set on the south boundary line of a proposed sixty (60) foot wide road, said point being situated at the northwest corner of the herein described tract.

THENCE, continuing through the interior of said Howell Tract along the south boundary line of said proposed road, the following three (3) courses:

1. N 77°36'53" E for 224.62 feet to an iron pin set.
2. An arc distance of 182.90 feet along a curve to the right whose elements are: I=15°12'13", R=689.28 feet, T=91.99 feet and whose chord bears N 85°13'00" E for 182.37 feet to an iron pin set.
3. S 87°10'54" E for 238.19 feet to an iron pin set for the northeast corner of the herein described tract.

May 25, 1989  
Re: 10.00 acre tract  
Page 2

THENCE, continuing through the interior of said Howell Tract, S 2°49'06" W for 691.47 feet to an iron pin set on the fenced north boundary line of said 90.01 acre Henson Tract and being situated at the southeast corner of the herein described tract.

THENCE, along the north boundary line of said 90.01 acre tract and the north boundary line of said Howell Tract, N 89°45'13" W for 636.35 feet to the POINT OF BEGINNING of the herein described tract containing 10.00 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Jimmy F. Johnson, State of Texas, No. 74018  
Updated 9-3-93

Job #1646

Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

June 14, 1990

FIELD NOTES DESCRIBING A 5.000 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 102.3069 TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pin found at the southwest corner of the above described remaining tract, said point being the southeast corner of a 17.0518 acre tract of land conveyed to J. C. and Mara Cardwell by deed recorded in Volume 797, Page 709 of the Hays County Deed Records; said point also situated on the north boundary line of a 90.01 acre tract of land conveyed to Virginia B. Wasson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records.

THENCE, along the west boundary line of the above described tract, N 6°12'10" E for 560.25 feet to an iron pin found at the northwest corner of the herein described tract, and being the northeast corner of the 17.0518 acre Gardwell Tract.

THENCE, through the interior of said Main Pass Partner Tract along the south boundary line of a proposed sixty (60) foot wide road N 77°36'53" E for 361.81 feet to an iron pin found at the northeast corner of the herein described tract, same being the northwest corner of a 10.00 acre tract of land conveyed to Gary and Ficola Housett by deed recorded in Volume 795, Page 872 of the Hays County Deed Records.

THENCE, along the east boundary line of the herein described tract, S 2°49'06" N for 636.99 feet to an iron pin found at the southeast corner of the herein described tract, same being the southwest corner of the above described Bennett Tract, also being situated on the fenced north boundary line of the above described Virginia B. Wasson Tract.

THENCE, along the fenced south boundary line of the herein described tract, same being a fenced portion of the north boundary line of the above described Virginia B. Wasson Tract, N 89°45'13" W for 382.61 feet to the POINT OF BEGINNING of the herein described tract containing 5.000 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Amy J. Johnson, R.T.S. #4018  
Updated 9-3-93

Job #1651

### Tract 3 (17.038 acres)

**BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.**

**BEGINNING** at an Iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

**THENCE**, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch Iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704138 OPRHCT.;

**THENCE**, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 859.59 feet to a ½ inch Iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 79.0723 acre tract as described in Volume 1128, Page 849 O.P.R.H.C.T., said point being the beginning of a curve to the left;

**THENCE**, with the north line of the herein described tract, and the south line of said 79.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N81°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N75°43'32"E, for a distance of 441.05 feet to a ½ inch iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.T.H.C.T.;

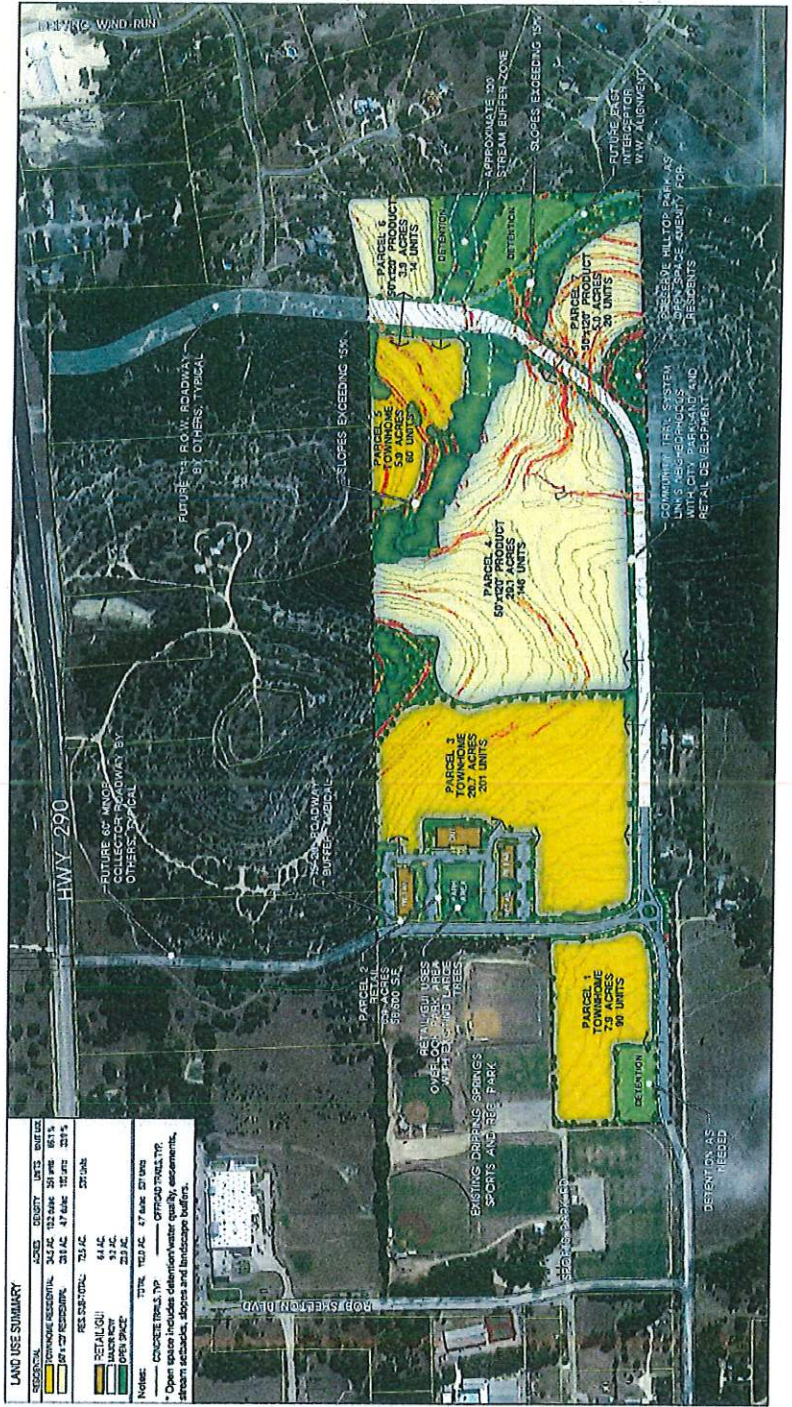
**THENCE**, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 560.13 feet to a ½ inch Iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

**THENCE**, with the lines common to said 5.00 acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch Iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch Iron rod with cap stamped "AST" set;
3. S88°18'03"W, , at a distance of 150.23 pass a ½ inch Iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the **POINT OF BEGINNING** and containing 17.038 acres of land, more or less.

Exhibit B

PD Master Plan



**LAND USE SUMMARY**

SYSTEM	ACRES	COUNTY	UNITS	DATE
RESIDENTIAL	214.42	47	476	2019
COMMERCIAL	58.00	47	0	2019
RETAIL	58.00	47	0	2019
OFFICE	0.00	47	0	2019
INDUSTRIAL	0.00	47	0	2019
RECREATION	0.00	47	0	2019
UTILITY	0.00	47	0	2019
OPEN SPACE	23.42	47	0	2019

**NOTES:**

- CONCRETE TRAILS, TYP - OFFROAD TRAILS, TYP.
- Open space includes detention water quality, easements, stream setbacks, slopes and landscape buffers.

**CONCEPT**  
**MOKTARIAN TRACT**  
DRIPPING SPRINGS, TEXAS

Scale: 1" = 400'  
Date: August 08, 2021  
North

SEC Planning, LLC  
Land Planning • Landscape Architecture • Community Planning  
1400 N. TEXAS  
DIPPING SPRINGS, TEXAS 75843

These drawings are preliminary and are not to be used for construction. All data shown should be considered as preliminary. In need of verification, and for final design, the user should consult the original data and drawings and obtain any necessary approvals. Plans are subject to change.

Exhibit C Parks, Trails and Open Space Plan



SEC Planning, LLC  
 Land Planning • Landscape Architecture • Community Development  
 AUSTIN, TEXAS  
 512.454.8800  
 www.secplanning.com

PARKLAND EXHIBIT  
 VILLAGE GROVE  
 DRIPPING SPRINGS, TEXAS

Scale: 1" = 400'  
 North  
 Date: November 15, 2021

This map was prepared by SEC Planning, LLC. It is based on information provided by the City of Dripping Springs, Texas. SEC Planning, LLC does not warrant the accuracy or completeness of the information provided. This map is intended for informational purposes only and does not constitute a contract. It is subject to change without notice. SEC Planning, LLC is not responsible for any errors or omissions. Plan is subject to change.



Exhibit E PD Code Modifications Chart

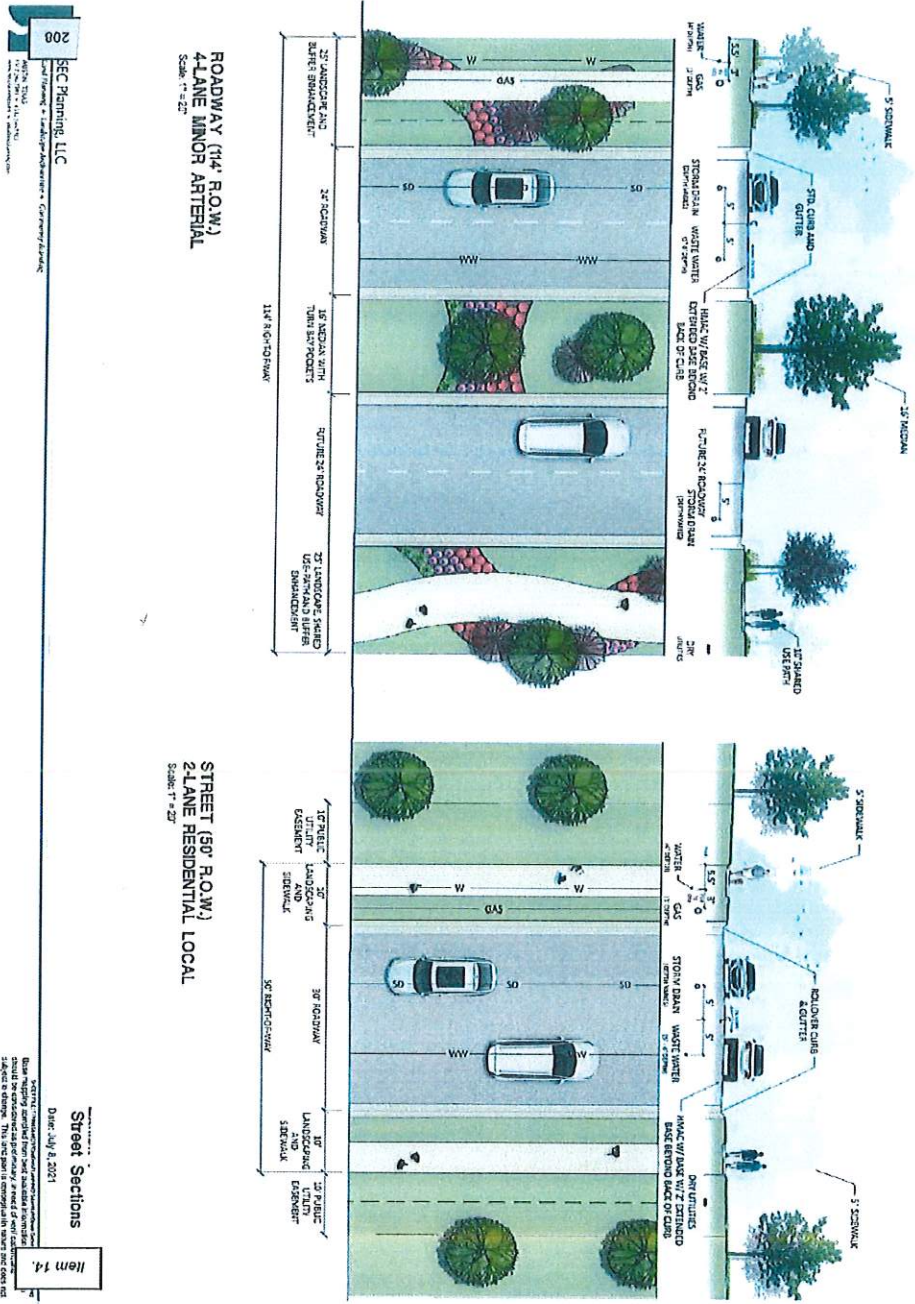
LIST OF VARIANCES & ALTERNATIVE STANDARDS					
#	Ordinance	Description	Requirement	Requested Variance or Alternative	Justification
1	22.05.016(a)(2)	Maximum Impervious Cover	Sets maximum impervious cover for site development plans within the Edwards Aquifer contributing zone and the ETJ to 35%	Maximum impervious cover for the Property within the Edwards Aquifer Contributing zone will be 60%	To have the ability to respond to evolving and diversified housing market. To provide a variety of housing types with variety of lot sizes. In addition, to allow major transportation infrastructure and a commercial sector.
2	22.05.015(c)(3)	Performance standards	Establishes 90% removal of total suspended solids, total phosphorus, and oil and grease	Use water quality BMPs that achieve a TSS removal of 89% and comply with the TCEQ Optional Enhanced Measures (OEM) load management requirements.	Providing water quality buffer zones per the City of Dripping Springs requirements and including the LCRA Streambank Erosion Control volume in the water quality pond to protect natural waterways and habitat. Will create better use of the land, less long-term maintenance burden, more attractive water quality measures, and consistent with State standards.
4	(Exhibit A), 3.13	Lapse of plat approval	<u>Preliminary Plat</u> . All of the following shall occur within the one hundred and eighty-three (183) calendar days following Preliminary Plat approval: 1) City Engineer's approval of engineering plans for all proposed public improvements; and 2) payment of all applicable fees that are traditionally collected prior to release for site construction. In addition to the above, an application for approval of the final plat shall be submitted to the City within three hundred sixty-five (365) calendar days following approval of the preliminary plat in order to avoid lapse of the approved Preliminary Plat (unless such is extended or reinstated pursuant to provisions in this Chapter).	<u>Preliminary Plat</u> : All of the following shall occur within the one hundred and eighty-three (183) calendar days following Multi-Phased Preliminary Plat approval: 1) City Engineer's approval of engineering plans for Phase 1 proposed public improvements; and 2) payment of all applicable fees that are traditionally collected prior to release for site construction for Phase 1. In addition to the above, an application for approval of the Phase 1 final plat shall be submitted to the City within three hundred sixty-five (365) calendar days following approval of the preliminary plat in order to avoid lapse of the approved Preliminary Plat (unless such is extended or reinstated pursuant to provisions in this Chapter). Once conditions of Phase 1 are met the Preliminary Plat shall be valid for 10 years.	Allows time for the construction of infrastructure improvements prior to recordation of plats.
5	(Exhibit A), 3.13	Lapse of plat approval	<u>Final plat approved by the City Council but not yet filed with Hays County</u> . All materials necessary to file the plat at the County, including plat mylars, filing fees, etc., shall be submitted to the City within thirty (30) calendar days of the date of final approval (The thirty-day period shall commence upon County approval of final plat if the property is in the ETJ).	<u>Final plat approved by the City Staff, but not yet filed with Hays County</u> - All materials necessary to file the plat at the County, including plat mylars, filing fees, etc., shall be submitted to the City within three hundred and sixty five (365) calendar days of the date of final approval.	Allows time for the construction of infrastructure improvements prior to recordation of plats.
6	(Exhibit A), 11.13.2	Frontage on Residential Collector Streets	Shall not exceed 20%	Applicable only to major collectors, minor arterials, and major arterials.	To showcase the lively neighborhood character with homes fronting streets where possible.
7	(Exhibit A), 11.21	Residential block lengths	Min. 400'. Max 1200-1600' urban subdivisions, 2000' suburban and rural subdivisions.	Property considered a suburban subdivision with a 2000' maximum block length requirement.	This relates only to the perimeter of the property where access to neighboring property is limited by topographic conditions and adjacent land use
8	(Exhibit A), 13.2	Intersecting Streets	Blocks shall not be less than four hundred feet (400') in length	Blocks shall not be less than two hundred feet (200') in length	Considering unique topographic conditions that may reduce intersection distances.



LIST OF VARIANCES & ALTERNATIVE STANDARDS					
#	Ordinance	Description	Requirement	Requested Variance or Alternative	Justification
9	(Exhibit A), 14.6	Minimum Lot Sizes	For lots using surface water and public wastewater system is 3,500 square feet	Lot size shall be as allowed in SF3 & SF5 zoning	
10	(Exhibit A), 15.1	Sidewalks	Required on both sides of all streets, 6' min. width or as specified in City TMP.	5' sidewalks and 10' multi-modal use path will be provided on each side of arterial streets.	To fuse the hill country character within the community, and City TMP
11	(Exhibit A), 20.1.3(g)	Sidewalks	Both sides of street in both residential and non-residential developments utilizing curb (not open ditch drainage). Required in conjunction with sewer line installation.	Sidewalks adjacent to residential lots constructed by the home builders at the time of home construction. Sidewalks not adjacent to residential lots will be constructed at time of roadway construction.	To fuse the hill country character within the community.
12	(Exhibit A), 30.2.5	Performance Guarantees and Security	Security shall be in an amount equal to 100 percent of the estimated cost of completion of the required public improvements and lot or unit improvements	No variance requested since Property will be located within city limits.	
13	28.04.018	Cuts and fills	No fill or cut on any building site shall exceed a maximum of six (6) feet of depth	Improvements requiring a site development permit will be held to no more than ___% of cut and/or fill.	To respond to topographic conditions.
14	28.06.051 (a&b)	Residential & Non-Residential Street Tree Requirements	Two (2) 4" street trees per residential lot; One (1) 4" street tree per 25 lf of street frontage to be planted adjacent to or near street right-of-way per associated zoning classification.	Two (2) 3-inch street trees per residential lot; 4-inch street trees along arterials, and within the Amenity Center lot to satisfy City tree replacement requirements.	Consistency with industry standards for residential lot trees. The development will provide a strong streetscape with mature trees earlier in the life of the project with this street tree planting plan.
15	CODS TCSS Section 2.2.1	Design criteria for transportation facilities	Hays County Subdivision and Development Regulations, latest version	City of Austin Transportation Criteria Manual (TCM), as currently amended, or as otherwise specified by the City TMP.	Hays County criteria based on larger lot, rural subdivisions with higher design speeds. City of Austin TCM is better suited for urban subdivisions with slower design speeds and land with significant topography similar to the Property
16	CODS TCSS Section 9.2.2(a)(1)	Side slopes on swales	No steeper than 1 vertical to 6 horizontal	No steeper than 1 vertical to 4 horizontal	Complies with City of Austin, Drainage Criteria Manual 6.4.1.D
18	Zoning 5.6.2.12	Parking Requirement for Commercial Amusement (Outdoor)	Ten (10) spaces plus one (1) space for each 500 square feet over 5,000 square feet of building or recreational area.	One (1) parking space per three-hundred (300) square feet of pool surface area.	Private Amenity Centers are meant to be walkable for the community, reducing the reliance on large parking areas. Trail connections and bike racks will be provided at the amenity to reduce the need for excessive parking.

\*Cut and fill variance to be determined during DAWG process based on final site plan and zoning transportation layout.

# Exhibit F PD Street Standards

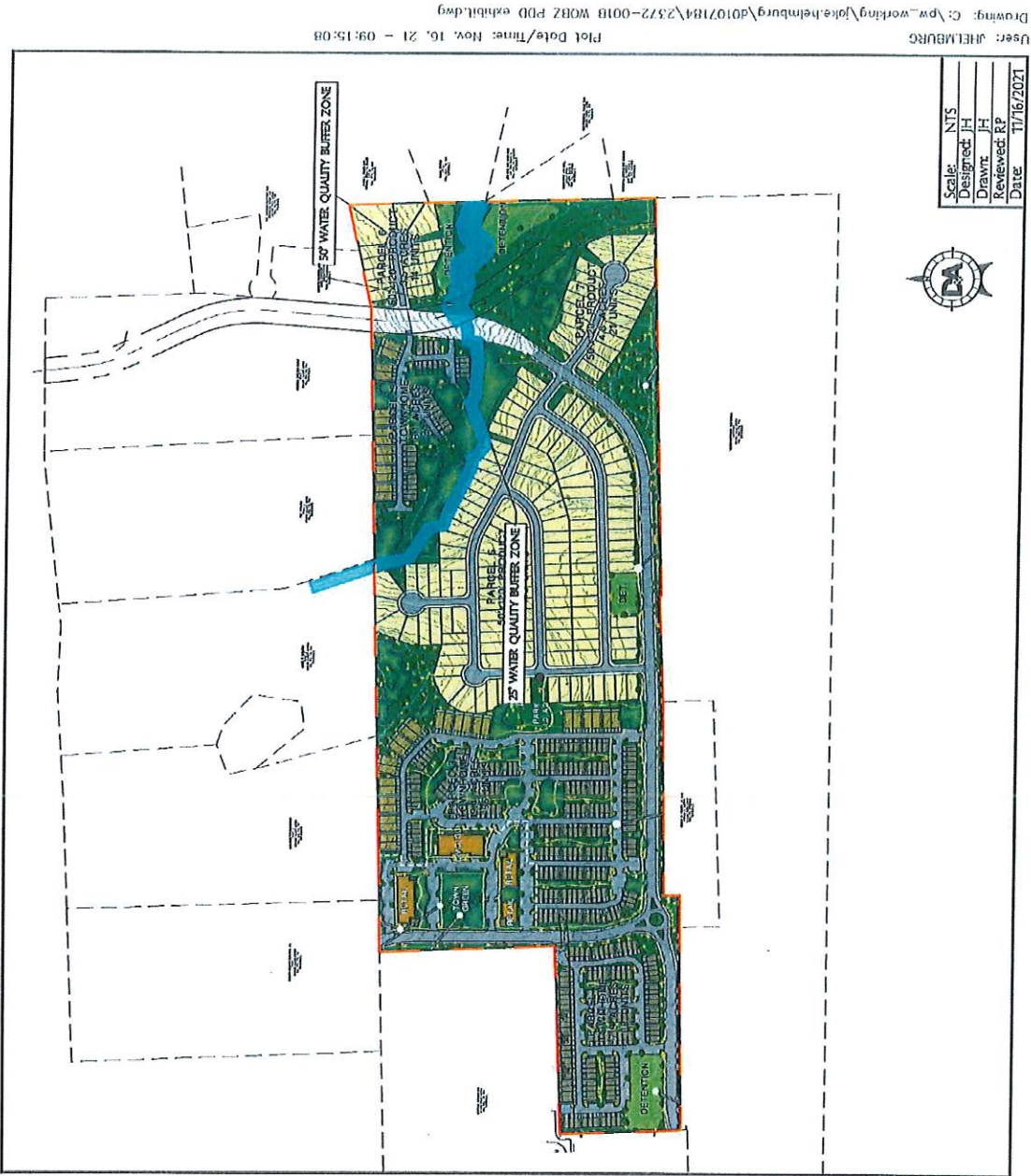


208  
SEC Planning, LLC  
1111 North Loop West, Suite 1000  
Houston, Texas 77004  
www.secplanning.com

Street Sections  
Date: July 4, 2021  
Item 14.

These drawings are prepared for the City of Dripping Springs and are not to be used for any other purpose without the written consent of SEC Planning, LLC. SEC Planning, LLC is not responsible for any errors or omissions in these drawings. SEC Planning, LLC is not responsible for any damage or injury resulting from the use of these drawings.

# Exhibit G Water Quality Buffer Zones



Scale:	NTS
Designed:	JH
Drawn:	JH
Reviewed:	RP
Date:	11/16/2021

User: JHELMBURG  
 Plot Date/Time: Nov. 16, 21 - 09:15:08  
 Drawing: C:\pw\_working\joke.helmberg\0107184\2372-0018 WOBZ PDD exhibit.dwg

**DA DOUCET & ASSOCIATES**  
 Civil Engineering - Entitlements - Surveying/Mapping  
 7401 B, Highway 71 W, Suite 140  
 Austin, Texas 78735, Phone: (512)-583-2600  
 www.doucelengineers.com  
 Firm Registration Number: 3937

PLANNED DEVELOPMENT DISTRICT  
 Exhibit - Water Quality Buffer Zones

VILLAGE GROVE  
 DRIPPING SPRINGS, TX

SHEET  
**EXHIBIT**  
 1 of 1  
 Project No: 1298-003

Exhibit H

PD Phasing Plan



- Phase 1
- Phase 2
- Phase 3
- Phase 4

**EXHIBIT I****PD Uses Chart:**

The uses permitted in PDD – \_\_ are as follows:

**Residential areas:**

- Single-Family Dwelling, Detached;
- Garden Home/Townhome;
- Accessory Bldg/Structure (Residential);
- Home Occupation;
- Swimming Pool, Private; and
- Those uses listed in the City's zoning ordinance for the SF-3 District or any less intense residential district uses are hereby permitted by right within the Project, and others are designated as requiring a Conditional Use Permit (CUP).

**Commercial Area:**

- Used allowed in Local Retail (LR) zone include retail, office, financial institutions, governmental/utility/institutional. Residential uses, including multi-family, are prohibited in the Commercial Area.

RGB/LM

Draft G.1

May 18, 2022

**PLANNED DEVELOPMENT DISTRICT No. \_\_\_\_:**  
**Village Grove**

Planned Development District Ordinance  
Approved by the Planning & Zoning Commission on:  
\_\_\_\_\_, 2022  
Approved by the City Council on:  
\_\_\_\_\_, 2022

**THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE** (“Ordinance”) is enacted pursuant to City of Dripping Springs Code of Ordinances, Article 30.3.

**WHEREAS**, the Owner is the owner of certain real property consisting of approximately 112 acres located within the City Limits of the City of Dripping Springs (“City”), in Hays County, Texas, commonly known as “Village Grove” and as more particularly identified and described in *Exhibit “A”* (the “Property”) to *Attachment “A”*; and

**WHEREAS**, the Property will be subdivided and developed by Owner, its affiliates or their successors and assigns, for construction and use in general accordance with the PD Master Plan shown as *Exhibit “B”* to *Attachment “A”*; and

**WHEREAS**, the Owner, its affiliates or their successors and assigns intends to develop a master-planned community that will include a mix of land uses, together with parkland and roadway connections described herein;

**WHEREAS**, The City has approved the applications for annexation of the Property into the City as well as the Agreement Concerning Creation and Operation of Dripping Springs Municipal Utility District No. 1 (the “MUD Consent”);

**WHEREAS**, the Owner has submitted an application to the City to rezone the Property to Planned Development District (“PDD”), designating it “PDD – \_\_\_”; and

**WHEREAS**, after public notice, the Planning and Zoning Commission conducted a public hearing and recommended approval on \_\_\_\_\_, 2022; and

**WHEREAS**, pursuant to the City’s Planned Development Districts Ordinance, Article 30.03 of the City’s Code of Ordinances (the “PD Ordinance”), the Owner has submitted a PD Master Plan that conceptually describes the Project, which is attached to this Ordinance as *Exhibit “B”* to *Attachment “A”*; and

**WHEREAS**, this Ordinance, PD Master Plan, and the Code of Ordinances shall be read in harmony, will be applicable to the Property, and will guide development of the Property; and

**WHEREAS**, the City Council has approved the annexation of the Property, this proposed Ordinance, the PD Master Plan, and the Annexation and Development Agreement for Village Grove and has determined that it promotes the health, safety, and general welfare of the citizens of Dripping Springs; complies with the intent of the City of Dripping Springs Comprehensive Plan; and is necessary in light of changes in the neighborhood; and

**WHEREAS**, the City Council finds that this proposed Ordinance ensures the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes under Code §30.03.004: provides for a superior design of lots or buildings; provides for

increased recreation and/or open space opportunities for public use; provides amenities or features that would be of special benefit to the property users or community; protects or preserves natural amenities and environmental assets such as trees, creeks, ponds, floodplains, slopes, hills, viewscales, and wildlife habitats; protects or preserves existing historical buildings, structures, features or places; provides an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services; and meets or exceeds the present standards of this article;

**WHEREAS**, the City Council is authorized to adopt this Ordinance in accordance with Texas Local Government Code Chapters 51 and 211; and

**WHEREAS**, the Ordinance has been subject to public notices and public hearings and has been reviewed and approved by the City's Planning and Zoning Commission.

**NOW, THEREFORE, BE IT ORDAINED by the City Council of Dripping Springs:**

### 1. FINDINGS OF FACT

The City Council finds that the facts and matters in the foregoing recitals are true and correct; and, are hereby incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

### 2. ENACTMENT

- A. Zoning District Created.** PDD – \_\_\_ is hereby established consistent with *Attachment "A,"* which is attached hereto and incorporated into this Ordinance for all intents and purposes. Code of Ordinances Chapter 30, Exhibit A [Zoning Ordinance], § 3.1 [Zoning Districts] is hereby amended to add the zoning district identified as PDD – \_\_\_.
- B. Zoning Map Amended.** The official zoning map of the City is hereby amended to demarcate the boundaries of PDD – \_\_\_ consistent with the boundaries of the Property delineated in the Property Legal Description, *Exhibit "A"* to *Attachment "A"*.
- C. PD Master Plan Approved.** The PD Master Plan attached as *Exhibit "B"* to *Attachment "A"* is hereby approved. The PD Master Plan, together with *Attachment "A"*, constitutes the zoning regulations for the Project. All construction, land use and development of the Property must substantially conform to the terms and conditions set forth in the PD Master Plan, this Ordinance, *Attachment "A"* and the exhibits. The PD Master Plan is intended to serve as a guide to illustrate the general vision and design concepts. The PD Master Plan is to serve as the conceptual basis for the site plan(s) subsequently submitted to the City seeking site development permit approval. This approval shall not be interpreted as approval of a variance, utility sources, or other site plan or plat requirements without specific reference in the ordinance or variance chart, or in future approvals.



**D. Administrative Approval of Minor Modifications.** In order to provide flexibility with respect to certain details of the development of the Project, the City Administrator is authorized to approve minor modifications. Minor modifications do not require consent or action of the Planning & Zoning Commission or City Council. Examples of minor modifications include slight adjustments to the internal street and drive alignments in accordance in Section 2.7.2 Roadway Alignments; building envelopes; number of buildings; orientation of buildings; and adjustments that do not result in overall increases to traffic, density, or impervious cover. Changes that affect the lotting plan shall not be minor unless the change does not affect the maximum number of lots or the maximum number of lots of certain widths. Adjustments of lot locations shall not be minor unless the relocated lots are adjacent to previous locations. The City Administrator may approve minor modifications in writing following consultation with the Development Review Committee. Any appeal of the City Administrator’s determination regarding whether or not a change is a minor modification may be appealed by any aggrieved party to the Board of Adjustment.

**E. Code of Ordinances.** The Code of Ordinances shall be applicable to the Project, except as specifically provided for by this Ordinance, *Attachment “A”*, or the PD Master Plan.

**F. Resolution of Conflicts.** The documents governing the PDD should be read in harmony to the extent possible. If a conflict arises between the charts included in the exhibits and the illustrations contained in the exhibits, the charts shall control. If a conflict arises between the terms of this Ordinance and the exhibits, the terms of this Ordinance shall control.

**G. Attachments and Exhibits Listed.** The following attachment and exhibits thereto are incorporated into this Ordinance in their entirety, as though set forth fully in the text of this Ordinance:

*Attachment “A”* – Planned Development District No. \_\_\_ and Zoning Map

- Exhibit A**                    **Property Legal Description and Survey**
- Exhibit B**                    **PD Master/Concept Plan**
- Exhibit C**                    **Parks, Trails and Open Space Plan**
- Exhibit D**                    **Lotting Plan**
- Exhibit E**                    **PD Code Modifications Chart**
- Exhibit F**                    **PD Street Standards**
- Exhibit G**                    **Water Quality Buffer Zones**
- Exhibit H**                    **PD Phasing Plan**
- Exhibit I**                    **PD Uses Chart**

### **3. REPEALER**

All ordinances, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated herein.

### **4. SEVERABILITY**

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

### **5. PENALTY**

Any person, firm, association or persons, company, corporations or their agents or employees violating or failing to comply with any of the provisions of this Ordinance may be subject to a fine pursuant to Section 54.001 of the Texas Local Government Code, upon conviction of not more than Two Thousand Dollars (\$2,000.00). The foregoing fine may be cumulative of other remedies provided by State law, and the power on injunction as provided by Texas Local Government Code 54.012 and as may be amended, may be exercised in enforcing this Ordinance whether or not there has been a complaint filed.

### **6. CODIFICATION**

The City Secretary is hereby directed to record and publish the attached rules, regulations and policies in the City's Code of Ordinances as authorized by Section 52.001 of the Texas Local Government Code.

### **7. PROPER NOTICE & MEETING**

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapters 52 and 211 of the Texas Local Government Code.

### **8. EFFECTIVE DATE**

This Ordinance shall be effective immediately upon approval by the City Council and publication as required by law.

**PASSED & APPROVED** this, the \_\_\_\_ day of \_\_\_\_\_, 2022 by a vote of \_\_\_\_ (*ayes*) to (*nays*) to \_\_\_\_ (*abstentions*) of the City Council of Dripping Springs.

**CITY OF DRIPPING SPRINGS:**

by: \_\_\_\_\_  
Bill Foulds, Jr., Mayor

**ATTEST:**

\_\_\_\_\_  
Andrea Cunningham, City Secretary

DRAFT

## *Attachment “A”*

# City of Dripping Springs

## CODE OF ORDINANCES

### ARTICLE 30.03: PLANNED DEVELOPMENT DISTRICTS

#### PLANNED DEVELOPMENT DISTRICT NO. \_\_:

##### ARTICLE I. GENERAL PROVISIONS

- 1.1. **Popular Name.** This Chapter shall be commonly cited as the “PDD – \_\_\_ Ordinance”, also referred to as “this Ordinance” herein.
- 1.2. **Scope.** This Ordinance applies to the Property.
- 1.3. **PD Master Plan.** The PD Master Plan has been approved by the City and shall guide permitting, development and use of the Property.
- 1.4. **Definitions.** Words and terms used herein shall have their usual meaning except as they may be specifically defined herein, or, if capitalized and not defined herein, as defined in the Code (hereinafter defined):

**Applicable Rules:** The City’s rules, ordinances, and regulations in effect as of \_\_\_\_\_, 2022, as amended by: (i) any amendments authorized by Chapter 245, Texas Local Government Code; (ii) any approvals, variances, waivers, and exceptions to such rules that are approved by the City with respect to the development of the Property, as set forth on *Exhibit E*”, and (iii) any additional restrictions or regulations agreed to by the Developer in writing.

**City:** The City of Dripping Springs, an incorporated Type A, general-law municipality located in Hays County, Texas.

**City Administrator or Administrator:** The chief administrative officer of the City of Dripping Springs, Texas. The term also includes the Deputy City Administrator and City Administrator’s designee.

**City Architect:** The licensed professional Architect, or firm of licensed professional consulting Architects, that have been specifically employed by the City to assist in

architectural and exterior design-related matters. This term shall also apply if the City retains a person to perform the functions of City Architect as an official City employee.

**City Council:** The governing body of the City of Dripping Springs, Texas.

**City Engineer:** The person or firm designated by the City Council as the engineer for the City of Dripping Springs, Texas.

**Code, City's Code of Ordinances or City of Dripping Springs Code of Ordinances:** The entirety of the City's ordinances, regulations and official policies in effect as of \_\_\_\_\_, 2022 except as modified by the Project Approvals and variances granted under the Development Agreement and this Ordinance. The Sign Ordinance shall be the version at the time the Master Sign Plan is submitted to the City. This term does not include Zoning or Building Codes, Sign Ordinance, the Water Quality Protection Ordinance or regulations mandated by state law, or that are necessary to prevent imminent harm to human safety or property, which may be modified and made applicable to the Project even after the Effective Date.

**Exterior Design and Architectural Standards Ordinance:** Article 24.03, Exterior Design and Architectural Standards, of Chapter 24, Subdivisions and Site Development of the City of Dripping Springs Code of Ordinances.

**Dripping Springs Technical Criteria:** The criteria adopted in Article 28.07 of the City of Dripping Springs Code of Ordinances that includes technical criteria standard specifications and adopted in Ordinance 2019-39 and as modified.

**Effective Date:** The Effective Date of this Ordinance shall be the date of approval by the City Council and publication as required by law.

**Homeowners Association:** A community group that is organized with respect to the Property in which individual owners of lots share common interests and responsibilities for costs and upkeep of common space or facilities. The group may take the form of a Home Owners Association or Property Owners Association.

**Impervious Cover:** Buildings, parking areas, roads, and other impermeable man-made improvements covering the natural land surface that prevent infiltration as determined by City Engineer. For purposes of compliance with this document, the term expressly excludes storage tanks for rainwater collection systems.

**Impervious Cover Percentage:** The percentage calculated by dividing the total acres of impervious cover on the Property by the total number of acres included in the Property.

**Landscaping Ordinance:** Article 28.06, Landscaping and Tree Preservation, of Chapter 28, Subdivisions and Site Development of the City of Dripping Springs Code of Ordinances.

**MUD Consent:** Agreement Concerning Creation and Operation of Dripping Springs

Municipal Utility District No. 1.

**Outdoor Lighting Ordinance:** Article 24.06, Outdoor Lighting, of Chapter 24 of the City of Dripping Springs Code of Ordinances.

**Owner:** Dripping Springs Partners, LLC., a Texas limited liability company, and 740 Sports Park, LLC, a Texas limited liability company, and their respective successors and assigns as subsequent owners of any portion of the Property.

**Project:** A land use and development endeavor proposed to be performed on the Property, as provided by this Ordinance and generally depicted on the PD Master Plan on *Exhibit B*".

**Project Approvals:** The approvals, waivers and exceptions to the Applicable Rules approved by the City with respect to the development of the Property, as set forth on *Exhibit E*".

**Property:** The land as more particularly described in *Exhibit "A"*.

**TCEQ:** The Texas Commission on Environmental Quality, or its successor agency.

**TIA:** Traffic Impact Analysis, as specified in Chapter 28, Article 28.02: Exhibit A-Subdivision Ordinance, Section 11.11 of the Dripping Springs Code of Ordinances.

**TxDOT:** The Texas Department of Transportation or its successor agency.

**Water Quality Protection Ordinance:** Article 22.05 of Chapter 22, General Regulations of the Code.

## ARTICLE II. DEVELOPMENT STANDARDS

- 2.1. **General Regulations.** Except as otherwise provided in this Ordinance and the PD Master Plan, the Property shall be governed by the site regulations and development standards contained in the Code of Ordinances.
- 2.2. **Phasing.** The Property may be developed in phases. The Project is intended to be developed in phases as shown on *Exhibit "H"*. Owner may change the phasing of development from time to time in response to market conditions or other factors. Phases may be developed concurrently. Construction Plans shall be submitted to the City for approval with each phase. Each plat filed with the City shall contain parkland required for that phase and parkland for the entire Land shall be submitted by separate exhibit with each plat application including the amount associated with prior platted areas and the amount associated with the area subject to such plat. The chart shall also show the average lot size computation for the Land as a whole and resulting from the plat and prior platted areas. In addition, an impervious cover and LUE tracking chart shall be submitted as an exhibit with each plat filed indicating the amount of impervious cover proposed for the entire Land, the amount associated with prior platted areas and the amount associated with the area subject

to such plat.

### 2.3. Permitted Uses.

**2.3.1. Base Zoning:** The base zoning district for the (i) townhome portion of the Property shall be SF-5, (ii) the single family lots portion of the Property shall be SF-3; (iii) commercial and civic center portion of the Property shall be Local Retail (LR).

**2.3.2. Allowed Uses:** Those uses listed in the PD Uses Chart attached as *Exhibit "I"* are hereby permitted by right within the Project.

### 2.4. Design Specifications:

**2.4.1 Impervious Cover.** The Property may be developed with an Impervious Cover Percentage that does not exceed 60% over the entire Project. Owner may apportion such limits as it deems desirable so long as the overall limitation herein specified is not exceeded.

**2.4.2 Maximum Residential Density:** The overall density of the residential portion of the Project will be a maximum of 4.7 dwelling units per acre, composed of up to 351 single family townhome units and 180 single family detached lots.

**2.4.3 Minimum Lot Area:** The residential single family detached lots shall have a minimum area of five thousand (5,000) square feet each with a width at street frontage of 50 feet. The townhouse units will be condominiums that are single-family dwellings and shall have a minimum length of two dwelling units, and shall not exceed 200 feet in length or the width of five attached units, whichever is less. Multiple townhome units may be located on each lot without the requirement to plat each unit so long as each townhome unit has access to adequate infrastructure as required by City ordinance. The owner has a conditional exemption from the requirement to individually plat each unit. In order to verify adequate infrastructure, an exhibit of the individual structures, units, and related infrastructure shall be provided at time of platting, at which time the conditional exemption shall become permanent. Townhouse condominium will be subject to the City's SF 5 zoning classification except as shown on *Exhibit E*. The commercial and GUI lot area shall comply with Local Retail zoning district.

### 2.4.4 Building Height.

**a.** Single family detached residential units shall not exceed a height of 2½ stories or 40 feet, whichever is less, measured from the average elevation of the existing grade of the unit to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances. Townhouse units shall not exceed a height of 3 stories or 50 feet, whichever is less, measured from the average elevation of the finished grade of the unit to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances.

b. Building within the LR District shall not exceed a height of 3 stories or 50 feet, whichever is less, measured from the average elevation of the finished grade of the building to the highest point of a flat or multi-level roof or as defined in Section 28.05.004 of the 2017 City of Dripping Springs Code of Ordinances. Notwithstanding the building may have a height of up to 55ft with approval of the City Administrator.

**2.4.5 Residential (including Townhouse) Setbacks.** Residential building setbacks shall be as follows:

a. **Minimum Front Yard:** Residential building setbacks shall be ten (10) feet from the street right of way.

b. **Minimum Side Yard:** Residential building setbacks shall be five (5) feet; provided, however corner lots will be set back a minimum of ten (10) feet from the street right of way.

c. **Minimum Rear Yard:** Residential building setbacks shall be ten (10) ten feet.

d. **Minimum Setback for Accessory Building:** For residential uses five (5) feet; no accessory buildings or structures are permitted in any residential front yard.

e. **Maximum Height of Fence:** Six (6) feet; provided, however, that the Property may have an eight (8) foot maximum height of fence where separating residential lots from adjacent arterial or collector roads. All fences shall provide a finished face to abutting streets and these fences shall not conflict with sight triangles at street intersections or obstruct views from adjacent driveways. No fence shall extend into the front Street Yard, nor shall there be artificial mounding of soil to increase the fence height.

f. **Buffer areas and Setbacks:** The buffer along such shared boundary shall meet the requirements in City Ordinance Section 28.06.052 – Landscape Buffers.

**2.4.6 Commercial Setbacks:** Commercial building setbacks shall be those required by Local Retail District unless otherwise approved by the City Administrator at the time of Site Development Permit.

**2.4.7 Cut & Fill.** Improvements requiring a site development permit will be held to no more than twelve (12) feet of cut or fill; however, fill placed under foundations with sides perpendicular to the ground need not comply with this requirement. No cut shall be greater than 16 feet, except for structural excavation for building foundations, which must be approved by City Engineer. To be allowable, the City Engineer must first review and approve the structural stability, the aesthetics, and the erosion prevention techniques to be utilized for all cuts and fills exceeding six feet (6') of depth. Cut and fill for public infrastructure improvements, including but



not limited to roadways and stormwater control ponds may exceed 12 feet where specifically reviewed and approved by the City Engineer. Cut and fill for residential lot grading of up to 15 foot of cut and 20 foot of fill may be allowed in specific locations where approved by the City Engineer; further, cut and fill requirements may exceed the maximum amounts to construct offsite roadways and detention ponds associated with the offsite roadways. All retaining walls and cut walls shall have native limestone facade and be approved by the City Engineer. Retaining walls taller than eight (8) feet shall be terraced so that no vertical segment of wall is taller than eight (8) feet.

#### 2.4.8 Parking.

**a. Residential Parking:** Development of the Property shall include parking at a minimum of two garage spaces per residence and townhouse. There shall be parking along only one side of each internal local street and such side will be the side where there are no fire hydrants. If fire hydrants are on both sides of the street, then parking shall be allowed on only one side and sufficient “no parking” signs or painted curb shall be on either side of the hydrant.

**b. Commercial Area Parking:** Parking shall be provided for the commercial area; the number of parking spaces within the Commercial Area shall be determined in accordance with the City ordinances and the proposed use of the commercial spaces. The total number of parking stalls for the commercial area may be determined by a shared use parking study provided by Owner and accepted by City.

#### 2.4.9 Design of Residences:

Design of all buildings shall meet the requirements of the City Exterior Design and Architectural Standards Ordinance Sec. 24.03 of the City Code of Ordinances, except as specifically provided in the subsections below. Design review and approval process shall be as defined in Sec. 24.03.012.

**(a) Single Family Detached Residences.** All residences shall consist of 100% Masonry on all elevations. Native Stone, Brick Masonry, Stucco, and Cementitious Siding shall be deemed appropriate materials to satisfy the Masonry requirement. A variety of masonry material sin encouraged in the design of each residence.

**(i) Elevation Articulation and Enhancement Features.** The front elevation of all homes shall contain wall plane articulation. No elevation shall be single wall plane across the entire width of the front elevation of the building. Each front elevation shall contain a minimum of two of the following elements, to be identified on the architectural plans submitted for building permit:

1. A minimum of two wall planes on the front elevation, offset a minimum of 18 inches;
2. Covered front porches or patio with a minimum size of 60 square feet;
3. A side-entry or swing-in garage entry (for garage doors that do not face the front street);

4. A garage door recessed from the primary front facade a minimum of four feet (for garage doors that face the street);
  5. Enhanced garage door materials (wood, ornamental metal, decorative door, window inserts and hardware, painted or stained to match house);
  6. Shed roof or trellis (at least 18" deep) above garage door for additional architectural detail;
  7. A combination of at least two roof types (e.g. hip and gable) or two different roof planes of varying height and/or direction;
  8. Two or more masonry finishes to compliment the architectural style of the home; and
  9. The addition of one or more dormers on the front elevation to compliment the architectural style of the home.
- (ii) **Floor Plan Variety.** Floorplans will be available in single and two-story housing plans. A minimum of six (6) floorplans will be available, offering a variation of front elevations so that there is no discernable repetition in any street scape. Articulation on the front face should be used to ensure a nonrepetitive streetscene. Where building pads are interrupted by a street or open space lot of at least 50 feet in width, a plan may repeat. A plan can be repeated every third building pad (Example: Plan A 1, Plan B 1, Plan A 1, Plan B 2), although elevations shall be different on the two houses.
- (iii) **Roof Forms and Treatments.** On buildings with pitched roofs, the minimum main roof pitch is 5:12. Lower roof pitches are acceptable on porch elements, awnings or architectural feature elements. Pitched roofs shall be clad in 30-year minimum composition shingles or low reflectivity coated metal roofing materials.

**(b) Townhome Residences:**

All multi-unit-freestanding townhome residence buildings shall consist of 100% Masonry on all elevations. Native Stone, Brick Masonry, Stucco, and Cementitious Siding shall be deemed appropriate materials to satisfy the Masonry requirement. A variety of masonry materials is encouraged in the design of each building.

- (i) **Townhome Elevations & Enhancements.** Street and Greenbelt elevations of all Multi-unit townhome buildings shall comply with the design standards for Elevation Articulation and Enhancement, and Roof Forms & Treatments as defined for Single Family Detached Homes and provided in the subsection above.
- (ii) **Townhome Building Variety.** Multi-unit townhome buildings shall consist of no more than five (5) attached dwelling units. Planning with buildings of a variety of unit mixes is encouraged. Multi-unit townhome buildings consisting of five (5) dwelling units shall not adjoin one another.

**(c) Commercial and Civic Buildings:**

(i) Design of all buildings for commercial or civic uses shall meet the requirements of the City Exterior Design and Architectural Standards Ordinance Sec. 24.03 of the City Code of Ordinances.

(ii) Alternative Design Standards for any building type may be developed in order to create unique or enhanced design standards with equivalent or increased aesthetic effect. The considerations and findings for approval and the approval and appeal process for an Alternative Design Standard shall be as provided in Sec. 24.03.007. Such Alternative Design Standards shall incorporate the building material preferences and incentives as defined in Sec. 24.03.053(c)

**2.4.10 Parkland:** The Project is required to have 22.22 acres of Parkland. The Project will include approximately 30.91 net acres that will be dedicated for Parkland, the area being shown more fully shown on *Exhibit "C"* attached hereto and incorporated herein for all purposes (the "Parkland"). This dedication of the Parkland shall fulfill all parkland dedication requirements of the Project to the City, including, but not limited to the requirements of the Parkland Dedication Ordinance under the City's Code of Ordinances and any applicable requirements within the Subdivision Ordinance. Owner has prepared a Master Parks and Open Space Plan which has been approved by City. The Park Development Fees in Section 28.03.010 of the Applicable Rules shall be paid at time of Final Platting.

**2.5. Parks, Trails and Open Space.** Parkland and open space and associated improvements shall be in accordance the standards shown on *Exhibit "C"* attached hereto. A Master Parks and Trails Plan shall be submitted to the City for approval prior to approval of the first preliminary plat for the Project. The Master Parks and Trails Plan shall address all issues regarding public dedication, public access, and maintenance including finalizing the location of parks, amenities, trails, and trail connections to adjacent properties. The Park Development Fee shall be paid upon approval of the final plat of the Property.

## 2.6. Access.

**2.6.1 Traffic Impact Analysis.** Owner has provided to the City, and the City has approved the Traffic Impact Analysis.

**2.6.2 Roadway Alignments:** The roadway alignments shown on the PD Master Plan are approved by the City. All roadways and driveways not shown on the PD Master Plan shall be subject to the approval of the City Administrator, which approval shall not be unreasonably withheld.

**2.7. Street Standards.** The standards for the various street widths and related landscaping and walkways are depicted on *Exhibit "F"*.

**2.8. Utilities.** All proposed utilities within the Property will be located underground (other than above-ground appurtenances to such underground utilities and the utility provider's three

phase electric lines providing service to the entire Project). All other issues related to utilities shall be finalized by separate agreement.

**2.9. Lighting and Signage.** All illumination for street lighting, signage, security, exterior, landscaping, and decorative facilities for the Project shall comply with Article 24.06 of the City's Code of Ordinances ("Outdoor Lighting Ordinance"), as may be amended, from time to time. To the extent any portion of the Agreement conflicts or is inconsistent with the Outdoor Lighting Ordinance, the Outdoor Lighting Ordinance shall control. Owner, homeowners, end users and/or a Property Owner Association will be required to operate and maintain the lighting within the Project according to the Applicable Rules. Owner agrees that the CCR's for the Project shall reinforce this provision and be applied to all construction and builders. A Master Sign Plan shall be submitted for City approval prior to the placement of any signs that are not in compliance with either (i) the City's Sign Ordinance or (ii) the variances described in the PD Modifications Chart attached hereto as *Exhibit "E"*.

**2.10. Water Quality Buffer Zones.** The Water Quality Buffer Zones are depicted on *Exhibit "G"*.

**2.11. Water Quality:** Owner agrees to implement and comply with the City's Water Quality Protection Ordinance in place on the Effective Date except as modified by this Ordinance or by specific variance.

**2.12. Tree Replacement Plan.**

**2.12.1.** Subject to 2.12.1.2, the Tree Replacement Plan shall be in accordance to the City of Dripping Springs Code of Ordinances – Chapter 28, Article 28.06 Landscaping and Tree Preservation.

**2.12..2** The cash-in-lieu fee requirements are determined to be \$539,400. There will be 89.9 acres of Disturbed Trees (89.9 acres times \$6,000 equals \$539,400). Owner shall receive credit against the cash-in-lieu fees equal to the following:

- 180 lots with two 2.5-inch caliper size trees at \$830.00 per tree for a total lot credit of \$298,800, plus
- 81 townhome buildings with two 2.5-inch caliper size trees at \$830.00 per tree for a total lot credit of \$134,460, plus
- 237 2.5-inch caliper size trees to be located in the boulevards and commercial center at \$830.00 per tree for a total of \$196,710.

The combined total credit will be \$629,970. The total cost of tree replacements in the Tree Replacement Plan exceeds the minimum the total cost per acre of disturbance in the Tree Removal Plan.

**AGREEMENT CONCERNING CREATION AND OPERATION OF DRIPPING  
SPRINGS MUNICIPAL UTILITY DISTRICT NO. 1**

This **AGREEMENT CONCERNING CREATION AND OPERATION OF DRIPPING SPRINGS MUNICIPAL UTILITY DISTRICT NO. 1** (this "Agreement") is by the City of Dripping Springs, Texas, a Type A general law municipality located in Hays County, Texas (the "City"); and Robert Mokhtarian, Individually, Robert Mokhtarian, Trustee for Edward Mokhtarian, and Robert Mokhtarian, Trustee for Edmund Mokhtarian (collectively, "Mokhtarian"); 740 Sports Park, LLC, a Texas limited liability company ("740 SP"); and Clinton Cunningham and Dawn Cunningham ("Cunningham", and collectively with Mokhtarian and 740 SP, the "Owners"). Subsequent to its creation, **Dripping Springs Municipal Utility District No. 1**, a proposed municipal utility district to be created pursuant to Article XVI, Section 59 of the Texas Constitution and Chapters 49 and 54 of the Texas Water Code as contemplated by this Agreement (the "District"), will become a party to this Agreement. The City, the Owners, and the District are sometimes referred to herein individually as a "Party" and collectively as the "Parties".

**RECITALS**

**WHEREAS**, the Owners own the approximately 112 acres of land more particularly described by metes and bounds on the attached Exhibits A1, A2 and A3 (the "Land"); and

**WHEREAS**, the Land is currently located entirely within the extraterritorial jurisdiction of the City but is anticipated to be annexed into the corporate boundaries of the City prior to the creation of the District; and

**WHEREAS**, the Land is and its boundaries are depicted on the concept plan attached as Exhibit B (the "Concept Plan"); and

**WHEREAS**, Mokhtarian owns the portion of the Land described and/or depicted on Exhibit A-1, 740 SP owns the portion of the Land described and/or depicted on Exhibit A-2, and Cunningham owns the portion of the Land described and/or depicted on Exhibit A-3; and

**WHEREAS**, the Owners intend that the Land will be developed in phases as a master-planned, mixed-use community (the "Project"); and

**WHEREAS**, the Owners and the City desire to enter into this Agreement to encourage innovative and comprehensive master-planning of the Land, provide certainty of regulatory requirements throughout the term of this Agreement, and result in a high-quality development for the benefit of the present and future residents of the City and the Land; and

**WHEREAS**, the Owners have proposed to create the District over the Land pursuant to an application to be filed with and processed through the TCEQ (as defined in ARTICLE I below) and have presented the City with a petition requesting the City's consent to the creation of the District; and

**WHEREAS**, the purposes of the proposed District include designing, constructing, acquiring, installing, financing, and conveying to the applicable governmental authority or utility

provider the District Improvements (as defined in ARTICLE I below) to serve the area within its boundaries; and

**WHEREAS**, construction of the District Improvements will occur in phases (as determined by the District and the Developer(s) (as defined herein)) in accordance with this Agreement; the applicable ordinances of the City; Chapters 49 and 54, Texas Water Code, as amended; the rules and regulations of the TCEQ, as amended; and applicable state and federal regulations (collectively, the "Applicable Regulations"); and

**WHEREAS**, the City and the Owners intend that the Reimbursable Costs (as defined in ARTICLE I below) of the District Improvements will be paid from the net proceeds of bonds issued by the District (or surplus funds of the District) in accordance with this Agreement, the applicable rules and regulations of the TCEQ, as amended, and the applicable requirements of the Texas Attorney General's Office, as amended; and

**WHEREAS**, the District is authorized to enter into this Agreement pursuant to the provisions of Texas law, including but not limited to, Chapters 49 and 54 of the Texas Water Code, as amended; Chapter 791 of the Texas Government Code, as amended; and Section 552.014, Texas Local Government Code, as amended; and

**WHEREAS**, the City is a Type A general law municipality operating under the laws of the State of Texas pursuant to which the City has the authority to enter into and perform its obligations under this Agreement;

**NOW, THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, including the agreements set forth below, the Parties contract as follows:

## **ARTICLE I. DEFINITIONS**

**Section 1.01**            **Definitions.** In addition to the terms defined elsewhere in this Agreement, the following terms and phrases used in this Agreement will have the meanings set out below:

Applicable Rules means the City's rules, ordinances, and regulations in effect as of the Effective Date of this Agreement, as amended by: (i) any amendments authorized by Chapter 245, Texas Local Government Code; (ii) any approvals, variances, waivers, and exceptions to such rules that are approved by the City; and (iii) any additional restrictions or regulations agreed to by the Developer in writing.

Bonds means bonds, notes, or other obligations or indebtedness issued or incurred by the District under the District's borrowing power.

City Administrator means the City Administrator of the City.

Commission or TCEQ means the Texas Commission on Environmental Quality or its successor agency.

County means Hays County, Texas.

Developer means any Owner, or any successor or permitted assign of an Owner, that notifies the City of its intent to develop all or any portion of the Land under Section 6.04 below.

District Improvements means the water, wastewater, and drainage utilities (including capacity or contract rights to capacity therein), Road Projects, and other public improvements, as authorized by applicable law, and whether on-site or off-site, to serve the area within the District boundaries.

Effective Date of this Agreement means the 19<sup>th</sup> day of October, 2021.

Reimbursable Costs means all costs of the District Improvements (including land and easements costs) that are eligible for reimbursement from the net proceeds of Bonds issued by the District in accordance with this Agreement and, as applicable, the rules and regulations of the TCEQ, as amended.

Road Projects means any road projects or improvements in aid of such road projects that the District is authorized to undertake pursuant to Article III, Section 52 and Article XVI, Section 59 of the Texas Constitution, as amended, and Chapters 49 and 54 of the Texas Water Code, as amended, or otherwise pursuant to any authority granted to the District by special act of the Texas Legislature.

## ARTICLE II. CREATION OF THE DISTRICT AND RELATED MATTERS

**Section 2.01**            Consent to Creation of District. The City acknowledges receipt of the Owners' request, in accordance with Section 54.016 of the Texas Water Code and Section 42.042 of the Texas Local Government Code, for creation of the District over the Land. On the Effective Date of this Agreement, the City has approved the resolution attached as Exhibit C consenting to the inclusion of the Land within the District (the "Consent Resolution"). The City agrees that the Consent Resolution will constitute and evidence the City's consent to the creation of the District within the City's corporate limits in accordance with Section 54.016 of the Texas Water Code and Section 42.042 of the Texas Local Government Code, and that no further consent will be required on the part of the City to evidence the City's consent to the creation of the District.

**Section 2.02**            District Execution of Agreement.

(a) The Owners shall cause the District to approve, execute, and deliver to the City this Agreement within 30 days after the date that the District's Board of Directors holds its organizational meeting. If the District fails to do so within such 30-day period, then (after notice and opportunity to cure) the City may terminate this Agreement and may repeal the Consent Resolution.

(b) If the District fails to approve, execute, and deliver to the City this Agreement as required by subsection (a) above, and if the City does not terminate this Agreement under

subsection (a), such failure shall operate to prohibit the District from taking any actions to issue Bonds until the failure has been cured. The City shall have the right to enjoin the issuance of Bonds during any period in which such a material breach exists.

(c) If the District fails to approve, execute, and deliver to the City this Agreement as required by subsection (a) above, and if the City has not terminated this Agreement under subsection (a), such failure shall operate to prohibit the Owners or any Developer from entering into any reimbursement agreements with the District until the failure has been cured. The City shall have the right to enjoin the execution of such reimbursement agreements during any period in which such a material breach exists.

**Section 2.03**            **Intent of Parties Related to Allocation Agreement.** Under Section 54.016(f) of the Texas Water Code, the City, as a City providing written consent for inclusion of land in a district, may provide for a contract designated as an “allocation agreement”, to be entered into between the City and the District. The Parties acknowledge that the provision for an “allocation agreement” under Section 54.016(f) of the Texas Water Code is at the City’s discretion. The City confirms that it is intentionally not providing for an allocation agreement. The Parties agree that this Agreement does not constitute and will not be deemed to constitute an allocation agreement within the meaning of Section 54.016(f) of the Texas Water Code because the District will be located in the corporate limits of the City upon creation.

**Section 2.04**            **Dissolution.** The City may dissolve the District at any time after the District has issued Bonds to finance all Reimbursable Costs paid or incurred to construct the District Improvements that are required to serve full development of the Land. Upon dissolution of the District, the City will assume the indebtedness and legal obligations of the District to the extent required by law.

### **ARTICLE III. AUTHORITY OF THE DISTRICT TO ISSUE BONDS**

**Section 3.01**            **Authority to Issue Bonds.** The District agrees that the maximum aggregate amount of bonds issued by the District shall not exceed \$38,675,000 without the approval of the City. The District may issue Bonds and reimburse any Developer for all purposes and expenditures authorized by applicable law, including:

(a) The purchase, construction, acquisition, repair, extension, and improvement of land, easements, works, improvements, facilities, plants, equipment, and appliances (including capacity or contract rights to capacity in any of the foregoing) necessary to:

(1) Provide a water supply for municipal uses, domestic uses, and commercial purposes;

(2) Collect, transport, process, dispose of, and control all domestic, industrial, or communal wastes whether in fluid, solid, or composite state (other than solid waste, as defined in the Applicable Rules);

(3) Gather, conduct, divert, and control local storm water or other local harmful excesses of water;



- (4) Design, acquire, construct, and finance Road Projects; and
- (5) Develop and maintain park and recreational facilities, to the extent permitted by applicable law; and

(b) Refunding any outstanding Bonds, provided such refunding Bonds satisfy the terms and conditions of this Agreement;

(c) Paying organizational, administrative, and operating costs during creation and construction periods and interest thereon, subject to the applicable limitations of Section 49.155 of the Texas Water Code; and

(d) Paying other expenses authorized by Section 49.155 of the Texas Water Code.

**Section 3.02                    City Submittals; Objections.**

(a) The District agrees to give written notice to the City of its intention to issue Bonds as follows:

(1) If the District intends to issue Bonds that require TCEQ approval, the District will provide notice of same to the City Administrator and City Attorney concurrently with the District's submittal of each application to the TCEQ for approval of issuance of Bonds (a "Notice of Intent to Issue Bonds"), which Notice of Intent to Issue Bonds will include the following:

- (A) The principal amount of Bonds expected to be issued;
- (B) The Summary of Costs of the Bond Issue including both Construction and Non Construction Costs;
- (C) The projected Schedule of Events related to the issuance of the Bonds;
- (D) The proposed District debt service rate and total District tax rate after issuance of the Bonds; and
- (E) A Letter from the District's Financial Advisor stating that the Bonds are being issued in compliance of the TCEQ rules in place at the time the Bonds are expected to be issued.

(2) If the District intends to issue Bonds that do not require TCEQ approval (e.g., Bonds for Road Projects or refunding Bonds), the District will provide notice of same to the City Administrator and City Attorney at least 30 days prior to pricing of the Bonds.

(b) The City may object to a Bond application or to the issuance of a series of Bonds for the reason that a Developer or the District is in default of any provision of this Agreement, including the terms and conditions in Section 3.03. If the City objects to a Bond application or issuance due to such a default (a "City Objection"), the City shall have a period of 30 days after

receiving the notice required by Sections 3.02(a)(1) or 3.02(a)(2), as applicable, within which to notify the District of the City Objection. If the City timely objects to a Bond application or issuance due to such a default, the Bond application and issuance will be delayed until such time as the default is cured. If the City fails to object to a Bond application or issuance within such periods specified herein, the City shall be deemed to have waived all objections. If the City objects to a Bond application or issuance, such City Objection must: (i) be in writing; (ii) be given to the District; (iii) be signed by the City Administrator or the City Administrator's designee; and (iv) specifically identify the applicable provision of this Agreement as to which the District or the Developer is in default. If a City Objection is timely given to the District with respect to a specific Bond application or issuance of Bonds, the City and the District will cooperate to resolve the City Objection within a reasonable time, and the Bond application or issuance of Bonds to which the City Objection applies will be delayed until the City Objection has been cured or waived by written agreement.

(c) Within 30 days after the closing date of a series of Bonds, the District shall deliver to the City Administrator a copy of the final official statement for such series of Bonds and a copy of any report on reimbursable costs required by the rules of the TCEQ.

**Section 3.03**            **Terms and Conditions of Bonds.** Bonds, including refunding Bonds, issued by the District shall, unless otherwise agreed to by the City, comply with the following requirements:

(a) No individual series of Bonds will be issued with a term which exceeds 25 years from the closing date of such series of Bonds;

(b) The Bonds (other than refunding Bonds and Bonds sold to a federal or state agency) shall only be sold after the taking of public bids therefor (unless current law changes to permit otherwise), and no Bonds shall be sold for less than 97% of par, provided that the net effective interest rate on Bonds so sold, taking into account any discount or premium as well as the interest rate borne by such Bonds, shall not exceed 2% above the highest average interest rate reported by the Daily Bond Buyer in its weekly "20 Bond Index" during the 30-day period next preceding the date notice of the sale of the Bonds is given (or, if the Daily Bond Buyer ceases to exist, a comparable publication reporting average bond interest rates);

(c) The District shall reserve the right to redeem its Bonds not later than the tenth anniversary of the closing date of such Bonds, without premium;

(d) No variable rate Bonds shall be issued by the District;

(e) Any refunding Bonds must provide for a minimum of 3% present value savings and, further, must provide that the latest maturity of the refunding Bonds may not extend beyond the latest maturity of the refunded Bonds; and

(f) Capitalized interest shall not exceed three years interest.

**Section 3.04**            **Other Funds.** The District may obtain and use funds and assets from any available, lawful source to provide for the acquisition, ownership, maintenance, and operation of the District Improvements or its other facilities, as well as to accomplish any purpose

or to exercise any function, act, power, or right authorized by law. Such funds and assets may include revenues from any of the systems, facilities, properties, and assets of the District not otherwise committed for the payment of indebtedness of the District; maintenance taxes; loans, gifts, grants, and donations from public or private sources and revenues from any other source lawfully available to the District.

**ARTICLE IV.  
WATER AND WASTEWATER SERVICE; OTHER UTILITIES**

**Section 4.01**            **Retail Water Service.** The Land is located within the certificated water service area (“CCN”) of Dripping Springs Water Supply Corporation (“DSWSC”) and will receive retail water service from DSWSC or the successor holder of the DSWSC CCN pursuant to a separate agreement with DSWSC.

**Section 4.02**            **Retail Wastewater Service.** Retail wastewater collection and treatment services will be provided by the City, the specific terms of which will be governed by separate agreement (the “Wastewater Agreement”). The wastewater collection systems within the District shall be owned by the City. Subject to specific terms to be determined by the Wastewater Agreement, which could include interim alternatives, the City agrees and commits to provide wastewater service sufficient for the full build-out of the District at flow rates sufficient to meet the minimum requirements of all Applicable Regulations, and agrees to provide written confirmation of the availability of service upon the District’s request if required in connection with any District Bond sale.

**Section 4.03**            **Other Utilities.** The City will provide solid waste and recycling services within the District for the same rates, in the same manner, on the same terms and conditions, and subject to the same regulations and ordinances, as amended, that the City provides solid waste and recycling services to other customers inside its corporate limits. The District will have no liability for charges for such services except for charges for services provided to the District, if any. The Developer will have the right to select the providers of cable television, gas, telephone, telecommunications, and all other utilities and services, or to provide “bundled” utilities within the Land.

**ARTICLE V.  
DESIGN, FINANCING, CONSTRUCTION, CONVEYANCE, OWNERSHIP,  
OPERATION, AND MAINTENANCE OF DISTRICT IMPROVEMENTS**

**Section 5.01**            **Design, Financing, and Construction.** Unless otherwise specifically provided in this Agreement, the Developer will design, finance, construct, and convey to the City (or, in the case of water improvements, convey to DSWSC) on behalf of the District all District Improvements at no cost to the City. Construction of all District Improvements will be bid in accordance with the requirements applicable to the District under the rules of the TCEQ and Chapters 49 and 54 of the Texas Water Code. All District Improvements will be designed and constructed in accordance with the Applicable Rules and the regulations of any other governmental entities with jurisdiction and pursuant to plans and specifications approved by the City. Neither the Developer nor the District will be required to pay for or construct any improvements to the City’s existing utility systems or other off-site improvements required to serve the Land, except as

provided for herein with respect to the District Improvements or by separate agreement. Further, unless the Developer's service requirements for the Land change or the Parties otherwise agree in writing, the City will not require that any Developer or the District oversize, finance, or construct any utility or road improvements to serve property other than the Land.

**Section 5.02**                    **Conveyance, Ownership, Operation, and Maintenance.** Upon completion of construction of each phase of the District Improvements, subject to the Developer's right, if any, to reimbursement from the District for the cost of those District Improvements in accordance with applicable law: (a) the Developer will promptly convey the water utility components of the District Improvements to DSWSC for operation and maintenance in accordance with the rules and regulations of DSWSC; (b) the City will accept the remainder of the District Improvements (the "City Operated District Improvements") for operation and maintenance in accordance with the Applicable Rules; and (c) the Developer will promptly convey the City Operated District Improvements to the City, subject to (i) the City's obligation to provide service to the District as provided in this Agreement, and (ii) a reservation of all capacity in the City Operated District Improvements for the benefit of the District. The Developer will also assign to the City all easements, contract rights, warranties, guarantees, assurances of performance, and bonds related to the City Operated District Improvements that are conveyed to the City. The City agrees that its acceptance of the City Operated District Improvements and the related assignments will not be unreasonably withheld, conditioned, or delayed. Upon any such conveyance and acceptance, the City agrees to operate and maintain such City Operated District Improvements in good condition and working order and to provide service to the District in accordance with this Agreement. Conveyance will not affect the Developer's right to reimbursement from the District for the cost of any District Improvements. Nothing herein will prevent the City from using City Operated District Improvements to serve customers outside of the District provided that there is sufficient capacity reserved to serve the residents and property owners within the District as and when required by development within the Land.

## **ARTICLE VI. DEVELOPMENT MATTERS**

### **Section 6.01**                    **Development Matters.**

(a) The City hereby confirms its approval of up to 531 residential units together with governmental, retail, and office uses within the Land. The Developer shall apply for zoning related to this approval. The Project shall comply with all Applicable Rules unless otherwise modified by this Agreement or future approvals.

### **Section 6.02**                    **Land Uses, Density, and Open Space.**

(a) The Land uses will be limited to townhomes, residential lots, and retail, office, governmental/utility/institutional, and park uses as reflected on the Concept Plan and comply with the Applicable Rules related to the approved zoning classification for the Land. The residential units will be townhomes or detached residential lots as defined by the Applicable Rules and the approved zoning classification for the Land.

(1) Detached single family residential units shall consist of 100% masonry on all elevations. Native stone, brick masonry, stucco, and cementitious siding shall be deemed appropriate materials to satisfy the masonry requirement.

(2) The front elevation of all detached single family residential homes shall contain wall plane articulation in compliance with the following. No elevation shall be single wall plane across the entire width of the front elevation. Each front elevation shall contain a minimum of two of the following elements, to be identified on the architectural plans submitted for building permit:

- a. A minimum of two wall planes on the front elevation, offset a minimum of 18 inches;
- b. Covered front porches or patio with a minimum size of 60 square feet;
- c. A side-entry or swing-in garage entry (for garage doors that do not face the front street);
- d. A garage door recessed from the primary front facade a minimum of four feet (for garage doors that face the street);
- e. Enhanced garage door materials (wood, ornamental metal, decorative door, window inserts and hardware, painted or stained to match house);
- f. Shed roof or trellis (at least 18" deep) above garage door for additional architectural detail;
- g. A combination of at least two roof types (e.g. hip and gable) or two different roof planes of varying height and/or direction;
- h. Two or more masonry finishes to compliment the architectural style of the home; and
- i. The addition of one or more dormers on the front elevation to compliment the architectural style of the home.

(3) Although the requirements of subsections (1) and (2) above technically apply only to detached single family residential units, substantively similar requirements, modified as appropriate based on product type, will apply to townhomes.

(4) The Land may include multiple phases for platting purposes.

(b) The overall density of the development of the Land will be a maximum of 4.7 dwelling units per acre, composed of 351 single family townhome units and 180 single family lots, as shown on the Concept Plan.

(1) Each of the townhome rows will be restricted to no more than six attached units per building/slab.

(2) The single family lots shall have a minimum lot area of 6,000 square feet with the width at the street frontage of 50 feet.

(3) The retail/GUI areas will be limited to no more than a total of 6.4 acres, which may be altered upon receipt of written administrative approval from the City Administrator.

(c) The areas designated on the Concept Plan as Open Space are composed of detention/water quality areas, stream setbacks, slopes and landscape buffers containing 23.9 acres, all as shown on the Concept Plan. In addition, the Project will have pocket parks, trails, and a potential town green dedicated to the City. This Open Space with the listed amenities shall fulfill and satisfy all parkland dedication requirements of the Land to the City, including, but not limited to, the requirements of Article 28.03 (Parkland Dedication) and Sections 19.1 and 19.4 (Subdivisions) of the Applicable Rules. However, the Park Development Fees in Section 28.03.010 of the Applicable Rules shall be paid at time of Final Plat. The Developer shall submit a Master Parks and Open Space Plan that complies with this Agreement at time of Final Platting.

(d) The Project shall comply with the adopted City-wide Trail Plan in effect as of the Effective Date of this Agreement.

**Section 6.03**            **Easement Dedications.** In consideration for the City's consent to the creation of the District, the Owners (as to their respective tracts) agree to dedicate and convey to the City, at no cost to the City, the collector road and wastewater easements depicted on **Exhibit D.** The Owners reserve the right to seek reimbursement for such dedications from the District in accordance with this Agreement and applicable law.

**Section 6.04**            **Phased Development.** Because it is anticipated that the Land will be developed in phases, portions of the Land not under active development may remain in use as agricultural lands or as open space land.

**Section 6.05**            **"Developer" Status.** If and as an Owner, or any successor or permitted assignee of an Owner, initiates development of all or any portion of the Land, such Owner, or the applicable successor or permitted assignee of the Owner, will notify the City in writing of such election (which notice must also describe the portion of the Land to be developed), at which time the Owner, or the applicable successor or permitted assignee of the Owner, will become (and will be deemed to have assumed the obligations of) a "Developer" under this Agreement as to the portion of the Land described in the notice.

**Section 6.06**            **Uniform and Continued Development; Vesting.** The Parties intend that this Agreement authorize certain land uses and development on the Land; provide for the uniform review and approval of plats and development plans for the Land; provide exceptions to certain ordinances; and provide other terms and consideration. Accordingly, the Land will be developed and the infrastructure required for the Land will be designed and constructed in accordance with the Applicable Rules, the Concept Plan, and this Agreement. Subject to the terms and conditions of this Agreement, the City confirms and agrees that the Owners and any Developer

hereunder have vested authority to develop the Land in accordance with the Applicable Rules. Ordinances, rules, or regulations, or changes or modifications to the City's ordinances, rules, and regulations, adopted after the Effective Date of this Agreement will only be applicable to the extent permitted by Chapter 245 of the Texas Local Government Code. If there is any conflict between the Applicable Rules and the terms of this Agreement, the terms of this Agreement will control. The City further agrees that it will not, during the term of this Agreement, impose or attempt to impose: (a) any moratorium on building or development within the Land; or (b) any land use or development regulation that limits the rate or timing of land use approvals, whether affecting preliminary plats, final plats or other necessary approvals, within the Land. The preceding sentence does not apply to temporary moratoriums uniformly imposed throughout the City due to an emergency constituting imminent threat to the public health or safety, however, any such a moratorium may continue only during the duration of the emergency.

**Section 6.07** **Term of Approvals.** The Concept Plan, and any preliminary subdivision plat or final subdivision plat that is consistent with the Concept Plan, the Applicable Rules, and State law, will be effective for the term of this Agreement.

**Section 6.08** **Director Lots.** The conveyance, from time to time, by metes and bounds or otherwise of any portion of the Land to any person for the purpose of qualifying such person to be a member of the Board of Directors of the District will not be considered a subdivision of land requiring a plat or otherwise requiring the approval of the City.

**Section 6.09** **Manufactured Home for District Elections.** One (1) HUD-certified manufactured home may be located within the Land solely for the purpose of providing qualified voters within the District for the District's confirmation, director, maintenance tax, and bond elections. The manufactured home permitted by this Agreement will comply with all City regulations and will be removed within sixty (60) days from the date of last election needed for the purposes of this Agreement.

**Section 6.10** **Impact Fees.** Any impact fees payable to the City with respect to the Land will be paid by or on behalf of the Developer to the City in accordance with the Applicable Rules; and, in consideration of the payment of impact fees to the City, the Developer will acquire, on behalf of the District, the guaranteed right to receive service from the City's systems, as applicable, for the living unit equivalents of service for which impact fees have been paid. Any impact fees payable to DSWSC with respect to the Land will be paid by or on behalf of the Developer to DSWSC in accordance with DSWSC's rules.

**Section 6.11** **Building Code.** All buildings shall be constructed in accordance with the building or construction codes in the Applicable Rules. Fees for all building permits or building inspections by the City or the City's designee under this section shall be paid by builders. Building permit and building inspection fees are not included among the fees specifically listed in this Agreement. The City will provide inspections in a prompt and timely manner.

**Section 6.12** **Lighting.** All illumination for street lighting, signage, security, exterior, landscaping, and decorative facilities for the Project shall comply with Article 24.06 of the Applicable Rules.

**Section 6.13** Tree Preservation. Article 28.06, Landscaping and Tree Preservation, of the Applicable Rules shall apply to the Land.

**ARTICLE VII.  
MISCELLANEOUS PROVISIONS**

**Section 7.01** Authority. This Agreement is entered into, in part, under the statutory authority of Section 552.014, Texas Local Government Code, which authorizes the City to enter into a written contract with a water district created under Article XVI, Section 59 of the Texas Constitution under which the district will acquire for the benefit of and convey to the City one or more projects. The City certifies, represents, and warrants that the execution of this Agreement has been duly authorized and adopted in conformity with applicable law and City ordinances. Each Owner hereby certifies, represents, and warrants that the execution of this Agreement has been duly authorized and adopted in conformity with the constituent documents of each person or entity executing on behalf of such Owner.

**Section 7.02** Term. The term of this Agreement shall commence on the Effective Date and (unless terminated pursuant to the terms hereof) shall continue until the District is dissolved in accordance with Section 2.04 above.

**Section 7.03** Termination and Amendment by Agreement. This Agreement may be terminated or amended as to all of the Land at any time by mutual written consent of the City, the Owners, and, following creation of the District, the District; may be terminated or amended only as to a portion of the Land at any time by the mutual written consent of the City, the Owner of the portion of the Land affected by the amendment or termination and, following creation of the District, the District; and, after full-build out of the Land, may be terminated or amended at any time by the mutual written consent of the City and the District.

**Section 7.04** Remedies.

(a) If the City defaults under this Agreement, the Owners or the District may give notice setting forth the event of default ("Notice") to the City. If the City fails to cure any default that can be cured by the payment of money ("Monetary Default") within 45 days from the date the City receives the Notice, or fails to commence the cure of any default specified in the Notice that is not a Monetary Default within 45 days of the date of the Notice, and thereafter to diligently pursue such cure to completion, the Owners or the District may enforce this Agreement by a writ of mandamus from a Hays County District Court or terminate this Agreement; however, any such remedy will not revoke the City's consent to the creation of the District.

(b) If an Owner defaults under this Agreement, the City or the District may give Notice to the Owner. If the Owner fails to cure any Monetary Default within 45 days from the date it receives the Notice, or fails to commence the cure of any default specified in the Notice that is not a Monetary Default within 45 days of the date of the Notice, and thereafter to diligently pursue such cure to completion, the City or the District may enforce this Agreement by injunctive relief from a Hays County District Court or terminate this Agreement as to the portion of the Land owned by such Owner; however, except as permitted by Section 2.02(a), any such remedy will not revoke the City's consent to the creation of the District.



(c) If the District defaults under this Agreement, the City or the Owners may give Notice to the District. If the District fails to cure any Monetary Default within 45 days from the date it receives the Notice, or fails to commence the cure of any default specified in the Notice that is not a Monetary Default within 45 days of the date of the Notice, and thereafter to diligently pursue such cure to completion, the City or the Owners may enforce this Agreement by a writ of mandamus from a Hays County District Court or terminate this Agreement; however, any such remedy will not revoke the City's consent to the creation of the District.

(d) If any Party defaults, the prevailing Party in the dispute will be entitled to recover its reasonable attorney's fees, expenses, and court costs from the non-prevailing Party.

**Section 7.05            Assignment.**

(a) This Agreement, and the rights of the Owners hereunder, may be assigned by the Owners, with the City's consent, as to all or any portion of the Land. Any assignment will be in writing, specifically set forth the assigned rights and obligations, be executed by the proposed assignee, and be delivered to the City. The City's consent to any proposed assignment will not be unreasonably withheld or delayed. The City hereby expressly consents to and approves the assignment of this Agreement to Dripping Springs Partners, Limited Liability Company and agrees that no further consent to such an assignment will be necessary; however, a copy of such assignment must be delivered to the City.

(b) If an Owner assigns its rights and obligations hereunder as to a portion of the Land, then the rights and obligations of any assignee and the Owner will be severable, and the Owner will not be liable for the nonperformance of the assignee and vice versa. In the case of nonperformance by one Owner or Developer, the City may pursue all remedies against that nonperforming Owner or Developer, but will not impede development activities of any performing Owner(s) or Developer(s) as a result of that nonperformance.

(c) This Agreement is not intended to be binding upon, or create any encumbrance to title as to, any ultimate consumer who purchases a fully developed and improved lot within the Land.

**Section 7.06            Cooperation.**

(a) The Parties each agree to execute such further documents or instruments as may be necessary to evidence their agreements hereunder.

(b) The City agrees to cooperate with the Developer(s) in connection with any waivers or approvals that the Developer(s) may desire from Hays County in order to avoid the duplication of facilities or services in connection with the development of the Land.

(c) In the event of any third-party lawsuit or other claim relating to the validity of this Agreement or any actions taken hereunder, the Parties agree to cooperate in the defense of such suit or claim, and to use their respective best efforts to resolve the suit or claim without diminution in their respective rights and obligations under this Agreement.

(d) Whenever the term “approve” or “approval” is used in this Agreement, the party whose approval is required will not unreasonably withhold or delay it. Where approval is necessary, the party seeking approval may request approval in writing. If the party whose approval is requested fails to either approve the submittal or provide written comments specifically identifying the required changes within 60 working days, the submittal, as submitted by the requesting party, will be deemed to have been approved by the party whose approval is requested.

**Section 7.07**                    **Notice.** Any notice given under this Agreement must be in writing and may be given: (a) by depositing it in the United States mail, certified, with return receipt requested, addressed to the Party to be notified and with all charges prepaid; or (b) by depositing it with Federal Express or another service guaranteeing “next day delivery”, addressed to the Party to be notified and with all charges prepaid; or (c) by personally delivering it to the Party, or any agent of the Party listed in this Agreement. Notice by United States mail will be effective on the earlier of the date of receipt or three days after the date of mailing. Notice given in any other manner will be effective only when received. For purposed of notice, the addresses of the Parties will, until changed as provided below, be as follows:

CITY:                                City of Dripping Springs  
    Attn: City Administrator  
    P.O. Box 384  
    Dripping Springs, Texas 78620

With Required Copy to:        City Attorney  
    P.O. Box 384  
    Dripping Springs, Texas 78620

OWNERS:                            Robert Mokhtarian, Individually and as  
    Trustee for Edward Mokhtarian and  
    Edmund Mokhtarian  
    c/o Gregg Bell  
    100 Congress Avenue, Suite 200  
    Austin, Texas 78701

740 Sports Park, LLC  
Attn: David Denbow  
2780 West Hwy 290, Bldg. A  
Dripping Springs, Texas 78620

Clinton and Dawn Cunningham  
840 Sports Park Road  
Dripping Springs, Texas 78620

DISTRICT: John W. Bartram  
Armbrust & Brown, PLLC  
100 Congress Avenue, Suite 1300  
Austin, Texas 78701

The Parties may change their respective addresses to any other address within the United States of America by giving at least five days' written notice to the other party. The Owners may, by giving at least five days' written notice to the City, designate additional Parties to receive copies of notices under this Agreement.

**Section 7.08** Severability. If any provision of this Agreement is illegal, invalid, or unenforceable, under present or future laws, it is the intention of the parties that the remainder of this Agreement not be affected, and, in lieu of each illegal, invalid, or unenforceable provision, that a provision be added to this Agreement which is legal, valid, and enforceable and is as similar in terms to the illegal, invalid, or enforceable provision as is possible.

**Section 7.09** Waiver. Any failure by a Party to insist upon strict performance by the other party of any material provision of this Agreement will not be deemed a waiver thereof or of any other provision, and such Party may at any time thereafter insist upon strict performance of any and all of the provisions of this Agreement.

**Section 7.10** Applicable Law and Venue. The interpretation, performance, enforcement, and validity of this Agreement is governed by the laws of the State of Texas. Venue will be in a court of appropriate jurisdiction in Hays County, Texas.

**Section 7.11** Entire Agreement. This Agreement contains the entire agreement of the Parties. There are no other agreements or promises, oral or written, between the Parties regarding the subject matter of this Agreement. This Agreement supersedes all other agreements between the Parties concerning the subject matter.

**Section 7.12** Exhibits, Headings, Construction, and Counterparts. All schedules and exhibits referred to in or attached to this Agreement are incorporated into and made a part of this Agreement for all purposes. The paragraph headings contained in this Agreement are for convenience only and do not enlarge or limit the scope or meaning of the paragraphs. Wherever appropriate, words of the masculine gender may include the feminine or neuter, and the singular may include the plural, and vice-versa. The Parties acknowledge that each of them has been actively and equally involved in the negotiation of this Agreement. Accordingly, the rule of construction that any ambiguities are to be resolved against the drafting party will not be employed in interpreting this Agreement or any exhibits hereto. This Agreement may be executed in any number of counterparts, each of which will be deemed to be an original, and all of which will together constitute the same instrument. This Agreement will become effective (as of the Effective Date of this Agreement) only when one or more counterparts, individually or taken together, bear the signatures of all of the Parties.

**Section 7.13** Time. Time is of the essence of this Agreement. In computing the number of days for purposes of this Agreement, all days will be counted, including Saturdays, Sundays, and legal holidays; however, if the final day of any time period falls on a Saturday,

Sunday, or legal holiday, then the final day will be deemed to be the next day that is not a Saturday, Sunday, or legal holiday.

**Section 7.14** **Force Majeure.** If, by reason of force majeure, any Party is rendered unable, in whole or in part, to carry out its obligations under this Agreement, the Party whose performance is so affected must give notice and the full particulars of such force majeure to the other Parties within a reasonable time after the occurrence of the event or cause relied upon, and the obligation of the Party giving such notice, will, to the extent it is affected by such force majeure, be suspended during the continuance of the inability but for no longer period. The Party claiming force majeure must endeavor to remove or overcome such inability with all reasonable dispatch. The term "force majeure" means Acts of God, strikes, lockouts, or other industrial disturbances, acts of the public enemy, orders of any kind of the government of the United States or the State of Texas, or of any court or agency of competent jurisdiction or any civil or military authority, insurrection, riots, epidemics, landslides, lightning, earthquake, fires, hurricanes, storms, floods, washouts, droughts, arrests, restraints of government and people, civil disturbances, vandalism, explosions, breakage or accidents to machinery, pipelines or canals, or inability on the part of a Party to perform due to any other causes not reasonably within the control of the Party claiming such inability.

**Section 7.15** **Interpretation.** As used in this Agreement, the term "including" means "including without limitation" and the term "days" means calendar days, not business days. Wherever required by the context, the singular shall include the plural, and the plural shall include the singular. Each defined term herein may be used in its singular or plural form whether or not so defined.

**Section 7.16** **No Third-Party Beneficiary.** This Agreement is solely for the benefit of the Parties, and neither the City, the District, nor the Owners intend by any provision of this Agreement to create any rights in any third-party beneficiaries or to confer any benefit upon or enforceable rights under this Agreement or otherwise upon anyone other than the City, the District, and the Owners (and any permitted assignee of the Owners).

**Section 7.17** **Exhibits.** The following exhibits are attached to this Agreement, and made a part hereof for all purposes:

- Exhibit A-1** Legal Description of Land for Mokhtarian
- Exhibit A-2** Legal Description of Land for 740 SP
- Exhibit A-3** Legal Description of Land for Cunningham
- Exhibit B** Concept Plan
- Exhibit C** City Consent Resolution
- Exhibit D** Easement Dedications

\* \* \*

**IN WITNESS WHEREOF**, the undersigned Parties have executed this Agreement on the dates indicated below to be effective as of the Effective Date of this Agreement.

**(Signatures on the following pages.)**

COUNTERPART SIGNATURE PAGE TO  
CONSENT AND DEVELOPMENT AGREEMENT

CITY:

CITY OF DRIPPING SPRINGS

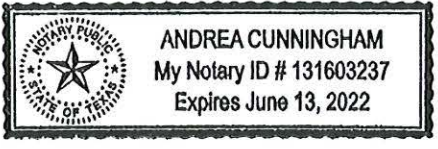
By: Bill Foulds, Jr.  
Bill Foulds, Jr., Mayor

Date: 11/22/2021

THE STATE OF TEXAS           §  
  §  
COUNTY OF HAYS               §

This instrument was acknowledged before me on November 22, 2021, by Bill Foulds, Jr., Mayor of the City of Dripping Springs, a Texas Type A general law municipality on behalf of said municipality.

Andrea Cunningham  
Notary Public Signature

(Seal) 

COUNTERPART SIGNATURE PAGE TO  
CONSENT AND DEVELOPMENT AGREEMENT

OWNERS:

\_\_\_\_\_  
Robert Mokhtarian, Individually

\_\_\_\_\_  
Robert Mokhtarian, Trustee  
Edward Mokhtarian Trust

\_\_\_\_\_  
Robert Mokhtarian, Trustee  
Edmund Mokhtarian Trust

THE STATE OF \_\_\_\_\_ §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, individually.

(SEAL) \_\_\_\_\_  
Notary Public Signature

THE STATE OF \_\_\_\_\_ §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, as Trustee for the Edward Mokhtarian Trust on behalf of said Trust.

(SEAL) \_\_\_\_\_  
Notary Public Signature

THE STATE OF \_\_\_\_\_ §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, as Trustee for the Edmund Mokhtarian Trust on behalf of said Trust.

(SEAL)

\_\_\_\_\_  
Notary Public Signature

COUNTERPART SIGNATURE PAGE TO  
CONSENT AND DEVELOPMENT AGREEMENT

OWNERS (continued):

740 SPORTS PARK, LLC, a Texas limited liability company

By: \_\_\_\_\_  
David Denbow, President

THE STATE OF TEXAS   §  
                                  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by David Denbow, President of 740 Sports Park, LLC, a Texas limited liability company, on behalf of said limited liability company.

(SEAL)

\_\_\_\_\_  
Notary Public Signature



COUNTERPART SIGNATURE PAGE TO  
CONSENT AND DEVELOPMENT AGREEMENT

OWNERS (continued):

\_\_\_\_\_  
Clinton Cunningham

\_\_\_\_\_  
Dawn Cunningham

THE STATE OF \_\_\_\_\_ §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by Clinton Cunningham, individually.

(SEAL) \_\_\_\_\_  
Notary Public Signature

THE STATE OF \_\_\_\_\_ §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 2021, by Dawn Cunningham, individually.

(SEAL) \_\_\_\_\_  
Notary Public Signature

COUNTERPART SIGNATURE PAGE TO  
CONSENT AND DEVELOPMENT AGREEMENT

DISTRICT:

DRIPPING SPRINGS MUNICIPAL  
UTILITY DISTRICT NO. 1

By: \_\_\_\_\_,  
\_\_\_\_\_, President  
Board of Directors

THE STATE OF TEXAS           §  
  §  
COUNTY OF HAYS            §

This instrument was acknowledged before me on \_\_\_\_\_, 202\_\_, by  
\_\_\_\_\_, President of the Board of Directors of Dripping Springs Municipal Utility District  
No. 1, a political subdivision of the State of Texas, on behalf of said District.

(SEAL)

\_\_\_\_\_  
Notary Public Signature

## Description of the Land

## EXHIBIT A-1

## Legal Description of Mokhtarian Land ( Two Tracts)

## Mokhtarian Tract 1:

FIELD NOTES DESCRIBING A 79.0723 ACRE TRACT OF LAND OUT OF THE P.A. SMITH LEAGUE SURVEY, THE C.H. MALOTT SURVEY AND THE BENJAMIN F. MIMS SURVEY NO. 8 IN HAYS COUNTY, TEXAS, SAID 79.0723 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 85.2757 ACRE TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE HAYS COUNTY, TEXAS DEED RECORDS, SAID 79.0723 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING at an iron pin found at the Northeast corner of that certain 40.00 acre tract of land conveyed to Dripping Springs Independent School District by Deed Recorded in Volume 646, Page 731 of the Hays County, Texas Deed Records, said point being situated at the most Northerly Northwest corner of said 85.2757 acre tract.

THENCE, along the fenced North boundary line of said 85.2757 acre tract, same being the South boundary line of that certain tract of land conveyed to Robert F. Shelton by deed recorded in Volume 143, Page 16 of the Hays County, Texas Deed Records, the following three (3) courses:

1. S 89°27'58" E for 465.05 feet to an iron pin found.
2. S 89°29'16" E for 2496.82 feet to a 60#D nail found.
3. N 79°12'52" E for 480.33 feet to an iron pin found on the West boundary line of that certain 423.54 acre tract of land conveyed to B.T. Cowden by deed recorded in Volume 827, Page 81 of the Hays County, Texas Deed Records, same being the Northeast corner of the herein described tract.

THENCE, along the fenced West boundary line of said 423.54 acre tract, S 0° 20'06" W for 1362.07 feet to an iron pin found at the Northeast corner of that certain 82.02 acre tract of land conveyed to Lidia Crabb, Trustee, by deed recorded in Volume 367, Page 294 of the Hays County, Texas Deed Records, same being the Southeast corner of the herein described tract.

THENCE, along the fenced North boundary line of said 82.02 acre tract, N 89°45'13" W for 1821.90 feet to an iron pin found at the Southeast corner of that certain 10.00 acre tract of land conveyed to Gary and Fiola Doucet by deed recorded in Volume 795, Page 782 of the Hays County, Texas Deed Records.

THENCE, along the East boundary line of said 10.00 acre tract, N 2°49'06" E for 691.47 feet to an iron pin found on the South boundary line of a proposed sixty (60) foot wide street.

THENCE, along the South boundary line of said proposed sixty foot wide street the following five (5) courses:

1. N 87°10'54" W for 238.19 feet to an iron pin found.
2. An arc distance of 182.90 feet along a curve to the left whose elements are: I = 15°12'13", R = 689.28', T = 91.99', and whose chord bears S 85°13'00" W for 182.37 feet to an iron pin found.
3. S 77°36'53" W for 1026.64 feet to an iron pin found.
4. An arc distance of 120.16 feet along a curve to the right whose total elements are: I = 12°02'49", R = 1007.77', T = 106.33', and whose subchord bears S 81°01'50" W for 120.09 feet to an iron pin found.
5. An arc distance of 91.72 feet along a curve to the right whose elements are: I = 5°12'53", R = 1007.77', T = 45.89' and whose chord bears S 87°03'15" W for 91.69 feet to an iron pin found.

THENCE, along the East boundary line of said 40.00 acre Dripping Springs Independent School District Tract; N 0°20'18" W for 847.82 feet to the POINT OF BEGINNING of the herein described tract containing 79.0723 acres of land.

Mokhtarian Tract 2:

FIELDNOTE DESCRIPTION

DESCRIPTION OF A STRIP OF LAND, 60 FEET (60') IN WIDTH, TOTALING 1.18 ACRES IN THE PHILIP A SMITH LEAGUE SURVEY NO. 28, A-416, IN HAYS COUNTY, TEXAS, BEING THE REMAINING PORTION OF THAT CALLED 85.2767 ACRE TRACT DESCRIBED IN THE WARRANTY DEED TO MAIN PASS PARTNERS, LTD., OF RECORD IN VOLUME 766, PAGE 806, REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS (RPRHCT), LESS THAT CALLED 79.0723 ACRE TRACT SEVERED FROM SAID 85.2767 ACRE TRACT AND DESCRIBED IN THE WARRANTY DEED WITH VENDOR'S LIEN TO ROBERT MOKHTARIAN, ET ALIA, OF RECORD IN VOLUME 1128, PAGE 849, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS; SAID 1.18 ACRES STRIP OF LAND, AS SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Bearing Basis: Grid Bearings of the Texas Coordinate System of 1983, Texas South Central Zone (4204), US Survey Feet, Reference Frame: NAD\_83(2011)(Epoch:2010.0000); Combined Scale Factor 0.99992022; Mapping Angle: 0° 27' 07". Distances cited herein are surface.

COMMENCING for reference at iron rod with cap stamped "KCE ENG" found on the north line of a 30' wide Ingress & Egress Easement described in Volume 181, Page 171, Deed Records Hays County, Texas (DRHOT), being the most southerly southeast corner of a called 40.00 acre tract described in the General Warranty Deed to The City of Dripping Springs, of record in Volume 1482, Page 874, OPRHCT, same being the southwest corner of that called 17.0518 acre described in the Warranty Deed with Vendor's Lien to Jean-Claude Cardwell, and wife, Mara Cardwell, of record in Volume 797, Page 799, RPRHCT;

THENCE N 02° 13' 09" W, with the east line of said 40.00 acre tract, the following three (3) courses and distances:

- 1) N 02° 13' 09" W, with the west line of said 17.0518 acre tract, 498.04 feet to a 1/2-inch iron rod found for the northwest corner of said 17.0518 acre tract, same being the westerly southwest corner of said 85.2767 acre tract, and POINT OF BEGINNING herein;
- 2) N 02° 13' 09" W, 60.00 feet to a 1/2-inch iron rod found for a southeast adjacent corner of said 40.00 acre tract, and a most westerly northwest adjacent corner of said 85.2767 acre tract and herein, and
- 3) N 87° 46' 51" E, 859.70 feet to a 1/2-inch iron rod found on the west line of said 79.0723 acre tract, and being the northeast corner herein; and from which point, a 1/2-inch iron rod found for the northeast corner of said 40.00 acre tract, and the northwest corner of said 79.0723 acre tract bears N 02° 13' 09" W, 788.07 feet;

THENCE S 02° 13' 09" E, crossing said 85.2767 acre tract with said west line of 79.0723 acre tract, 60.00 feet to a 1/2-inch iron rod found on the south line of said 85.2767 acre tract, same being the north line of said 17.0518 acre tract, for a southwest corner of said 79.0723 acre tract and southeast corner herein;

THENCE S 87° 46' 51" W, with the south line of said remainder tract, and north line of said 17.0518 acre tract, 859.70 feet to the POINT OF BEGINNING containing 1.18 acres of land, more or less, within these metes and bounds.

This description accompanied by Staudt Surveying, Inc. Boundary Survey 17077-01.dwg

Surveyed by: Staudt Surveying, Inc.  
P.O. Box 1273  
18740 Fitzhugh Road, Ste. 102  
Dripping Springs, Texas 78620  
612-888-2238  
Firm Registration No.: 10081700



*Bryan D. Newsome* 12 November 2017  
Bryan D. Newsome Registered Professional Land Surveyor No. 5857 Date

## EXHIBIT A-2

## Legal Description of 740 SP Land (Three Tracts)

740 SP Land Tract 1:

**BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.**

**BEGINNING** at an iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

**THENCE**, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704-138 OPRHCT.;

**THENCE**, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 359.59 feet to a ½ inch iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 79.0723 acre tract as described in Volume 1128, Page 849 O.P.R.,H.C.T., said point being the beginning of a curve to the left;

**THENCE**, with the north line of the herein described tract, and the south line of said 79.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N81°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N75°43'32"E, for a distance of 441.05 feet to a ½ inch iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.T.H.C.T.;

**THENCE**, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 560.13 feet to a ½ inch iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

**THENCE**, with the lines common to said 5.00-acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch iron rod with cap stamped "AST" set;
3. S88°48'03"W, , at a distance of 150.23 pass a ½ inch iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the POINT OF BEGINNING and containing 17.038 acres of land, more or less.

740 SP Land Tract 2:

Non-exclusive right of way and utility easement in common with other parties, as created and further described in that conveyance recorded in Volume 181, Page 171, Deed Record, Hays County, Texas.

740 SP Land Tract 3:

Non-exclusive ingress and-easement in common with other parties, as created and further described in that conveyance recorded in Document No. 18007850, Official Public Records, Hays County, Texas.

## EXHIBIT A-3

## Legal Description of Cunningham Land (Five Tracts)

## Cunningham Tract 1:

Being 10.00 acres of land, more or less, in the P. A. SMITH SURVEY, ABSTRACT NO. 415, situated in Hays County, Texas, being that same tract conveyed in Volume 4258, Page 618, of the Official Public Records of Hays County, Texas and as more particularly described by metes and bounds as follows:

FIELD NOTES DESCRIBING A 10.00 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO JACK HOWELL BY DEED RECORDED IN VOLUME 753, PAGE 252 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING FOR REFERENCE at an iron pin set at the southwest corner of the above said Jack Howell Tract, said point being situated at the most southerly southeast corner of that certain forty 40.00 acre tract of land conveyed to Dripping Springs Independent School District by deed recorded in Volume 646, Page 731 of the Hays County Deed Records, said point being situated on the north boundary line of a thirty (30) foot wide ingress and egress easement described in a deed of record in Volume 181, Page 171 of the Hays County Deed Records.

THENCE, along the north boundary line of said easement, same being the north boundary line of that certain 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records; S 89°47'00" E for 1077.21 feet to a 60-D nail set in a fence corner post.

THENCE, continuing along the fenced north boundary line of said 90.01 acre tract, same being the south boundary line of said Jack Howell Tract, the following two (2) courses:

1. N 0°16'55" E for 70.42 feet to an iron pin found.
2. S 89°45'13" E for 741.35 feet to an iron pin set for the southwest corner of the herein described tract and being the POINT OF BEGINNING.

THENCE, through the interior of said Howell Tract, N 2°49'06" E for 636.99 feet to an iron pin set on the south boundary line of a proposed sixty (60) foot wide road, said point being situated at the northwest corner of the herein described tract.

THENCE, continuing through the interior of said Howell Tract along the south boundary line of said proposed road, the following three (3) courses:

1. N 77°36'53" E for 224.62 feet to an iron pin set.
2. An arc distance of 182.90 feet along a curve to the right whose elements are: I=15°12'13", R=689.28 feet, T=91.99 feet and whose chord bears N 85°13'00" E for 182.37 feet to an iron pin set.
3. S 87°10'54" E for 238.19 feet to an iron pin set for the northeast corner of the herein described tract.



THENCE, continuing through the interior of said Howell Tract, S 2°49'06" W for 691.47 feet to an iron pin set on the fenced north boundary line of said 90.01 acre Wesson Tract and being situated at the southeast corner of the herein described tract.

THENCE, along the north boundary line of said 90.01 acre tract and the south boundary line of said Howell Tract, N 89°45'13" W for 636.35 feet to the POINT OF BEGINNING of the herein described tract containing 10.00 acres of land.

## Cunningham Tract 2:

FIELD NOTES DESCRIBING A 5.000 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 102.3069 TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pin found at the southwest corner of the above described remaining tract, said point being the southeast corner of a 17.0518 acre tract of land conveyed to J. C. and Mara Cardwell by deed recorded in Volume 797, Page 709 of the Hays County Deed Records; said point also situated on the north boundary line of a 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records.

THENCE, along the west boundary line of the above described tract, N 6°12'10" E for 560.25 feet to an iron pin found at the northwest corner of the herein described tract, and being the northeast corner of the 17.0518 acre Cardwell Tract.

THENCE, through the interior of said Main Pass Partner Tract along the south boundary line of a proposed sixty (60) foot wide road N 77°36'53" E for 361.81 feet to an iron pin found at the northeast corner of the herein described tract, same being the northwest corner of a 10.00 acre tract of land conveyed to Gary and Fleola Dousett by deed recorded in Volume 795, Page 872 of the Hays County Deed Records.

THENCE, along the east boundary line of the herein described tract, S 2°49'06" W for 636.99 feet to an iron pin found at the southeast corner of the herein described tract, same being the southwest corner of the above described Dousett Tract, also being situated on the fenced north boundary line of the above described Virginia B. Wesson Tract.

THENCE, along the fenced south boundary line of the herein described tract, same being a fenced portion of the north boundary line of the above described Virginia B. Wesson Tract, N 89°45'13" W for 382.61 feet to the POINT OF BEGINNING of the herein described tract containing 5.000 acres of land.

## Cunningham Tract 3:

Tract 3: Easement estate as created and described in Easement Agreement dated March 16, 1960, recorded in Volume 181, Page 171, Deed Records of Hays County, Texas, and being more particularly described therein.

## Cunningham Tract 4:

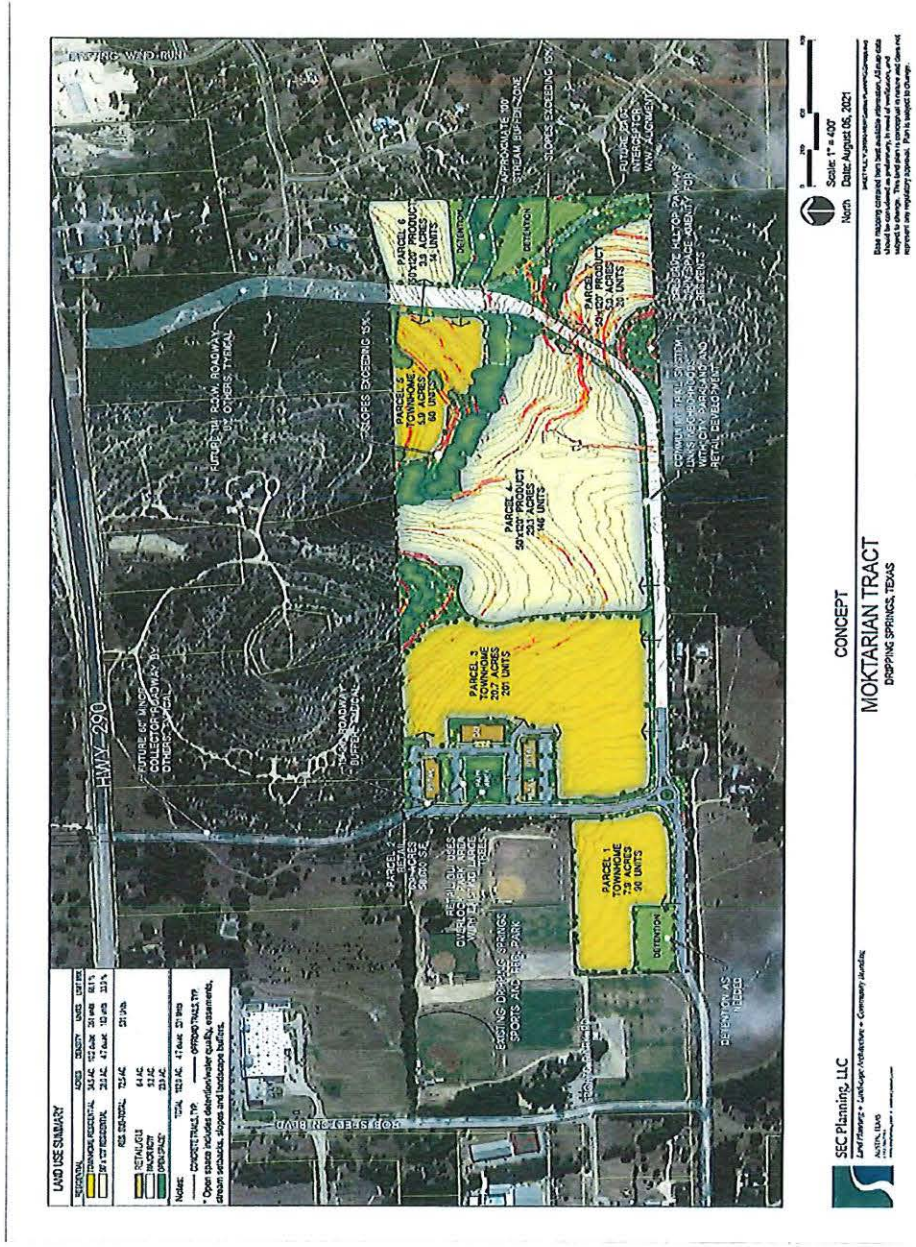
Tract 4: Easement estate as created and described in Ingress and Egress Easement dated February 24, 2018, recorded in Document No. 18007849, of the Deed Records of Hays County, Texas, and being more particularly described therein.

## Cunningham Tract 5:

Tract 5: Easement estate as created and described in in that certain Deed of Easement dated July 31, 1993, recorded in Volume 1010, Page 53, of the Official Public Records of Hays County, Texas, and being more particularly described therein.

EXHIBIT B

Concept Plan



**EXHIBIT C**

City Consent Resolution

CITY OF DRIPPING SPRINGS

RESOLUTION No. 2021-R33

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS ("CITY"), CONSENTING TO THE CREATION OF DRIPPING SPRINGS MUNICIPAL UTILITY DISTRICT NO.1 ON THE MOKHTARIAN, CUNNINGHAM, AND 740 SPORTS PARK TRACTS FOR THE VILLAGE GROVE SUBDIVISION; PROVIDING FOR EFFECTIVE DATE; AND PROPER NOTICE AND MEETING.

WHEREAS, pursuant to Section 42.042 of the Texas Local Government Code and Section 54.016 of the Texas Water Code, Robert Mokhtarian, Individually; Robert Mokhtarian, Trustee for Edward Mokhtarian; Robert Mokhtarian, Trustee for Edmund Mokhtarian; 740 Sports Park, LLC, a Texas limited liability company; and Clinton D. Cunningham and Dawn Cunningham (collectively, the "Owners") have submitted to the City the petition attached as Exhibit "A" to this Resolution (the "Petition") requesting the City's consent to the creation of Dripping Springs Municipal Utility District No. 1 (the "District") over the land more particularly described in the Petition (the "Land"), which, at the time of submission of the Petition, was located within the City's extraterritorial jurisdiction but proposed to be annexed into the corporate boundaries of the City; and

WHEREAS, the City has annexed the Land proposed to be included in the District; and

WHEREAS, the City and Owners have negotiated an Agreement Concerning Creation and Operation of Dripping Springs Municipal Utility District No. 1; and

WHEREAS, following review of the Petition and Agreement, the City desires to grant the Petition and consent to the creation of the District over the Land, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS, THAT:

SECTION 1. CONSENT

The City, in reliance upon statements in the Petition regarding the Petitioners' ownership of the Land in the District, hereby grants the Petition and, in accordance with Section 42.042 of the Texas Local Government Code and Section 54.016 of the Texas Water Code, specifically gives its written consent to the creation of the District over the Land.

That the Mayor of the City is hereby authorized to execute the Agreement Concerning Creation and Operation of Dripping Springs Municipal Utility District No. 1 and that the City Secretary is hereby authorized to attest such execution for and on behalf of the City.

**SECTION 2. EFFECTIVE DATE**


This Resolution shall be in full force and effect from and after its passage on the date shown below.

**SECTION 3. OPEN MEETINGS**

The City Council hereby finds and declares that written notice of the date, hour, place, and subject of the meeting at which this Resolution was adopted was posted and that such meeting was open to the public as required by law at all times during which this Resolution and the subject matter hereof were discussed, considered, and formally acted upon, all as required by the Open Meetings Act, Chapter 551, *Texas Government Code*, as amended.

**PASSED & APPROVED** this, the 19<sup>th</sup> day of October 2021, by a vote of 3 (ayes) to 0 (nays) to 0 (abstentions) of the City Council of Dripping Springs, Texas.

**CITY OF DRIPPING SPRINGS:**

  
\_\_\_\_\_  
Bill Foulds, Jr., Mayor

**ATTEST:**

  
\_\_\_\_\_  
Andrea Cunningham, City Secretary

City of Dripping Springs

SEP 24 2021

PETITION FOR CONSENT TO CREATION OF DRIPPING SPRINGS MUNICIPAL UTILITY DISTRICT NO. 1 Rec'd by City Secretary

TO THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS:

The undersigned (collectively, the "Petitioners"), holding title to the land described below (the "Land") and acting pursuant to the provisions of Chapters 49 and 54 of the Texas Water Code and Section 42.042 of the Texas Local Government Code, respectfully petition the City Council of the City of Dripping Springs, Texas (the "City") for its written consent to the creation of a municipal utility district over the Land and, in support of this Petition, would show the following:

I.

The name of the proposed district is DRIPPING SPRINGS MUNICIPAL UTILITY DISTRICT NO. 1 (the "District").

II.

The District will be created and organized under the terms and provisions of Article XVI, Section 59 and Article III, Section 52 of the Texas Constitution and Chapters 49 and 54, Texas Water Code, together with all amendments and additions thereto. It is proposed that the District be granted road powers under the authority of Article III, Section 52 of the Texas Constitution.

III.

The Land proposed to be contained within the District is a total of 112.2903 acres of land, more or less, situated in Hays County, Texas, more particularly described on Exhibit A attached hereto and incorporated herein by reference. All of the Land is currently located within the extraterritorial jurisdiction of the City; however, Petitioners intend to voluntarily request that the Land be annexed into the corporate boundaries of the City prior to creation of the District. The Land may be properly be included within the District.

IV.

Petitioners hold title to the Land proposed to be included within the District and are the owners of a majority in value of such Land, as indicated by the tax rolls of Hays County, Texas. The only lienholder on the Land, PlainsCapital Bank, has consented to the creation of the District as evidenced by the Certificate of Lienholder's Consent attached as Exhibit B.

V.

The general nature of the work proposed to be done by the District, as contemplated at the present time, is the design, construction, acquisition, improvement, extension, financing, and issuance of bonds: (i) for maintenance, operation, and conveyance of an adequate and efficient water works and sanitary sewer system for domestic and commercial purposes; (ii) for maintenance, operation, and conveyance of works, improvements, facilities, plants, equipment, and appliances helpful or necessary to provide more adequate drainage for the District, and to control, abate, and amend local storm waters or other harmful excesses of waters; (iii) for conveyance of roads and improvements in aid of roads; and (iv) for maintenance, operation, and

{W1068793.2}

conveyance of such other additional facilities, systems, plants, and enterprises as may be consistent with any or all of the purposes for which the District is created.

VI.

There is a necessity for the above-described work because there is not now available within the area an adequate waterworks system, sanitary sewer system, drainage and storm sewer system, or roadway system to serve the Land, which will be developed for a mix of single-family residential, multi-family residential, and commercial uses. The health and welfare of the present and future inhabitants of the area and of the adjacent areas require the purchase, design, construction, acquisition, ownership, operation, repair, improvement, and extension of an adequate waterworks system, sanitary sewer system, drainage and storm sewer system, and roadway system. A public necessity therefore exists for the creation of the District, in order to provide for the purchase, design, construction, acquisition, ownership, operation, repair, improvement, and extension of a waterworks system, sanitary sewer system, drainage and storm sewer system, and roadway system to promote the purity and sanitary condition of the State's waters and the public health and welfare of the community.

VII.

A preliminary investigation has been made to determine the cost of the proposed District's projects, and it is now estimated by the Petitioners, from such information as is available at this time, that such cost will be approximately \$23,643,904.00.

VIII.

Petitioners, by submission of this Petition, request the City's consent to the creation of the District, as described in this Petition.

Petitioners request that this Petition be heard and that the City Council duly pass and approve an ordinance or resolution granting its consent to the creation of the District and authorizing the inclusion of the Land within the District.

EXECUTED on the date or dates indicated below, to be effective the 16th day of September, 2021.



**PETITIONERS:**

**As to the 79.0723 acres described in Exhibit A-1 and the 1.18 acres described in Exhibit A-2**

By: [Signature]  
Robert Mokhtarian, Individually

By: [Signature]  
Robert Mokhtarian, Trustee  
Edward Mokhtarian Trust

By: [Signature]  
Robert Mokhtarian, Trustee  
Edmund Mokhtarian Trust

THE STATE OF TEXAS           §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, individually.

**See attached certificate**

Notary Public Signature

(SEAL)

THE STATE OF TEXAS           §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, Trustee of the Edward Mokhtarian Trust on behalf of said Trust.

**See attached certificate**

Notary Public Signature

(SEAL)

THE STATE OF TEXAS           §  
  §  
COUNTY OF \_\_\_\_\_ §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2021, by Robert Mokhtarian, Trustee of the Edmund Mokhtarian Trust on behalf of said Trust.

**See attached certificate**

Notary Public Signature

(SEAL)

{W1068793.2}

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

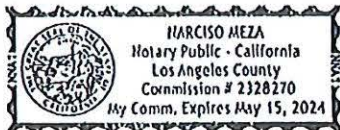
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Los Angeles )  
On September 15, 2021 before me, Narciso Meza, Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Robert Mokhtarian  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Narciso Meza  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: Petition For Consent To Creation of Dripping Springs Municipal Utility Distr Document Date: Sept. 15 2021

Number of Pages: 5 Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Robert Mokhtarian

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney In Fact

Trustee  Guardian or Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney In Fact

Trustee  Guardian or Conservator


Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

**PETITIONERS (continued):**

**As to the 17.038 acres described in Exhibit A-3**

740 Sports Park, LLC, a Texas limited liability company

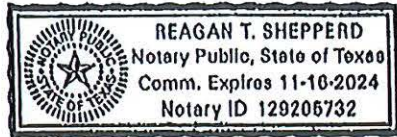
By:   
David Denbow, President

THE STATE OF TEXAS            §  
  §  
COUNTY OF Hays            §

This instrument was acknowledged before me on the 10 day of September, 2021, by David Denbow, President of 740 Sports Park, LLC, a Texas limited liability company, on behalf of said limited liability company.

(SEAL)

  
Notary Public Signature



**PETITIONERS (continued):**

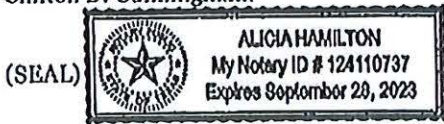
**As to the 10.00 acres described in Exhibit A-4 and the 5.000 acres described in Exhibit A-5**

By: *Clinton D. Cunningham*  
Clinton D. Cunningham

By: *Dawn Cunningham*  
Dawn Cunningham

THE STATE OF TEXAS           §  
  §  
COUNTY OF Hays           §

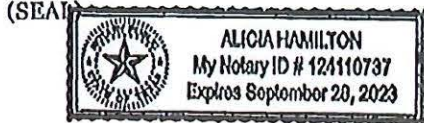
This instrument was acknowledged before me on the 17<sup>th</sup> day of September 2021, by Clinton D. Cunningham.



*Alicia Hamilton*  
Notary Public Signature

THE STATE OF TEXAS           §  
  §  
COUNTY OF Hays           §

This instrument was acknowledged before me on the 17<sup>th</sup> day of September 2021, by Dawn Cunningham.



*Alicia Hamilton*  
Notary Public Signature

{W1060793.2}

**EXHIBIT A**

The approximately 112.2903 acres of land consisting of the 79.0723 acres of land more particularly described on the attached Exhibit A-1; the 1.18 acres of land more particularly described on the attached Exhibit A-2; the 17.038 acres of land more particularly described on the attached Exhibit A-3; the 10.00 acres of land more particularly described on the attached Exhibit A-4; and the 5.000 acres of land more particularly described on the attached Exhibit A-5.

EXHIBIT A-1

FIELD NOTES DESCRIBING A 79.0723 ACRE TRACT OF LAND OUT OF THE P.A. SMITH LEAGUE SURVEY, THE G.H. MALOIT SURVEY AND THE BENJAMIN F. HIMS SURVEY NO. 8 IN HAYS COUNTY, TEXAS, SAID 79.0723 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 85.2757 ACRE TRACT OF LAND CONVEYED TO HAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 705, PAGE 605 OF THE HAYS COUNTY, TEXAS DEED RECORDS, SAID 79.0723 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING at an iron pin found at the Northeast corner of that certain 40.00 acre tract of land conveyed to Dripping Springs Independent School District by Deed Recorded in Volume 646, Page 731 of the Hays County, Texas Deed Records, said point being situated at the most Northerly Northwest corner of said 85.2757 acre tract.

THENCE, along the fenced North boundary line of said 85.2757 acre tract, same being the South boundary line of that certain tract of land conveyed to Robert F. Shelton by deed recorded in Volume 143, Page 16 of the Hays County, Texas Deed Records, the following three (3) courses:

1. S 89°27'58" E for 465.05 feet to an iron pin found.
2. S 89°29'16" E for 2496.82 feet to a 60# nail found.
3. N 79°12'52" E for 480.33 feet to an iron pin found on the West boundary line of that certain 423.54 acre tract of land conveyed to B.T. Cowden by deed recorded in Volume 827, Page 81 of the Hays County, Texas Deed Records, same being the Northeast corner of the herein described tract.

THENCE, along the fenced West boundary line of said 423.54 acre tract, S 10° 20'06" W for 1362.07 feet to an iron pin found at the Northeast corner of that certain 82.02 acre tract of land conveyed to Lillian Crabb, Trustee, by deed recorded in Volume 367, Page 294 of the Hays County, Texas Deed Records, same being the Southeast corner of the herein described tract.

THENCE, along the fenced North boundary line of said 82.02 acre tract, N 89°45'13" W for 1821.90 feet to an iron pin found at the Southeast corner of that certain 10.00 acre tract of land conveyed to Gary and Fivola Dought by deed recorded in Volume 795, Page 782 of the Hays County, Texas Deed Records.

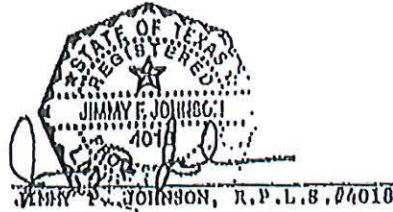
THENCE, along the East boundary line of said 10.00 acre tract, N 2°49'06" E for 691.47 feet to an iron pin found on the South boundary line of a proposed sixty (60) foot wide street.

THENCE, along the South boundary line of said proposed sixty foot wide street the following five (5) courses:

1. N 87°10'54" W for 238.19 feet to an iron pin found.
2. An arc distance of 182.90 feet along a curve to the left whose elements are: L = 15°12'13", R = 689.28', T = 91.99', and whose chord bears S 85°13'00" W for 182.37 feet to an iron pin found.
3. S 77°36'53" W for 1026.64 feet to an iron pin found.
4. An arc distance of 120.16 feet along a curve to the right whose total elements are: L = 12°02'49", R = 1007.77', T = 106.33', and whose subchord bears S 81°01'50" W for 120.09 feet to an iron pin found.
5. An arc distance of 91.72 feet along a curve to the right whose elements are: L = 5°12'53", R = 1007.77', T = 45.89' and whose chord bears S 07°03'15" W for 91.69 feet to an iron pin found.

THENCE, along the East boundary line of said 40.00 acre Dripping Springs Independent School District Tract; N 0°20'18" W for 847.82 feet to the POINT OF BEGINNING of the herein described tract containing 79.0723 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.



**EXHIBIT A-2**

**FIELDNOTE DESCRIPTION**

DESCRIPTION OF A STRIP OF LAND, 80 FEET (00') IN WIDTH, TOTALING 1.10 ACRES IN THE PHILIP A SMITH LEAGUE SURVEY NO. 2B, A-416, IN HAYS COUNTY, TEXAS, BEING THE REMAINING PORTION OF THAT CALLED 86.2767 ACRE TRACT DESCRIBED IN THE WARRANTY DEED TO MAIN PASS PARTNERS, LTD., OF RECORD IN VOLUME 768, PAGE 808, REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS (RPRHOY), LESS THAT CALLED 70.0723 ACRE TRACT SEVERED FROM SAID 86.2767 ACRE TRACT AND DESCRIBED IN THE WARRANTY DEED WITH VENDOR'S LIEU TO ROBERT MOKHTARIAN, ET ALIA, OF RECORD IN VOLUME 1128, PAGE 840, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS; SAID 1.10 ACRE STRIP OF LAND, AS SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Bearing Basis: Grid Bearings of the Texas Coordinate System of 1983, Texas South Central Zone (4204), US Survey Foot, Reference Frame: NAD\_83(2011) (Epoch: 2010.0000); Combined Scale Factor: 0.99992022; Mapping Angle: 0° 27' 07". Distances cited herein are surface.

COMMENCING for reference at iron rod with one stamped "KC ENC" found on the north line of a 30' wide Ingress & Egress Easement described in Volume 181, Page 171, Deed Records Hays County, Texas (DRHOY), being the most southerly northeast corner of a called 40.00 acre tract described in the General Warranty Deed to The City of Dripping Springs, of record in Volume 1482, Page 874, OFFICIAL, same being the southwest corner of that called 17.0818 acre described in the Warranty Deed with Vendor's Lien to Jean-Claude Cardwell, and wife, Mara Cardwell, of record in Volume 767, Page 709, RPRHOY;

THENCE N 02° 19' 09" W, with the east line of said 40.00 acre tract, the following three (3) courses and distances:

- 1) N 02° 19' 09" W, with the west line of said 17.0818 acre tract, 408.64 feet to a 1/2-inch iron rod found for the northwest corner of said 17.0818 acre tract, same being the westerly northwest corner of said 86.2767 acre tract, and POINT OF BEGINNING hereof;
- 2) N 02° 19' 09" W, 80.00 feet to a 1/2-inch iron rod found for a southeast reentrant corner of said 40.00 acre tract, and a most westerly northwest reentrant corner of said 86.2767 acre tract and hereof, and
- 3) N 87° 46' 51" E, 859.70 feet to a 1/2-inch iron rod found on the west line of said 70.0723 acre tract, and being the northern corner hereof; and from which point, a 1/2-inch iron rod found for the northeast corner of said 40.00 acre tract, and the northwest corner of said 70.0723 acre tract bears N 02° 19' 09" W, 788.07 feet;

THENCE S 02° 19' 09" E, crossing said 86.2767 acre tract with said west line of 70.0723 acre tract, 80.00 feet to a 1/2-inch iron rod found on the south line of said 86.2767 acre tract, same being the north line of said 17.0818 acre tract, for a southwest corner of said 70.0723 acre tract and southeast corner hereof;

THENCE S 87° 46' 51" W, with the south line of said reentrant tract, and north line of said 17.0818 acre tract, 859.70 feet to the POINT OF BEGINNING containing 1.10 acres of land, more or less, within these metes and bounds.

This description accompanied by Staudt Surveying, Inc. Accuracy Survey 17677-01.dwg

Surveyed by: Staudt Surveying, Inc.  
P.O. Box 1273  
10740 Fitzhugh Road, Ste. 102  
Dripping Springs, Texas 78620  
612.000-2230  
Plan Registration No.: 10001700



*Bryan D. Nowotko* 12 November 2017  
Bryan D. Nowotko Registered Professional Land Surveyor No. 6887 Date



EXHIBIT A-3

BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.

BEGINNING at an Iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

THENCE, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch Iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704138 OPRHC.T.;

THENCE, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 869.69 feet to a ½ inch Iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 78.0723 acre tract as described in Volume 1128, Page 849 O.P.R.,H.C.T., said point being the beginning of a curve to the left;

THENCE, with the north line of the herein described tract, and the south line of said 78.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N81°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N75°43'32"E, for a distance of 441.05 feet to a ½ inch Iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.,T.H.C.T.;

THENCE, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 580.13 feet to a ½ inch Iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

THENCE, with the lines common to said 5.00 acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch Iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch Iron rod with cap stamped "AST" set;
3. S88°18'03"W, , at a distance of 160.23 pass a ½ inch Iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the POINT OF BEGINNING and containing 17.038 acres of land, more or less.

EXHIBIT A-4

**Oak Hill Surveying Co., Inc.**  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

May 25, 1989

FIELD NOTES DESCRIBING A 10.00 ACRE TRACT OF LAND OUT OF THE F. A. <sup>Neck</sup> LEAGUE IN HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO JACK HOWELL BY DEED RECORDED IN VOLUME 753, PAGE 252 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING FOR REFERENCE at an iron pin set at the southwest corner of the above said Jack Howell Tract, said point being situated at the most southerly southwest corner of that certain forty (40.00) acre tract of land conveyed to Dripping Springs Independent School District by deed recorded in Volume 646, Page 731 of the Hays County Deed Records, said point being situated on the north boundary line of a thirty (30) foot wide ingress and egress easement described in a deed of record in Volume 101, Page 171 of the Hays County Deed Records.

THENCE, along the north boundary line of said easement, same being the north boundary line of that certain 90.01 acre tract of land conveyed to Virginia B. Mason by deed recorded in Volume 220, Page 514 of the Hays County Deed Records; S 89°47'00" E for 1077.21 feet to a 60-0 nail set in a fence corner post.

THENCE, continuing along the fenced north boundary line of said 90.01 acre tract, same being the north boundary line of said Jack Howell Tract, the following two (2) courses:

1. N 0°16'55" E for 70.42 feet to an iron pin found.
2. S 89°45'13" E for 741.35 feet to an iron pin set for the southwest corner of the herein described tract and being the POINT OF BEGINNING.

THENCE, through the interior of said Howell Tract, N 2°49'06" E for 636.99 feet to an iron pin set on the north boundary line of a proposed sixty (60) foot wide road, said point being situated at the northwest corner of the herein described tract.

THENCE, continuing through the interior of said Howell Tract along the south boundary line of said proposed road, the following three (3) courses:

1. N 77°36'53" E for 224.62 feet to an iron pin set.
2. An arc distance of 182.90 feet along a curve to the right whose elements are:  $r=15°12'13"$ ,  $R=689.28$  feet,  $T=91.99$  feet and whose chord bears N 85°13'00" E for 182.37 feet to an iron pin set.
3. S 87°10'54" E for 238.19 feet to an iron pin set for the northeast corner of the herein described tract.

{W1068793.2}

City of Dripping Springs  
Resolution No. 2021-R33  
City of Dripping Springs  
MUD Creation & Operation Agreement

Exhibit A-4 - Page 1 of 2

Dripping Springs MUD No. 1 Consent  
Page 14 of 18  
Dripping Springs MUD No. 1  
Page 46 of 51

May 25, 1909  
Re: 10.00 acre tract  
Page 2

THENCE, continuing through the interior of said Howell Tract, S 2°49'06" W for 691.47 feet to an iron pin set on the fenced north boundary line of said 90.01 acre Wesson Tract and being situated at the southeast corner of the herein described tract.

THENCE, along the north boundary line of said 90.01 acre tract and the south boundary line of said Howell Tract, N 89°49'13" W for 636.33 feet to the POINT OF BEGINNING of the herein described tract containing 10.00 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
J. H. Galt  
Surveyor  
State of Missouri  
No. 22,000  
1909

Job 01646

Updated

9-3-93

EXHIBIT A-5

Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

June 14, 1990

FIELD NOTES DESCRIBING A 5,000 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEASUR IN HAYS COUNTY, TEXAS, SAID 5,000 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 102,3069 TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 5,000 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pin found at the southwest corner of the above described remaining tract, said point being the southeast corner of a 17.0518 acre tract of land conveyed to J. G. and Nora Cardwell by deed recorded in Volume 797, Page 709 of the Hays County Deed Records; said point also situated on the north boundary line of a 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records.

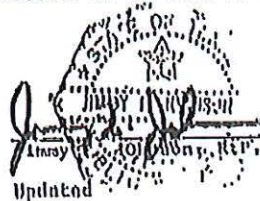
THENCE, along the east boundary line of the above described tract, N 6°12'10" E for 560.25 feet to an iron pin found at the northwest corner of the herein described tract, and being the northeast corner of the 17.0518 acre Cardwell Tract.

THENCE, through the interior of said Main Pass Partner Tract along the south boundary line of a proposed sixty (60) foot wide road N 77°36'53" E for 361.81 feet to an iron pin found at the northeast corner of the herein described tract, same being the northwest corner of a 10.00 acre tract of land conveyed to Gary and Elena Bennett by deed recorded in Volume 795, Page 872 of the Hays County Deed Records.

THENCE, along the east boundary line of the herein described tract, S 2°49'06" W for 636.99 feet to an iron pin found at the southeast corner of the herein described tract, same being the southeast corner of the above described Bennett Tract, also being situated on the fenced north boundary line of the above described Virginia B. Wesson Tract.

THENCE, along the fenced south boundary line of the herein described tract, same being a fenced portion of the north boundary line of the above described Virginia B. Wesson Tract, N 89°45'13" W for 302.61 feet to the POINT OF BEGINNING of the herein described tract containing 5,000 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Surveyor of Hays County, Texas, No. 24010  
Printed 9-3-93

Job #1651

**EXHIBIT B**

**CERTIFICATE OF LIENHOLDER'S CONSENT**

THE STATE OF TEXAS           §  
  §  
COUNTY OF HAYS               §

PlainCapital Bank, Texas state bank, being the lienholder on a portion of the land that is proposed to be included in Dripping Springs Municipal Utility District No. 1, as described by metes and bounds on the attached Exhibit "1", hereby consents to the Petition for Creation of Dripping Springs Municipal Utility District No. 1 signed by Robert Mokhtarian, Individually; Robert Mokhtarian, Trustee for Edward Mokhtarian Trust; Robert Mokhtarian, Trustee for Edmund Mokhtarian; David Denbow, President of 740 Sports Park, LLC, a Texas limited liability company; and Clinton D. Cunningham and Dawn Cunningham concerning such land.

WITNESS MY HAND effective as of the 10<sup>th</sup> day of SEPTEMBER, 2021.

PlainsCapital Bank, a Texas state bank

By: [Signature]  
Printed Name: Tommy Ward  
Title: Vice President  
Date: 9-10-21

THE STATE OF TEXAS           §  
  §  
COUNTY OF WILLIAMSON       §

This instrument was executed before me on this 10<sup>th</sup> day of September, 2021, by Tommy WARD, VICE PRESIDENT of PlainsCapital Bank, a Texas state bank, on behalf of said bank.

(SEAL)



[Signature]  
Notary Public Signature

EXHIBIT "1"

BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.

**BEGINNING** at an Iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

**THENCE**, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch Iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704138 OPRHCT.;

**THENCE**, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 859.59 feet to a ½ inch Iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 79.0723 acre tract as described in Volume 1128, Page 849 O.P.R.H.C.T., said point being the beginning of a curve to the left;

**THENCE**, with the north line of the herein described tract, and the south line of said 79.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N01°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N76°43'32"E, for a distance of 441.05 feet to a ½ inch Iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.T.H.C.T.;

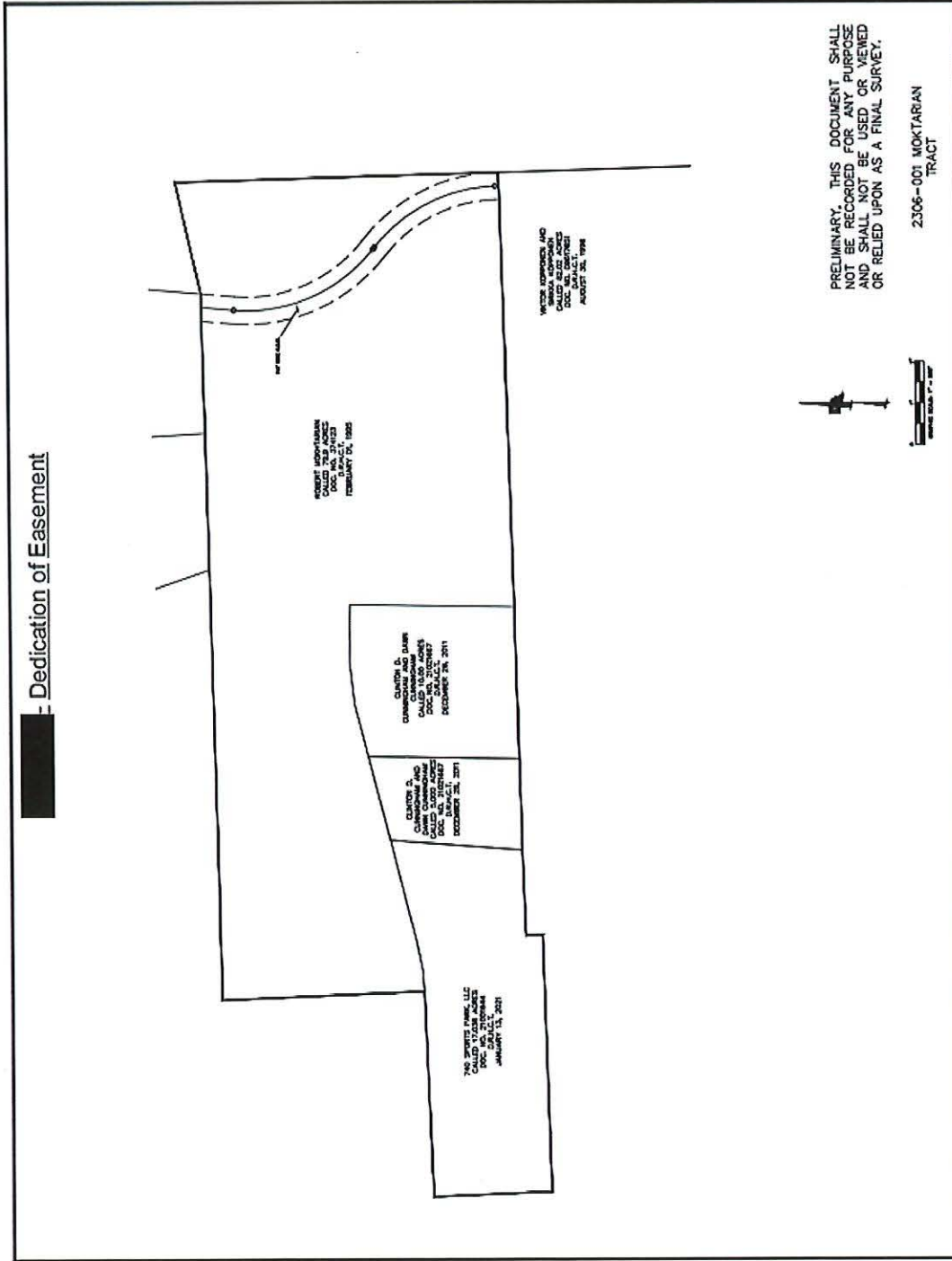
**THENCE**, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 580.13 feet to a ½ inch Iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

**THENCE**, with the lines common to said 5.00 acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch Iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch Iron rod with cap stamped "AST" set;
3. S88°18'03"W, , at a distance of 150.23 pass a ½ inch Iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the POINT OF BEGINNING and containing 17.038 acres of land, more or less.

EXHIBIT D

Easement Dedications



**CITY OF DRIPPING SPRINGS**

**ORDINANCE NO. 2021-41**

AN ORDINANCE OF THE CITY OF DRIPPING SPRINGS, TEXAS, TO VOLUNTARILY ANNEX BY REQUEST OF THE PROPERTY OWNERS APPROXIMATELY 111.1103 ACRES OF LAND INTO THE INCORPORATED MUNICIPAL BOUNDARIES OF THE CITY OF DRIPPING SPRINGS, TEXAS INCLUDING THE FOLLOWING: FINDINGS OF FACT; EFFECTIVE DATE; REPEALER; SEVERABILITY; AND PROPER NOTICE AND MEETING.

**WHEREAS**, the City of Dripping Springs (“City”) is a Type-A, General Law municipality located in Hays County, Texas with the rights and privileges thereto; and

**WHEREAS**, Section 43.0671 of the Texas Local Government Code authorizes a Type-A general law municipality to extend the boundaries of the municipality and annex area adjacent to the municipality by petition of area landowners in accordance with the procedural rules prescribed by Texas Local Government Code Chapter 43; and

**WHEREAS**, the City received a written petition from Clinton Cunningham and Dawn Cunningham requesting the voluntary annexation of the area described in Exhibit “A” on September 30, 2021; and

**WHEREAS**, the area identified in Exhibit “A”, 15 acres located in the P.A. Smith League, Hays County, Texas, is adjacent and contiguous to the city limits; and

**WHEREAS**, the City received a written petition from 740 Sports Park LLC, requesting the voluntary annexation of the area described in Exhibit “B” on October 1, 2021; and

**WHEREAS**, the area identified in Exhibit “B”, 17.038 acres located in the P.A Smith League, Hays County, Texas, is adjacent and contiguous to the city limits; and

**WHEREAS**, the City received a written from petition Robert Mokhtarian individually and as Trustee for Edward Mokhtarian, and as Trustee for Edmund Mokhtarian requesting the voluntary annexation of the area described in Exhibit “C” on October 12, 2021; and

**WHEREAS**, the area identified in Exhibit “C”, 79.0723 acres of the P.A. Smith League Survey, the C.H. Malott Survey and the Benjamin F. Mims Survey No. 8, Hays County, Texas, is adjacent and contiguous to the city limits; and

**WHEREAS**, the City Council granted the petitions and allowed City staff to proceed with negotiating the service agreement with the property owners, in accordance with Section 43.0672 of Texas Local Government Code; and

**WHEREAS**, the City Council conducted a public hearing and considered testimony regarding



the annexation of the property, in accordance with Section 43.0673 of Texas Local Government Code on October 19, 2021; and

**WHEREAS,** the City Council deems it to be in the best interest of the citizens of the City to annex said territory into the City.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS:**

**1. FINDINGS OF FACT**

All of the above premises are hereby found to be true and correct legislative and factual findings of the City Council of Dripping Springs, Texas, and are hereby approved and incorporated into the body of this Ordinance as if copied herein in their entirety.

**2. ANNEXATION OF TERRITORY**

- A. The property in the area described in Exhibit “A”, “B” and “C”, which is attached hereto and incorporated herein for all purposes, is hereby annexed and brought into the municipal boundaries (i.e., corporate limits) of the City of Dripping Springs, and is made an integral part, hereof.
- B. The official map and boundaries of the City of Dripping Springs are hereby amended and revised so as to include the area annexed, and to reflect the expansion of the City’s extraterritorial jurisdiction resulting from such annexation.
- C. An annexation agreement was executed prior to the annexation approval in accordance with Section 43.0672 of Texas Local Government Code and is attached hereto as part of Exhibit “A”, “B” and “C” and incorporated herein for all intents and purposes.
- D. The owners and inhabitants of the area herein annexed are entitled to all of the rights and privileges of other citizens of the City of Dripping Springs and are hereby bound by all acts, ordinances and other legal actions now in full force and effect and those that may be hereafter adopted or enacted.

**3. EFFECTIVE DATE**

This ordinance is effective, and the annexation achieved herein shall be final and complete upon adoption of this Ordinance on the date set forth below.

**4. FILING**

- A. The City Secretary is hereby instructed to include this Ordinance in the records of the City.
- B. The City Secretary is hereby instructed to have prepared maps depicting the new municipal

boundaries and extraterritorial jurisdiction.

- C. The City Secretary is hereby instructed to file a certified copy of this Ordinance with the Hays County Clerk.
- D. The City Secretary is hereby instructed to submit by certified mail a certified copy of the annexation ordinance a map of the entire city that shows the change in boundaries, with the annexed portion clearly distinguished, resulting from the annexation to the Texas Comptroller's Office.

**5. SEVERABILITY**

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance be severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this Ordinance, and the remainder of this Ordinance shall be enforced as written.

**6. PROPER NOTICE AND MEETING**

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public as required and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

**PASSED AND APPROVED** this the 19<sup>th</sup> day of October 2021, by a vote of 3 (ayes) to 0 (nays) to 0 (abstentions) of the City Council of the City of Dripping Springs, Texas.

**THE CITY OF DRIPPING SPRINGS:**



*Bill Foulds Jr.*  
 \_\_\_\_\_  
 Bill Foulds Jr.

**ATTEST:**

*Andrea Cunningham*  
 \_\_\_\_\_  
 Andrea Cunningham, City Secretary

# EXHIBIT “A”

**PETITION REQUESTING ANNEXATION OF TERRITORY  
IN WHICH THERE ARE FEWER THAN THREE VOTERS**


TO THE MAYOR AND GOVERNING BODY OF THE CITY OF DRIPPING SPRINGS, TEXAS.

The undersigned owner of the hereinafter described tract of land, which is vacant and without residents, or on which less than three qualified voters reside, hereby petition your Honorable Body to extend the present city limits so as to include as part of the City of Dripping Springs, Texas, the territory being more fully described on Exhibit "A" attached hereto and incorporated herein for all purposes.

**I certify that the above described tract of land is contiguous and adjacent to the City of Dripping Springs, Texas, is not more than one-half (1/2) mile in width, and that this petition is signed and duly acknowledged by each and every person or corporation having an interest in said land.**

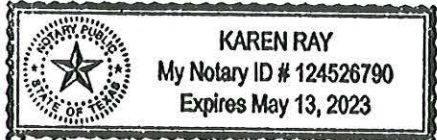
Dated: October 18, 2021.

  
\_\_\_\_\_  
Clinton Cunningham

  
\_\_\_\_\_  
Dawn Cunningham

STATTE OF TEXAS  
COUNTY OF HAYS

This instrument was acknowledged before me on October 18 2021 by Clinton Cunningham and Dawn Cunningham.



  
\_\_\_\_\_  
Notary Public, State of Texas

My Commission Expires: \_\_\_\_\_

## EXHIBIT A

## Property Legal Description:

## Tract 1:

Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

May 25, 1989

FIELD NOTES DESCRIBING A 10.00 ACRE TRACT OF LAND OUT OF THE P. A. SHERIDAN LEAGUE IN HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO JACK HOWELL BY DEED RECORDED IN VOLUME 753, PAGE 252 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING FOR REFERENCE at an iron pin set at the southwest corner of the above said Jack Howell Tract, said point being situated at the most southerly southeast corner of that certain forty (40.00) acre tract of land conveyed to Dripping Springs Independent School District by deed recorded in Volume 646, Page 731 of the Hays County Deed Records, said point being situated on the north boundary line of a thirty (30) foot wide increase and egress easement described in a deed of record in Volume 181, Page 171 of the Hays County Deed Records.

THENCE, along the north boundary line of said easement, same being the north boundary line of that certain 90.01 acre tract of land conveyed to Virginia B. Henson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records; S 89°47'00" E for 1077.21 feet to a 60-0 nail set in a fence corner post.

THENCE, continuing along the fenced north boundary line of said 90.01 acre tract, same being the south boundary line of said Jack Howell Tract, the following two (2) courses:

1. N 0°16'55" E for 70.42 feet to an iron pin found.
2. S 89°45'13" E for 741.35 feet to an iron pin set for the southwest corner of the herein described tract and being the POINT OF BEGINNING.

THENCE, through the interior of said Howell Tract, N 2°49'06" E for 636.99 feet to an iron pin set on the south boundary line of a proposed sixty (60) foot wide road, said point being situated at the northwest corner of the herein described tract.

THENCE, continuing through the interior of said Howell Tract along the south boundary line of said proposed road, the following three (3) courses:

1. N 77°36'53" E for 224.62 feet to an iron pin set.
2. An arc distance of 182.90 feet along a curve to the right whose elements are:  $I=15^{\circ}12'13"$ ,  $R=689.28$  feet,  $T=91.99$  feet and whose chord bears N 85°13'00" E for 182.37 feet to an iron pin set.
3. S 87°10'56" E for 230.19 feet to an iron pin set for the northeast corner of the herein described tract.

May 25, 1989  
Re: 10.00 acre tract  
Page 2

THENCE, continuing through the interior of said Howell Tract, S 2°49'06" W for 691.47 feet to an iron pin set on the fenced north boundary line of said 90.01 acre Wesson Tract and being situated at the southeast corner of the herein described tract.

THENCE, along the north boundary line of said 90.01 acre tract and the south boundary line of said Howell Tract, N 89°45'13" W for 636.35 feet to the POINT OF BEGINNING of the herein described tract containing 10.00 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Jimmy L. Johnson  
State of Texas License No. 74010  
Surveyor

Job #1646

Updated

9-3-93

## Tract 2:

Oak Hill Surveying Co., Inc.  
6124 Hwy. 290 West • Austin, TX 78735 • (512) 892-2972

June 14, 1990

FIELD NOTES DESCRIBING A 5.000 ACRE TRACT OF LAND OUT OF THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 102.3069 TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS, SAID 5.000 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pin found at the southwest corner of the above described remaining tract, said point being the southeast corner of a 17.0518 acre tract of land conveyed to J. C. and Hara Cardwell by deed recorded in Volume 797, Page 709 of the Hays County Deed Records; said point also situated on the north boundary line of a 90.01 acre tract of land conveyed to Virginia B. Wesson by deed recorded in Volume 220, Page 514 of the Hays County Deed Records.


THENCE, along the west boundary line of the above described tract, N 6°12'10" E for 60.25 feet to an iron pin found at the northwest corner of the herein described tract, and being the northeast corner of the 17.0518 acre Cardwell Tract.

THENCE, through the interior of said Main Pass Partner Tract along the south boundary line of a proposed sixty (60) foot wide road N 77°36'53" E for 361.81 feet to an iron pin found at the northeast corner of the herein described tract, same being the northwest corner of a 10.00 acre tract of land conveyed to Gary and Etola Dousett by deed recorded in Volume 795, Page 872 of the Hays County Deed Records.

THENCE, along the east boundary line of the herein described tract, S 2°49'06" W for 636.99 feet to an iron pin found at the southeast corner of the herein described tract, same being the southwest corner of the above described Dousett Tract, also being situated on the fenced north boundary line of the above described Virginia B. Wesson Tract.

THENCE, along the fenced south boundary line of the herein described tract, same being a fenced portion of the north boundary line of the above described Virginia B. Wesson Tract, N 89°45'13" W for 302.61 feet to the POINT OF BEGINNING of the herein described tract containing 5.000 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.

  
Amy C. Jones, R.P.S. 74018  
Updated 9-3-93

Job #1651

# EXHIBIT “B”



**PETITION REQUESTING ANNEXATION OF TERRITORY  
IN WHICH THERE ARE FEWER THAN THREE VOTERS**

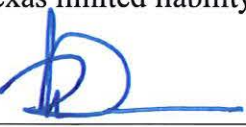
TO THE MAYOR AND GOVERNING BODY OF THE CITY OF DRIPPING SPRINGS, TEXAS.

The undersigned owner of the hereinafter described tract of land, which is vacant and without residents, or on which less than three qualified voters reside, hereby petition your Honorable Body to extend the present city limits so as to include as part of the City of Dripping Springs, Texas, the territory being more fully described on Exhibit "A" attached hereto and incorporated herein for all purposes.

**I certify that the above described tract of land is contiguous and adjacent to the City of Dripping Springs, Texas, is not more than one-half (1/2) mile in width, and that this petition is signed and duly acknowledged by each and every person or corporation having an interest in said land.**

Dated: 10/1, 2021.

**740 Sports Park, LLC**  
A Texas limited liability company

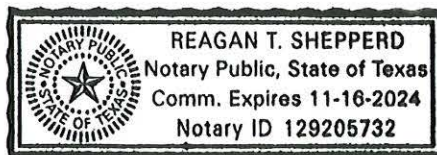
By:   
Name: David Denbow  
Title: Manager

STATTE OF TEXAS  
COUNTY OF HAYS

This instrument was acknowledged before me on October 1st, 2021 by David Denbow, Manager of 740 Sport Park, a Texas limited liability company, on behalf of said limited liability company.

  
Notary Public, State of Texas

My Commission Expires: 11-16-2024



## EXHIBIT A

## Property Legal Description:

BEING 17.038 ACRES OF LAND LOCATED IN THE P. A. SMITH LEAGUE IN HAYS COUNTY, TEXAS AND BEING THE SAME PROPERTY DESCRIBED IN VOLUME 4783, PAGE 307, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T.); SAID 17.038 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83 4203.

**BEGINNING** at an iron rod with cap stamped "KC ENG" found for the most southerly southeast corner of a called 40.00 acre tract described in Volume 646, Page 731 of the Hays County Deed Records (H.C.D.R.), said point also being on the north line of a called 82.02 acre tract described in Volume 367, Page 294 H.C.D.R. and being the southwest corner of the herein described tract;

**THENCE**, with an east line of said 40.00 acre tract and the west line of the herein described tract, N02°12'00"W, for a distance of 498.67 feet to a ½ inch iron rod found for the northwest corner of the herein described tract, same being the southwest corner of a called 1.18 acre tract as described in Document Number 1704138 OPRHCT.;

**THENCE**, with the south line of said 1.18 acre tract, and the north line of the herein described tract, N87°47'00"E, for a distance of 859.59 feet to a ½ inch iron rod found for the southeast corner of said 1.18 acre tract, same being the southwest corner of a called 79.0723 acre tract as described in Volume 1128, Page 849 O.P.R.,H.C.T., said point being the beginning of a curve to the left;

**THENCE**, with the north line of the herein described tract, and the south line of said 79.0723 acre tract, the following courses and distances:

1. with said curve to the left an arc length of 210.66 feet, said curve having a radius of 1001.01 feet, a central angle of 12°03'28", and having long chord which bears N61°45'16"E, for a distance of 210.27 feet to a calculated point for the end of said curve;
2. N75°43'32"E, for a distance of 441.05 feet to a ½ inch iron rod found for the northeast corner of the herein described tract, same being the northwest corner of a called 5.0001 acre tract as described in Volume 4258, Page 618 O.P.T.H.C.T.;

**THENCE**, with the east line of the herein described tract, same being the west line of said 5.0001 acre tract, S04°16'26"W, for a distance of 560.13 feet to a ½ inch iron rod with cap stamped "AST" set on the north line of a called 5.00 acre tract as described in Volume 2856, Page 201 O.P.R.H.C.T., said point being the southwest corner of said 5.0001 acre tract and the southeast corner of the herein described tract;

**THENCE**, with the lines common to said 5.00-acre tract and the herein described tract the following courses and distances:

1. S88°21'29"W, for a distance of 358.71 feet to a ½ inch iron rod found for the most northerly northwest corner of said 5.00 acre tract;
2. S01°35'01"E, for a distance of 69.68 feet to a ½ inch iron rod with cap stamped "AST" set;
3. S88°48'03"W, , at a distance of 150.23 pass a ½ inch iron rod found for the most westerly northwest corner of said 5.00 acre tract, same being the northeast corner of said 82.02 acre tract, continuing for a total distance of 1077.43 feet to the POINT OF BEGINNING and containing 17.038 acres of land, more or less.

# EXHIBIT “C”

**PETITION REQUESTING ANNEXATION OF TERRITORY  
IN WHICH THERE ARE FEWER THAN THREE VOTERS**

TO THE MAYOR AND GOVERNING BODY OF THE CITY OF DRIPPING SPRINGS, TEXAS.

The undersigned owner of the hereinafter described tract of land, which is vacant and without residents, or on which less than three qualified voters reside, hereby petition your Honorable Body to extend the present city limits so as to include as part of the City of Dripping Springs, Texas, the territory being more fully described on Exhibit "A" attached hereto and incorporated herein for all purposes.

**I certify that the above described tract of land is contiguous and adjacent to the City of Dripping Springs, Texas, is not more than one-half (1/2) mile in width, and that this petition is signed and duly acknowledged by each and every person or corporation having an interest in said land.**

Dated: 10/12, 2021.



Robert Mokhtarian individually and as Trustee for Edward Mokhtarian, and Robert Mokhtarian Trustee for Edmund Mokhtarian

STATTE OF CALIFORNIA

COUNTY OF Los Angeles

This instrument was acknowledged before me on 10-12, 2021 by Robert Mokhtarian, Robert Mokhtarian Trustee for Edward Mokhtarian, and Robert Mokhtarian Trustee for Edmund Mokhtarian.

A. Valadez  
Notary Public, State of California

My Commission Expires: 09-23-2024

See attached CA Acknowledgment  
10-12-2021 A-V,

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )
County of Los Angeles )

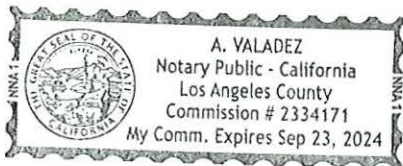
On 10-12-2021 before me, A. Valadez, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Robert Mokhtarian
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature A. Valadez
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document Petition Requesting Annexation of Territory

Title or Type of Document: Document Date: 10-12-2021

Number of Pages: 1 Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:

- Corporate Officer - Title(s)
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:

Signer Is Representing:

Signer's Name:

- Corporate Officer - Title(s)
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:

Signer Is Representing:

## EXHIBIT A

## Property Legal Description:

## Tract 1:

FIELD NOTES DESCRIBING A 79.0723 ACRE TRACT OF LAND OUT OF THE P.A. SMITH LEAGUE SURVEY, THE C.H. MALOTT SURVEY AND THE BENJAMIN F. MIMS SURVEY NO. 8 IN HAYS COUNTY, TEXAS, SAID 79.0723 ACRE TRACT OF LAND BEING OUT OF AND A PORTION OF THAT CERTAIN 85.2757 ACRE TRACT OF LAND CONVEYED TO MAIN PASS PARTNERS, LTD. BY DEED RECORDED IN VOLUME 785, PAGE 605 OF THE HAYS COUNTY, TEXAS DEED RECORDS, SAID 79.0723 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING at an iron pin found at the Northeast corner of that certain 40.00 acre tract of land conveyed to Dripping Springs Independent School District by Deed Recorded in Volume 646, Page 731 of the Hays County, Texas Deed Records, said point being situated at the most Northerly Northwest corner of said 85.2757 acre tract.

THENCE, along the fenced North boundary line of said 85.2757 acre tract, same being the South boundary line of that certain tract of land conveyed to Robert F. Shelton by deed recorded in Volume 143, Page 16 of the Hays County, Texas Deed Records, the following three (3) courses:

1. S 89°27'58" E for 465.05 feet to an iron pin found.
2. S 89°29'16" E for 2496.82 feet to a 60#D<sup>1</sup> nail found.
3. N 79°12'52" E for 480.33 feet to an iron pin found on the West boundary line of that certain 423.54 acre tract of land conveyed to B.T. Cowden by deed recorded in Volume 827, Page 81 of the Hays County, Texas Deed Records, same being the Northeast corner of the herein described tract.

THENCE, along the fenced West boundary line of said 423.54 acre tract, S 0° 20'06" W for 1362.07 feet to an iron pin found at the Northeast corner of that certain 82.02 acre tract of land conveyed to Lidia Crabb, Trustee, by deed recorded in Volume 367, Page 294 of the Hays County, Texas Deed Records, same being the Southeast corner of the herein described tract.

THENCE, along the fenced North boundary line of said 82.02 acre tract, N 89°45'13" W for 1821.90 feet to an iron pin found at the Southeast corner of that certain 10.00 acre tract of land conveyed to Gary and Fioela Doucet by deed recorded in Volume 795, Page 782 of the Hays County, Texas Deed Records.


THENCE, along the East boundary line of said 10.00 acre tract, N 2°49'06" E for 691.47 feet to an iron pin found on the South boundary line of a proposed sixty (60) foot wide street.

THENCE, along the South boundary line of said proposed sixty foot wide street the following five (5) courses:

1. N 87°10'54" W for 238.19 feet to an iron pin found.
2. An arc distance of 182.90 feet along a curve to the left whose elements are: I = 15°12'13", R = 689.28', T = 91.99', and whose chord bears S 85°13'00" W for 182.37 feet to an iron pin found.
3. S 77°36'53" W for 1026.64 feet to an iron pin found.
4. An arc distance of 120.16 feet along a curve to the right whose total elements are: I = 12°02'49", R = 1007.77', T = 106.33', and whose subchord bears S 81°01'50" W for 120.09 feet to an iron pin found.
5. An arc distance of 91.72 feet along a curve to the right whose elements are: I = 5°12'53", R = 1007.77', T = 45.89' and whose chord bears S 87°03'15" W for 91.69 feet to an iron pin found.

THENCE, along the East boundary line of said 40.00 acre Dripping Springs Independent School District Tract; N 0°20'18" W for 847.82 feet to the POINT OF BEGINNING of the herein described tract containing 79.0723 acres of land.

I HEREBY CERTIFY that these notes were prepared from a survey made on the ground under my supervision according to law and are true and correct to the best of my knowledge.



JIMMY F. JOHNSON, R.P.L.S. #4018

## Tract 2:

## FIELDNOTE DESCRIPTION

DESCRIPTION OF A STRIP OF LAND, 60-FEET (60') IN WIDTH, TOTALING 1.18 ACRES IN THE PHILIP A SMITH LEAGUE SURVEY NO. 26, A-416, IN HAYS COUNTY, TEXAS, BEING THE REMAINING PORTION OF THAT CALLED 86.2767 ACRE TRACT DESCRIBED IN THE WARRANTY DEED TO MAIN PASS PARTNERS, LTD., OF RECORD IN VOLUME 788, PAGE 808, REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS (RPRHCT), LESS THAT CALLED 79.0723 ACRE TRACT SEVERED FROM SAID 86.2767 ACRE TRACT AND DESCRIBED IN THE WARRANTY DEED WITH VENDOR'S LIEN TO ROBERT MOKHTARIAN, ET ALIA, OF RECORD IN VOLUME 1128, PAGE 849, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS; SAID 1.18 ACRE STRIP OF LAND, AS SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Bearing Basis: Grid Bearings of the Texas Coordinate System of 1983, Texas South Central Zone (4204), US Survey Feet, Reference Frame: NAD\_83(2011)(Epoch:2010.0000); Combined Scale Factor: 0.99992022; Mapping Angle: 0° 27' 07". Distances cited herein are surface.

COMMENCING for reference at iron rod with cap stamped "KC ENG" found on the north line of a 30' wide Ingress & Egress Easement described in Volume 181, Page 171, Deed Records Hays County, Texas (DRHCT), being the most southerly southeast corner of a called 40.00 acre tract described in the General Warranty Deed to The City of Dripping Springs, of record in Volume 1462, Page 671, OPRHCT, same being the southwest corner of that called 17.0518 acre described in the Warranty Deed with Vendor's Lien to Jean-Claude Cardwell, and wife, Mara Cardwell, of record in Volume 797, Page 709, RPRHCT;

THENCE N 02° 13' 09" W, with the east line of said 40.00 acre tract, the following three (3) courses and distances:

- 1) N 02° 13' 09" W, with the west line of said 17.0518 acre tract, 498.84 feet to a 1/4-inch iron rod found for the northwest corner of said 17.0518 acre tract, same being the westerly southwest corner of said 86.2767 acre tract, and POINT OF BEGINNING herein;
- 2) N 02° 13' 09" W, 60.00 feet to a 1/4-inch iron rod found for a southeast reentrant corner of said 40.00 acre tract, and a most westerly northwest salient corner of said 86.2767 acre tract and herein, and
- 3) N 87° 48' 51" E, 859.70 feet to a 1/4-inch iron rod found on the west line of said 79.0723 acre tract, and being the northeast corner herein; and from which point, a 1/4-inch iron rod found for the northeast corner of said 40.00 acre tract, and the northwest corner of said 79.0723 acre tract bears N 02° 13' 09" W, 788.07 feet;

THENCE S 02° 13' 09" E, crossing said 86.2767 acre tract with said west line of 79.0723 acre tract, 60.00 feet to a 1/4-inch iron rod found on the south line of said 86.2767 acre tract, same being the north line of said 17.0518 acre tract, for a southwest corner of said 79.0723 acre tract and southeast corner herein;

THENCE S 87° 48' 51" W, with the south line of said remainder tract, and north line of said 17.0518 acre tract, 859.70 feet to the POINT OF BEGINNING containing 1.18 acres of land, more or less, within these metes and bounds.

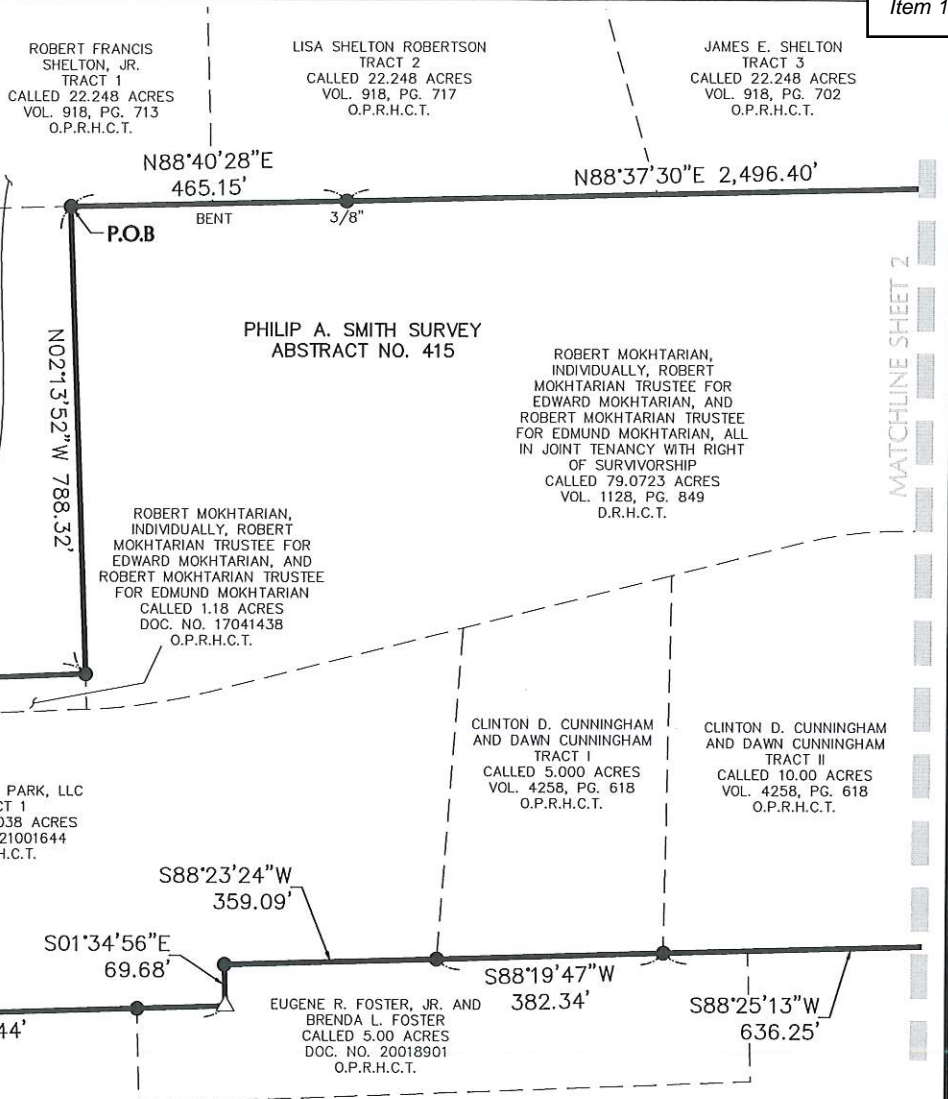
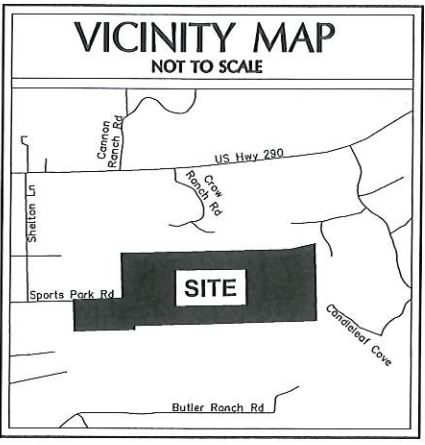
This description accompanied by Staudt Surveying, Inc. Boundary Survey 17077-01.dwg

Surveyed by: Staudt Surveying, Inc.  
P.O. Box 1273  
16740 Fitzhugh Road, Ste. 102  
Dripping Springs, Texas 78620  
512-868-2238  
Firm Registration No.: 10091700

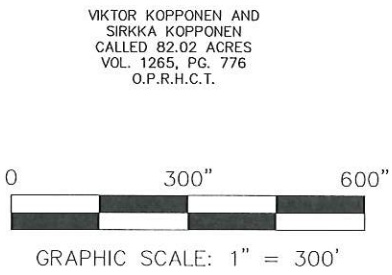


*Bryan D. Newsome*  
Bryan D. Newsome Registered Professional Land Surveyor No. 5657 Date *13 November 2017*





LEGEND	
	SUBJECT PROPERTY LINE
	ADJOINER PROPERTY LINE
	APPROXIMATE SURVEY LINE
	1/2" IRON ROD FOUND [UNLESS NOTED]
	NAIL FOUND
	COTTON SPINDLE FOUND
AC.	ACRES
P.O.B.	POINT OF BEGINNING
DOC. NO.	DOCUMENT NUMBER
VOL.	VOLUME
PG.	PAGE
R.P.R.H.C.T.	REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS
O.P.R.H.C.T.	OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
D.R.H.C.T.	DEED RECORDS, HAYS COUNTY, TEXAS

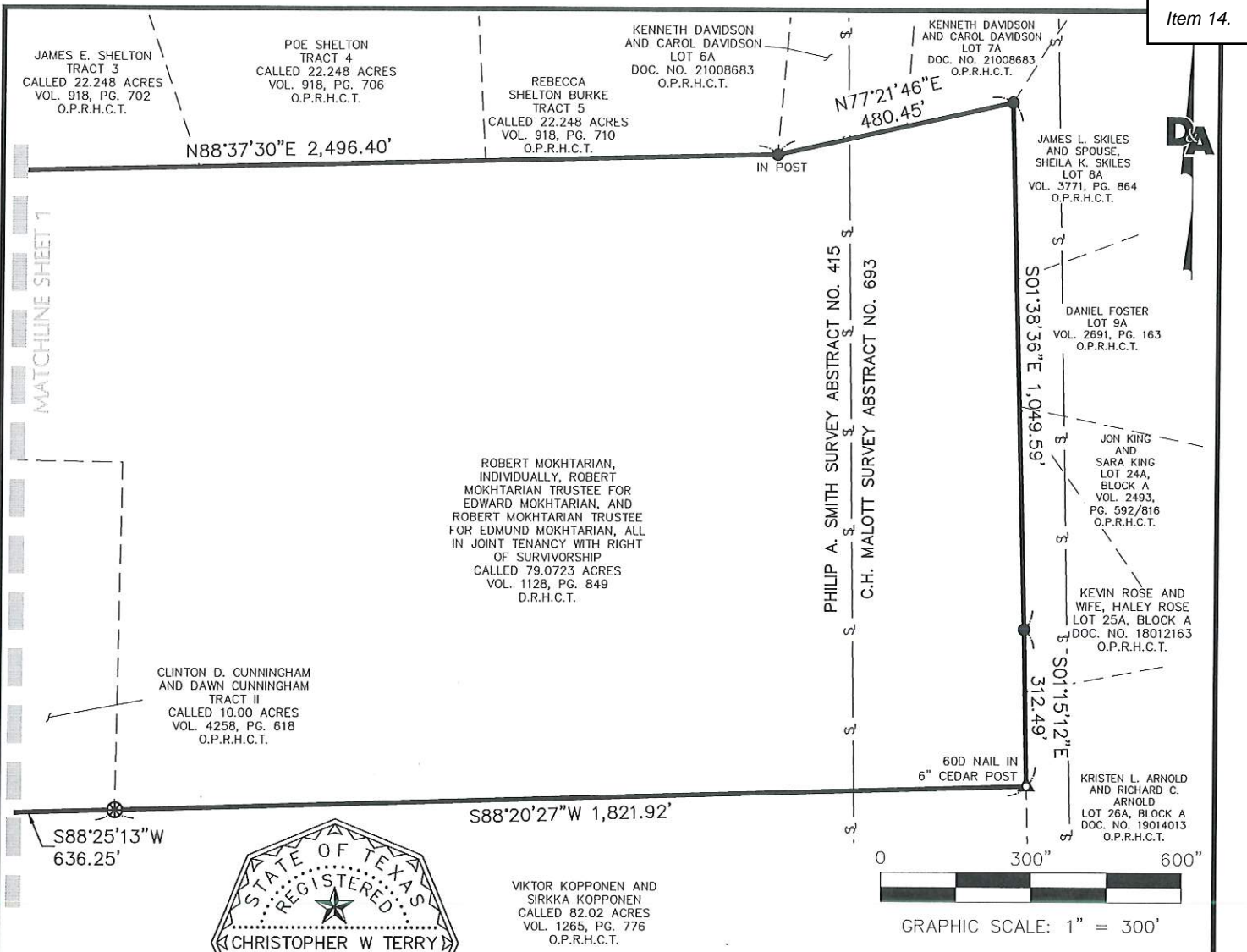


**CONTROL NOTE:**  
 BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE [4204], NAD 83 (2011), EPOCH 2010. ALL DISTANCES SHOWN ARE SURFACE VALUES AND MAY BE CONVERTED TO GRID BY DIVIDING BY THE SURFACE ADJUSTMENT FACTOR OF 1.000077936  
 UNITS: US SURVEY FEET.  
 THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS OR OTHER MATTERS OF RECORD MAY EXIST WHERE NONE ARE SHOWN.

**Village Grove**  
 CITY OF DRIPPING SPRINGS,  
 HAYS COUNTY, TEXAS

**Civil Engineering // Entitlements // Geospatial**  
 7401 B. Highway 71 W, Ste. 160  
 Austin, TX 78735, Tel: (512)-583-2600  
[www.doucetengineers.com](http://www.doucetengineers.com)  
 TBPE Firm Number: 3937  
 TBPELS Firm Number: 10105800

Date:	01/10/2022
Scale:	1" = 300'
Drawn by:	JRT
Reviewer:	CWT
Project:	2306-001
Sheet:	5 OF 6
Field Book:	---
Party Chief:	JMS
Survey Date:	11/24/2021



THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

*Christopher W. Terry*  
 CHRISTOPHER W. TERRY DATE 01/10/2022  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 TEXAS REGISTRATION NO. 6649  
 DOUCET & ASSOCIATES, INC.  
 CTERRY@DOUCETENGINEERS.COM

**CONTROL NOTE:**  
 BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE [4204], NAD 83 (2011), EPOCH 2010. ALL DISTANCES SHOWN ARE SURFACE VALUES AND MAY BE CONVERTED TO GRID BY DIVIDING BY THE SURFACE ADJUSTMENT FACTOR OF 1.000077936 UNITS: US SURVEY FEET.

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LEGEND	
	SUBJECT PROPERTY LINE
	ADJOINER PROPERTY LINE
	APPROXIMATE SURVEY LINE
	1/2" IRON ROD FOUND [UNLESS NOTED]
	NAIL FOUND
	COTTON SPINDLE FOUND
	ACRES
	POINT OF BEGINNING
	DOCUMENT NUMBER
	VOLUME
	PAGE
	REAL PROPERTY RECORDS, HAYS COUNTY, TEXAS
	OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
	DEED RECORDS, HAYS COUNTY, TEXAS

**Village Grove**  
 CITY OF DRIPPING SPRINGS,  
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Austin, TX 78735  
Office: 512.583.2600  
Fax: 512.583.2601

[Doucetengineers.com](http://Doucetengineers.com)

112.4 Acre Tract  
Hays County, Texas

D&A Job No. 2306-001  
January 10, 2022

**DESCRIPTION**  
For a 112.4-Acre

**BEING A 112.4-ACRE TRACT OUT OF THE C.H. MALOTT SURVEY, ABSTRACT NUMBER 693 AND THE PHILIP A. SMITH SURVEY, ABSTRACT NO. 415, HAYS COUNTY, TEXAS, SAID 112.4-ACRE TRACT BEING COMPRISED OF FIVE (5) TRACTS OF LAND: 1) A CALLED 79.0723-ACRE TRACT, DESCRIBED AS TRACT 1, CONVEYED TO ROBERT MOKHTARIAN, INDIVIDUALLY, ROBERT MOKHTARIAN TRUSTEE FOR EDWARD MOKHTARIAN, AND ROBERT MOKHTARIAN TRUSTEE FOR EDMUND MOKHTARIAN, ALL IN JOINT TENANCY WITH RIGHT OF SURVIVORSHIP, RECORDED IN VOLUME 1128, PAGE 849 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS [D.R.H.C.T.], 2. A CALLED 1.18-ACRE TRACT, DESCRIBED AS TRACT 2, CONVEYED TO ROBERT MOKHTARIAN, INDIVIDUALLY, ROBERT MOKHTARIAN TRUSTEE FOR EDWARD MOKHTARIAN, AND ROBERT MOKHTARIAN TRUSTEE FOR EDMUND MOKHTARIAN, RECORDED IN INSTRUMENT NO. 17041438 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS [O.P.R.H.C.T.], 3. A CALLED 17.038-ACRE TRACT, DESCRIBED AS TRACT 1, CONVEYED TO 740 SPORTS PARK, LLC, RECORDED IN DOCUMENT NO. 21001644, O.P.R.H.C.T., 4. A CALLED 5.000-ACRE TRACT, DESCRIBED AS TRACT 1, CONVEYED TO CLINTON D. CUNNINGHAM AND DAWN CUNNINGHAM, RECORDED IN VOLUME 4258, PAGE 618, O.P.R.H.C.T. AND 5. A CALLED 10.00-ACRE TRACT, DESCRIBED AS TRACT II, CONVEYED TO CLINTON D. CUNNINGHAM AND DAWN CUNNINGHAM, RECORDED IN VOLUME 4258, PAGE 618, O.P.R.H.C.T., SAID 112.4-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:**

**BEGINNING** at a 1/2-inch iron rod found for the northwest corner of said 79.0723-acre tract, same point for the northeast corner of a called 40.00-acre tract conveyed to Dripping Springs ISD, recorded in Volume 646, Page 754 of the Real Property Records of Hays County, Texas [R.P.R.H.C.T.], same point being in the south line of a called 22.248-acre tract, described as "Tract 1", conveyed to Robert Francis Shelton, Jr., recorded in Volume 918, Page 713, O.P.R.H.C.T. and for the northwest corner of the tract described herein;

**THENCE** with the north line of said 79.0723-acre tract, the following three (3) courses:

- 1) N88°40'28"E, with the south line of said 22.248-acre tract, described as "Tract 1", and with the south line of a called 22.248-acre tract, described as "Tract 2", conveyed to Lisa Shelton Robertson, recorded in Volume 918, Page 717, O.P.R.H.C.T., for a distance of 465.15 feet to a 3/8-inch iron rod found for an angle corner in the tract described herein,

**CONTINUED ON NEXT PAGE**

COMMITMENT YOU EXPECT.  
EXPERIENCE YOU NEED.  
PEOPLE YOU TRUST.



- 2) N88°37'30"E, with the south line of said 22.248-acre tract, described as "Tract 2", with the south line of a called 22.248-acre tract, described as "Tract 3", conveyed to James E. Shelton, recorded in Volume 918, Page 702, O.P.R.H.C.T., with the south line of a called 22.248-acre tract, described as "Tract 4", conveyed to Poe Shelton, recorded in Volume 918, Page 706, O.P.R.H.C.T. and with the south line of a called 22.248-acre tract, described as "Tract 5", conveyed to Rebecca Shelton Burke, recorded in Volume 918, Page 710, O.P.R.H.C.T., for a distance of 2,496.40 feet to a 1/2-inch iron rod in a post found for the southeast corner of said 22.248-acre tract, described as "Tract 5", for the southwest corner of Lot 6A, The Preserve Phase One Subdivision, recorded in Volume 10, Page 153 of the Plat Records of Hays County, Texas [P.R.H.C.T.], being that same tract conveyed to Kenneth Davidson and Carol Davidson, recorded in Document No. 21008683, O.P.R.H.C.T., and
- 3) N77°21'46"E, with the south line of said Lot 6A and with the south line of Lot 7A, The Preserve Phase One Subdivision, being that same tract conveyed to Kenneth Davidson and Carol Davidson, recorded in Document No. 21008683, O.P.R.H.C.T., for a distance of 480.45 feet to a 1/2-inch iron rod found for the northeast corner of said 79.0723-acre tract, for the southeast corner of said Lot 7A, for the northwest corner of Lot 8A, The Preserve Phase One Subdivision, being that same tract conveyed to James L. Skiles and Spouse, Sheila K. Skiles, recorded in Volume 3771, Page 864, O.P.R.H.C.T. and for the northeast corner of the tract described herein;

**THENCE** with the east line of said 79.0723-acre tract, the following two (2) courses:

- 1) S01°38'36"E, with the west line of said Lot 8A, with the west line of Lot 9A, The Preserve Phase One Subdivision, being that same tract conveyed to Daniel Foster, recorded in Volume 2691, Page 163, O.P.R.H.C.T. and with the west line of Lot 25A, Block A, The Preserve Phase Two Subdivision, recorded in Volume 10, Page 321, P.R.H.C.T., being that same tract conveyed to Kevin Rose and wife, Haley Rose, recorded in Document No. 18012163, O.P.R.H.C.T., for a distance of 1,049.59 feet to a 1/2-inch iron rod found for an angle point of the tract described herein, and
- 2) S01°15'12"E, with the west line of said Lot 25A and with the west line of Lot 26A, Block A, The Preserve Phase One Subdivision, being that same tract conveyed to Kristen L. Arnold and Richard C. Arnold, recorded in Document No. 19014013, O.P.R.H.C.T., for a distance of 312.49 feet to a nail found for the southeast corner of said 79.0723-acre tract, for the northeast corner of a called 82.02-acre tract, conveyed to Viktor Kopponen and Sirkka Kopponen, recorded in Volume 1265, Page 776, O.P.R.H.C.T. and for the southeast corner of the tract described herein;

**THENCE** S88°20'27"W, with the common line of said 79.0723-acre tract and said 82.02-acre tract, for a distance of 1,821.92 feet to a cotton spindle found for the southeast corner of a said 10.00-acre tract, for a southwest corner of said 79.0723-acre tract and for an angle point of the tract described herein;

**CONTINUED ON NEXT PAGE**



**THENCE** S88°25'13"W, with the south line of said 10.00-acre tract, partially along the north line of said 82.02-acre tract and partially along the north line of a called 5.00-acre tract, conveyed to Eugene R. Foster, Jr. and Brenda L. Foster, recorded in Document No. 20018901, O.P.R.H.C.T., for a distance of 636.25 feet to a 1/2-inch iron rod found for the southwest corner of said 10.00-acre tract (Tract II), the southeast corner of said 5.000-acre tract (Tract I) and for an angle point of the tract described herein;

**THENCE** S88°19'47"W, with the common line of said 5.00-acre tract and said 5.000-acre tract, for a distance of 382.34 feet to a 1/2-inch iron rod found for the southwest corner of said 5.000-acre tract (Tract I), the southeast corner of said 17.038-acre tract and for an angle point of the tract described herein;

**THENCE** with the common line of said 17.038-acre tract and said 82.02-acre tract, the following three (3) courses:

- 1) S88°23'24"W, for a distance of 359.09 feet to a 1/2-inch iron rod found for an interior ell corner of said 17.038-acre tract, for an angle corner of said 5.00-acre tract and for an angle point of the tract described herein,
- 2) S01°34'56"E, for a distance of 69.68 feet to a calculated point for an angle corner of said 17.038-acre tract, for an angle corner of said 5.00-acre tract and for an angle corner of the tract described herein, and
- 3) S88°18'08"W, partially along the north line of said 82.02-acre tract, for a distance of 1,077.44 feet to a 1/2-inch iron rod with cap stamped "KC ENG" found for the southwest corner of said 17.038-acre tract, for the southeast corner of said 40.00-acre tract and for the southwest corner of the tract described herein;

**THENCE** N02°12'18"W, with the common line of said 40.00-acre tract and said 17.038-acre tract, for a distance of 498.57 feet to a 1/2-inch iron rod found for the northwest corner of said 17.038-acre tract, for the southwest corner of said 1.18-acre tract and for an angle point of the tract described herein;

**THENCE** with the common line of said 1.18-acre tract and said 40.00-acre tract, the following two (2) courses:

- 1) N02°21'37"W, a distance of 59.91 feet to a 1/2-inch iron rod found for the northwest corner said 1.18-acre tract, a southeast corner of said 40.00-acre tract and the northwest corner of the tract described herein, and
- 2) N87°47'30"E, a distance of 859.86 feet to a 1/2-inch iron rod found for the northeast corner of said 1.18-acre tract, a southeast corner of said 40.00-acre tract, in the west line of said 79.0723-acre tract and for an angle point of the tract described herein;

**THENCE** N02°13'52"W, with the common line of said 40.00-acre tract and 79.0723-acre tract, for a distance of 788.32 feet to the **POINT OF BEGINNING** of the tract described herein and containing 112.4-acres.

**CONTINUED ON NEXT PAGE**



Notes:

Basis of bearings is the Texas Coordinate System, South Central Zone [4204], NAD83 (2011), Epoch 2010. All distances are surface values and may be converted to grid by dividing by the surface adjustment factor of 1.000077936.

Units: U.S. Survey Feet.

I, Christopher W. Terry, Registered Professional Land Surveyor, hereby certify that this document was prepared under 22 tac §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.












01/10/2022

Date

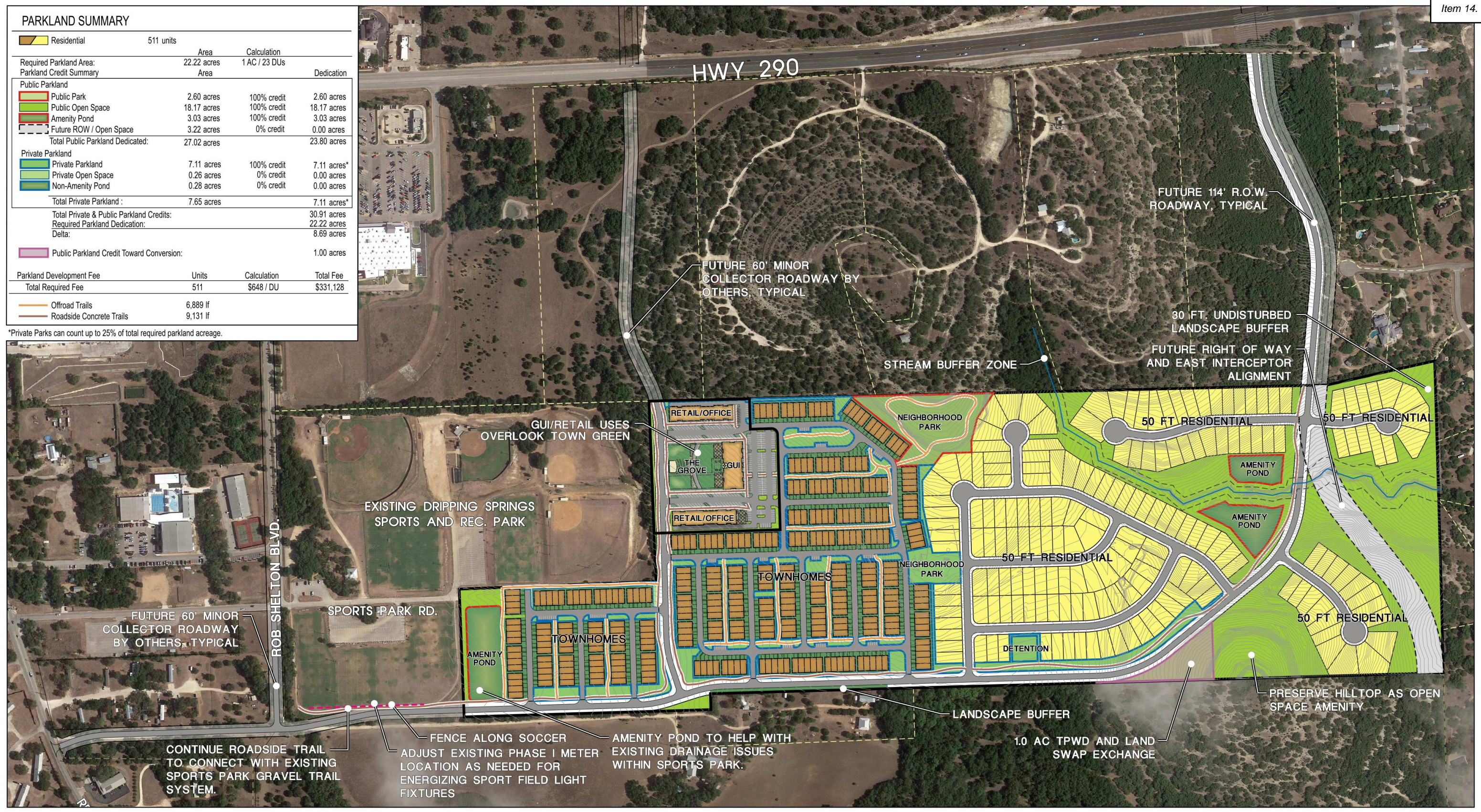
Christopher W. Terry  
Registered Professional Land Surveyor  
Texas Registration No. 6649  
Doucet & Associates  
Cterry@DoucetEngineers.com  
TBPELS Firm Registration No. 10105800



**PARKLAND SUMMARY**

 Residential	511 units		
Required Parkland Area:	22.22 acres	1 AC / 23 DUs	
Parkland Credit Summary	Area	Calculation	Dedication
<b>Public Parkland</b>			
 Public Park	2.60 acres	100% credit	2.60 acres
 Public Open Space	18.17 acres	100% credit	18.17 acres
 Amenity Pond	3.03 acres	100% credit	3.03 acres
 Future ROW / Open Space	3.22 acres	0% credit	0.00 acres
<b>Total Public Parkland Dedicated:</b>	<b>27.02 acres</b>		<b>23.80 acres</b>
<b>Private Parkland</b>			
 Private Parkland	7.11 acres	100% credit	7.11 acres*
 Private Open Space	0.26 acres	0% credit	0.00 acres
 Non-Amenity Pond	0.28 acres	0% credit	0.00 acres
<b>Total Private Parkland :</b>	<b>7.65 acres</b>		<b>7.11 acres*</b>
<b>Total Private &amp; Public Parkland Credits:</b>			<b>30.91 acres</b>
<b>Required Parkland Dedication:</b>			<b>22.22 acres</b>
<b>Delta:</b>			<b>8.69 acres</b>
 Public Parkland Credit Toward Conversion:			1.00 acres
Parkland Development Fee	Units	Calculation	Total Fee
<b>Total Required Fee</b>	511	\$648 / DU	\$331,128
 Offroad Trails	6,889 lf		
 Roadside Concrete Trails	9,131 lf		

\*Private Parks can count up to 25% of total required parkland acreage.



9600 Escarpment Blvd., Suite 745-4  
Austin, Texas 78789

Date: 04.01.22  
Project: Village Grove  
City of Dripping Springs  
Parkland Dedication Plan

**MEMORANDUM**

To: Howard Koontz, City of Dripping Springs City Planner  
Laura Mueller, City of Dripping Springs City Attorney

Cc: N/A

---

This memo serves as follow-up correspondence to the review by LUCK Design Team, LLC of the Village Grove Parkland Dedication Plan submitted March 31, 2022. Please see attached Parkland Dedication Plan Narrative and site plans.

\*\*\* \*\*

Note: This review is considered an initial review to ensure the comments from this review and discussion are taken into consideration as the project moves through PDD and MUD review. It is our understanding that the Parks and Recreation Commission will have the chance to review the proposed park development again as the project goes through the platting stage.

After review we have the following observations and recommendations:

1. At 511 proposed residential units, the amount of parkland required per ordinance is 22.22 acres.
2. A total of 30.91 acres of physical land is being dedicated to the City as public parkland as broken down below:
  - a. Public Parks – Total = 2.36 acres
  - b. Public Open Space = 16.27
  - c. Amenity Pond = 4.94 acres
  - d. Private Parkland = 7.34
3. The amount of parkland dedication acreage exceeds ordinance requirements by 8.69 acres.
4. The parkland development fee required by ordinance for the 511 acres is \$331,128. The developer has indicated that the full amount of that parkland development fee will be paid.
5. A trail connection along the south minor collector road is proposed by the developer that will connect the residential part of the community to Dripping Springs Sports Park. This trail surface is concrete.
6. The 1.0 acres of parkland central to the development is located there to primarily serve as a neighborhood park and will be passive in nature.
7. The edge treatment where the north-south minor collector interfaces with Dripping Springs Sports and Recreation Park needs to be discussed and vetted further, specifically in regards to:



- a. Perimeter fencing and providing a barrier between soccer players and vehicular traffic along minor collector;
  - b. Extending the concrete trail along the north-south minor collector from the west amenity pond to Rob Shelton Blvd.;
  - c. Mitigating the existing drainage swale at the Sports Park where the north-south minor collector is proposed; see Exhibit A.
  - d. Mitigating the 2.1-acres of dedicated open space that is part of an agreement between Texas Parks and Wildlife and the City of Dripping Springs. The north-south minor collector goes through this open space area; See Exhibit B.
  - e. Sports lighting has been designed for the Sports Park soccer fields; a Phase 1 meter is located in the proposed north-south minor collector corridor and it will need to be relocated/redesigned, See Exhibit C.
- 

Prepared By: Brent Luck

LAND USE SUMMARY			
RESIDENTIAL	UNITS	UNIT MIX	
Townhouse Residential	331 units	64.77 %	
50' x 120' SFD Residential	180 units	35.23 %	
Residential Sub-Total:		511 units	
Retail/GUI	7.0 acres		
Total:		112.4 acres	4.55 du/ac 511 units

Notes:

- CONCRETE TRAILS, TYP.
- OFFROAD TRAILS, TYP.
- LEFT TURN BAY



**LIST OF VARIANCES & ALTERNATIVE STANDARDS**

Item 14.

#	Ordinance	Description	Requirement	Requested Variance or Alternative	Justification
1	22.05.016(a)(2)	Maximum Impervious Cover	Sets maximum impervious cover for site development plans within the Edwards Aquifer contributing zone and the ETJ to 35%	The area designation and impervious cover will be as follows: SF3 - 65%, SF5 - 80% (exclusive of public ROW and/or utility easements), and CS/GUI 70%.	To have the ability to respond to evolving and diversified housing market. To provide a variety of housing types with variety of lot sizes. In addition, to allow major transportation infrastructure and a commercial sector.
2	22.05.015(c)(3)	Performance standards	Establishes 90% removal of total suspended solids, total phosphorus, and oil and grease	Use water quality BMPs that achieve a TSS removal of 89% and comply with the TCEQ Optional Enhanced Measures (OEM) load management requirements.	Providing water quality buffer zones per the City of Dripping Springs requirements and including the LCRA Streambank Erosion Control volume in the water quality pond to protect natural waterways and habitat. Will create better use of the land, less long-term maintenance burden, more attractive water quality measures, and consistent with State standards.
3	26.05	Prohibited Signs	Off Premises Signs are prohibited	Allow one (1) off premises sign, which shall be a construction/development sign to be erected at the intersection of the primary entry collector leading into the project and Hwy 290.	Entrance to the subdivision is not visible from any existing public roadway. Master sign plan and permit applications are still required. Signs will conform with the forthcoming Master Sign Plan.
4	(Exhibit A), 3.13	Lapse of plat approval	Preliminary Plat: All of the following shall occur within the one hundred and eighty-three (183) calendar days following Preliminary Plat approval: 1) City Engineer's approval of engineering plans for all proposed public improvements; and 2) payment of all applicable fees that are traditionally collected prior to release for site construction. In addition to the above, an application for approval of the final plat shall be submitted to the City within three hundred sixty-five (365) calendar days following approval of the preliminary plat in order to avoid lapse of the approved Preliminary Plat (unless such is extended or reinstated pursuant to provisions in this Chapter).	Preliminary Plat: All of the following shall occur within the one hundred and eighty-three (183) calendar days following Multi-Phased Preliminary Plat approval: 1) City Engineer's approval of engineering plans for Phase 1 or additional phases proposed public improvements; and 2) payment of all applicable fees that are traditionally collected prior to release for site construction for Phase 1 or additional phases. In addition to the above, an application for approval of the Phase 1 final plat shall be submitted to the City within three hundred sixty-five (365) calendar days following approval of the preliminary plat in order to avoid lapse of the approved Preliminary Plat (unless such is extended or reinstated pursuant to provisions in this Chapter). Once conditions of Phase 1 are met the Preliminary Plat shall be valid for 10 years. In the event City wastewater service is not available, the City will review and approve all documents and permits necessary for development, along with development to proceed and infrastructure be accepted. However, no home construction shall occur until wastewater service is available or the City approves otherwise.	Allows time for the construction of infrastructure improvements prior to recordation of plats.
5	(Exhibit A), 3.13	Lapse of plat approval	Final plat approved by the City Council but not yet filed with Hays County - All materials necessary to file the plat at the County, including plat mylars, filing fees, etc., shall be submitted to the City within thirty (30) calendar days of the date of final approval (The thirty-day period shall commence upon County approval of final plat if the property is in the ETJ).	Final plat approved by the City Staff but not yet filed with Hays County - All materials necessary to file the plat at the County, including plat mylars, filing fees, etc., shall be submitted to the City within three hundred and sixty five (365) calendar days of the date of final approval.	Allows time for the construction of infrastructure improvements prior to recordation of plats.

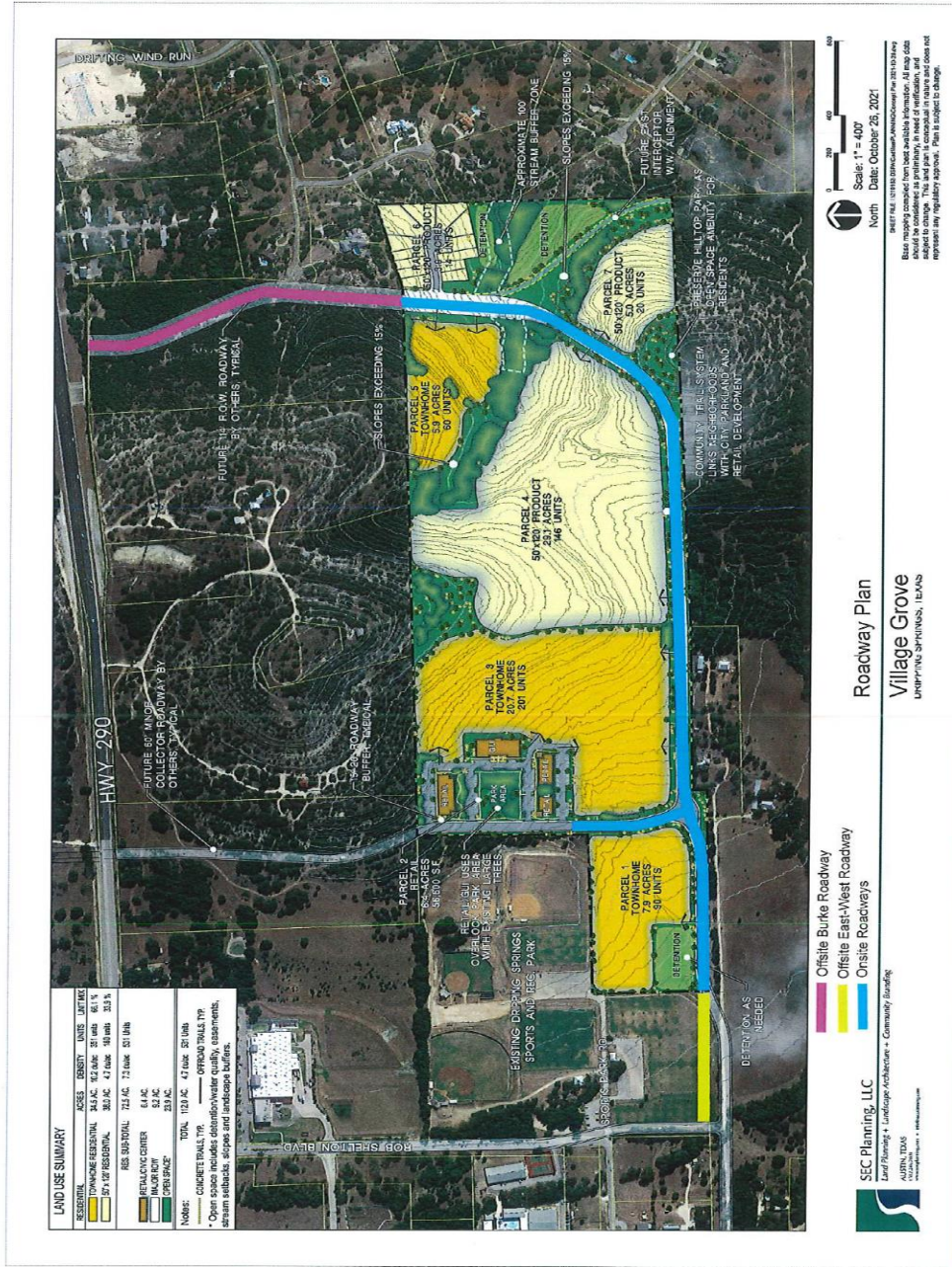
**LIST OF VARIANCES & ALTERNATIVE STANDARDS**

Item 14.

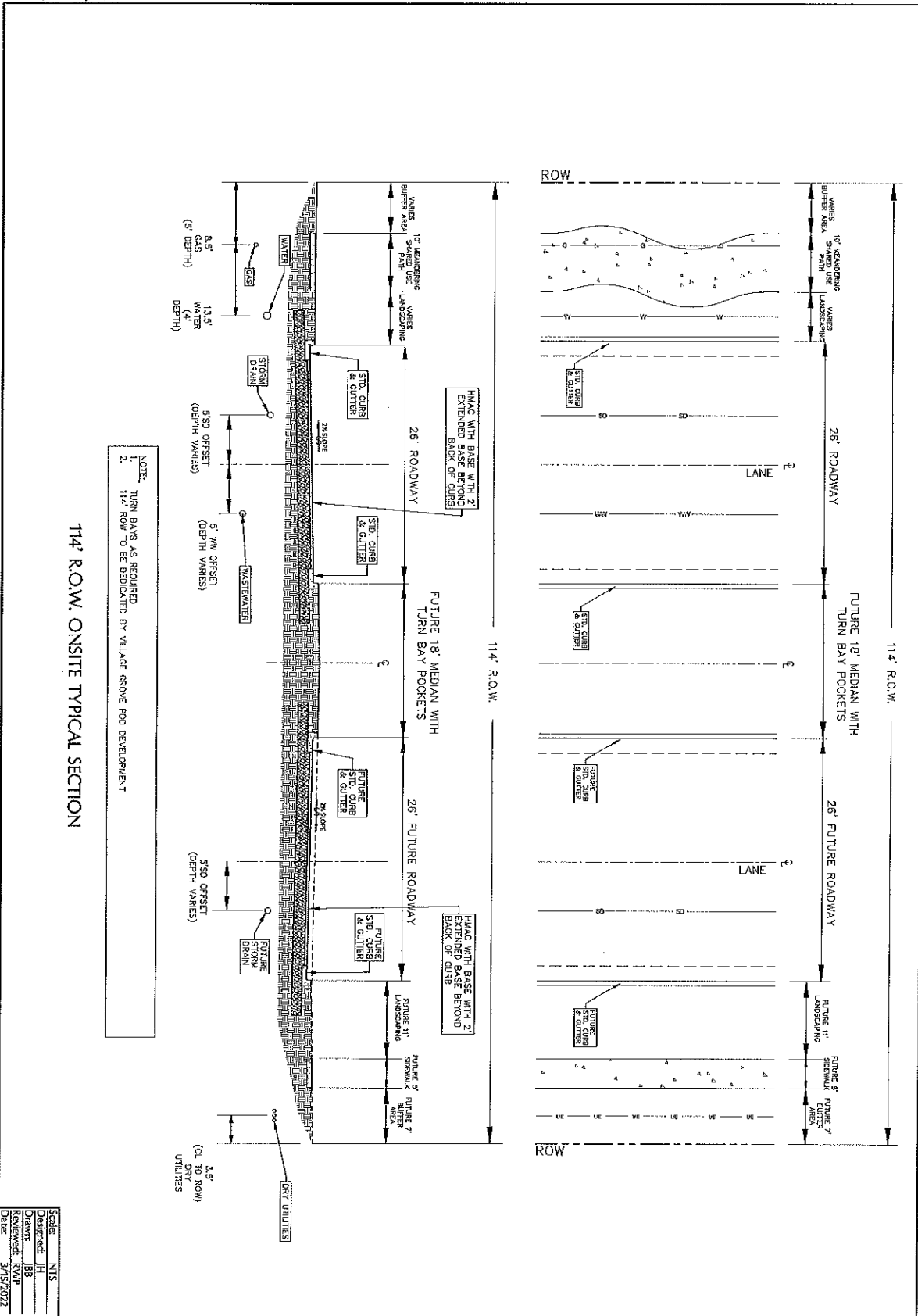
#	Ordinance	Description	Requirement	Requested Variance or Alternative	Justification
6	(Exhibit A), 11.13.2	Frontage on Residential Collector Streets	Shall not exceed 20%	Applicable only to major collectors, minor arterials, and major arterials. No residential driveways may directly connect to a major or minor arterial.	To showcase the lively neighborhood character with homes fronting streets where possible.
7	(Exhibit A), 13.2	Intersecting Streets	Blocks shall not be less than four hundred feet (400') in length	Blocks shall not be less than two hundred feet (200') in length	Considering the walkability within the SF5 area.
8	(Exhibit A), 14.6	Minimum Lot Sizes	For lots using surface water and public wastewater system is 3,500 square feet	Lot size shall be in accordance with the Ordinance in SF3 & SF5 zoning	
9	(Exhibit A), 15.1	Sidewalks	Required on both sides of all streets, 5' min. width or as specified in City TMP.	10' multi-modal use path will be provided on one side of arterial streets, excluding Lone Peak Way. Lone Peak Way will be constructed per the Ordinance. Residential development within the project located on the side without the 10' multi-modal path will means of access to the the path.	This will facilitate future expansion and/or adding lanes with future development and having sidewalks on the other side would not serve this development or existing needs.
10	(Exhibit A), 20.1.3(g)	Sidewalks	Both sides of street in both residential and non-residential developments utilizing curb (not open ditch drainage). Required in conjunction with sewer line installation.	Sidewalks adjacent to residential lots constructed by the home builders at the time of home construction. Sidewalks not adjacent to residential lots will be constructed at time of roadway construction.	To fuse the hill country character within the community.
11	28.04.019	Sidewalks	A minimum five-foot sidewalk shall be required within ROW on both sides of all streets within the development.	In the SF5 area, a minimum five-foot sidewalk will be required in the open space between buildings.	To incentivise pedestrian connection to open spaces, parks, and CS/GUI area, along with reducing impervious cover.
12	28.04.018	Cuts and fills	No fill or cut on any building site shall exceed a maximum of six (6) feet of depth	See below.**	To respond to topographic conditions.
13	28.06.051 (a&b)	Residential & Non-Residential Street Tree Requirements	Two (2) 4" street trees per residential lot; One (1) 4" street tree per 25 lf of street frontage to be planted adjacent to or near street right-of-way per associated zoning classification.	Two (2) 2 1/2-inch street trees per residential lot; 2 1/2-inch street trees along arterials, and within the Amenity Center lot to satisfy City tree replacement requirements.	Consistency with industry standards for residential lot trees. The development will provide a strong streetscape with mature trees earlier in the life of the project with this street tree planting plan.
14	CODS DSTC Section 1.1	Design criteria for transportation facilities	Hays County Subdivision and Development Regulations, latest version	City of Austin Transportation Criteria Manual (TCM), as currently amended, or as otherwise specified by the City TMP.	Hays County criteria based on larger lot, rural subdivisions with higher design speeds. City of Austin TCM is better suited for urban subdivisions with slower design speeds and land with significant topography similar to the Property
15	Zoning 5.6.2.12	Parking Requirement for Commercial Amusement (Outdoor)	Ten (10) spaces plus one (1) space for each 500 square feet over 5,000 square feet of building or recreational area.	One (1) parking space per three-hundred (300) square feet of pool surface area.	Private Amenity Centers are meant to be walkable for the community, reducing the reliance on large parking areas. Trail connections and bike racks will be provided at the amenity to reduce the need for excessive parking.

\*\* Improvements requiring a site development permit will be limited to no more than 12 feet of cut and/or fill. Cut and fill for public infrastructure improvements, including but not limited to roadways and stormwater control ponds may exceed 12 feet where specifically reviewed and approved by the City Engineer. Cut and fill for residential lot grading of up to 15 foot of cut and 20 foot of fill may be allowed in specific locations where approved by the City Engineer. All retaining walls and cut walls shall have native limestone facade and be approved by the City Engineer. Retaining walls taller than 8 feet shall be terraced so that no vertical segment of wall is taller than 8 feet.

Exhibit C Transportation Diagram



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 User: JBANISTER  
 Last Modified: May, 18, 22 - 15:56  
 Plot Date/Time: May, 18, 22 - 16:02:33



NOTE:  
 1. TURN BAYS AS REQUIRED  
 2. 114' R.O.W. TO BE REDUCED BY VILLAGE GROVE POD DEVELOPMENT

114' R.O.W. ONSITE TYPICAL SECTION

Scale:	NTS
Drawn:	JH
Reviewed:	EVIP
Date:	3/15/2022

SHEET 1 OF 7  
 Project No: 2372-0018

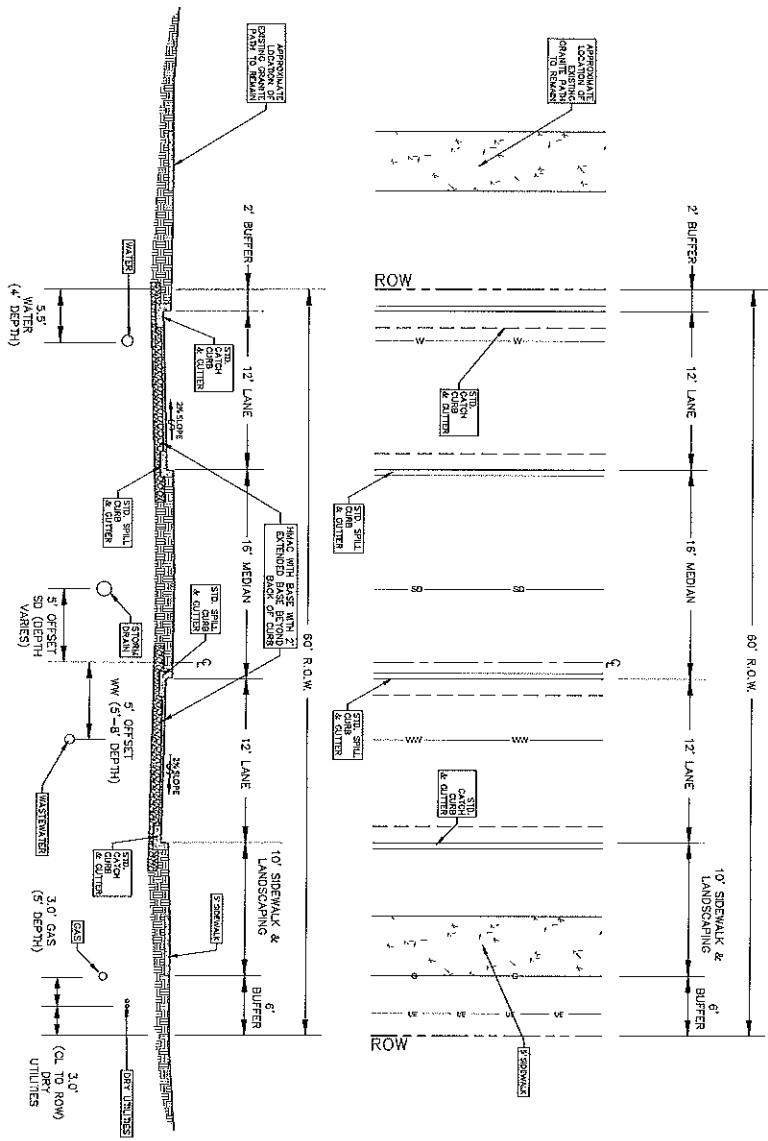
VILLAGE GROVE  
 SINGLE & MULTIFAMILY  
 DEVELOPMENT  
 DRIPPING SPRINGS, TX

STREE SECTION  
 114' R.O.W. COLLECTOR

**DOUCET**  
 Civil Engineering/Entirements/Geospatial  
 7401 B. Highway 71 W, Ste. 160  
 Austin, TX 78735, Tel: (512)-583-2600  
 www.doucetengineers.com  
 EIR File Number: 3132  
 TBPES File Number: 10105800

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 User: JBANISTER  
 Last Modified: May, 18, 22 - 16:17  
 Plot Date/Time: May, 18, 22 - 16:17:55

60' R.O.W. DIVIDED STREET TYPICAL SECTION  
 LONE PEAK WAY  
 N.T.S.



Scale	N.T.S.
Designer	JH
Drawn	BB
Reviewed	RWP
Date	5/18/2022

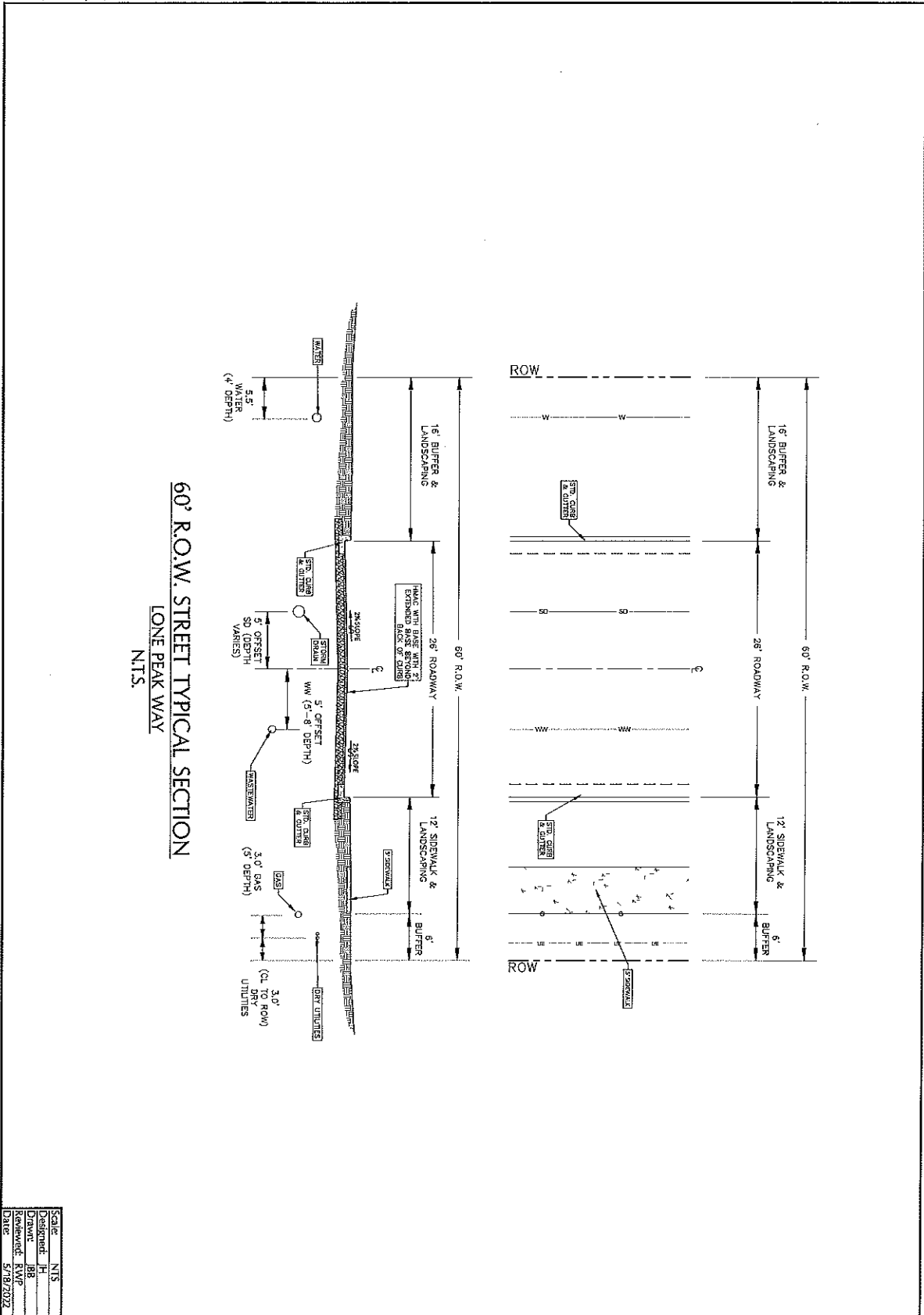
SHEET	2
OF	7
Project No.	2372-0018

VILLAGE GROVE  
 SINGLE & MULTIFAMILY  
 DEVELOPMENT  
 DRIPPING SPRINGS, TX

STREET SECTION  
 60' R.O.W. COLLECTOR

**DOUCET**  
 Civil Engineering/Entitlements/Geospatial  
 7401 B. Highway 71 W, Ste. 160  
 Austin, TX 78735, Tel: (512)-583-2600  
 www.doucetengineers.com  
 T&E File Number: 3937  
 T&E File Number: 19105800

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Last Modified: May, 18, 22 - 15:56  
Plot Date/Time: May, 18, 22 - 16:01:56



SCALE	NTS
DESIGNED BY	JH
DRAWN BY	BB
REVIEWED BY	KVP
DATE	5/18/2022

SHEET  
3  
OF 7  
Project No: 2372-001B

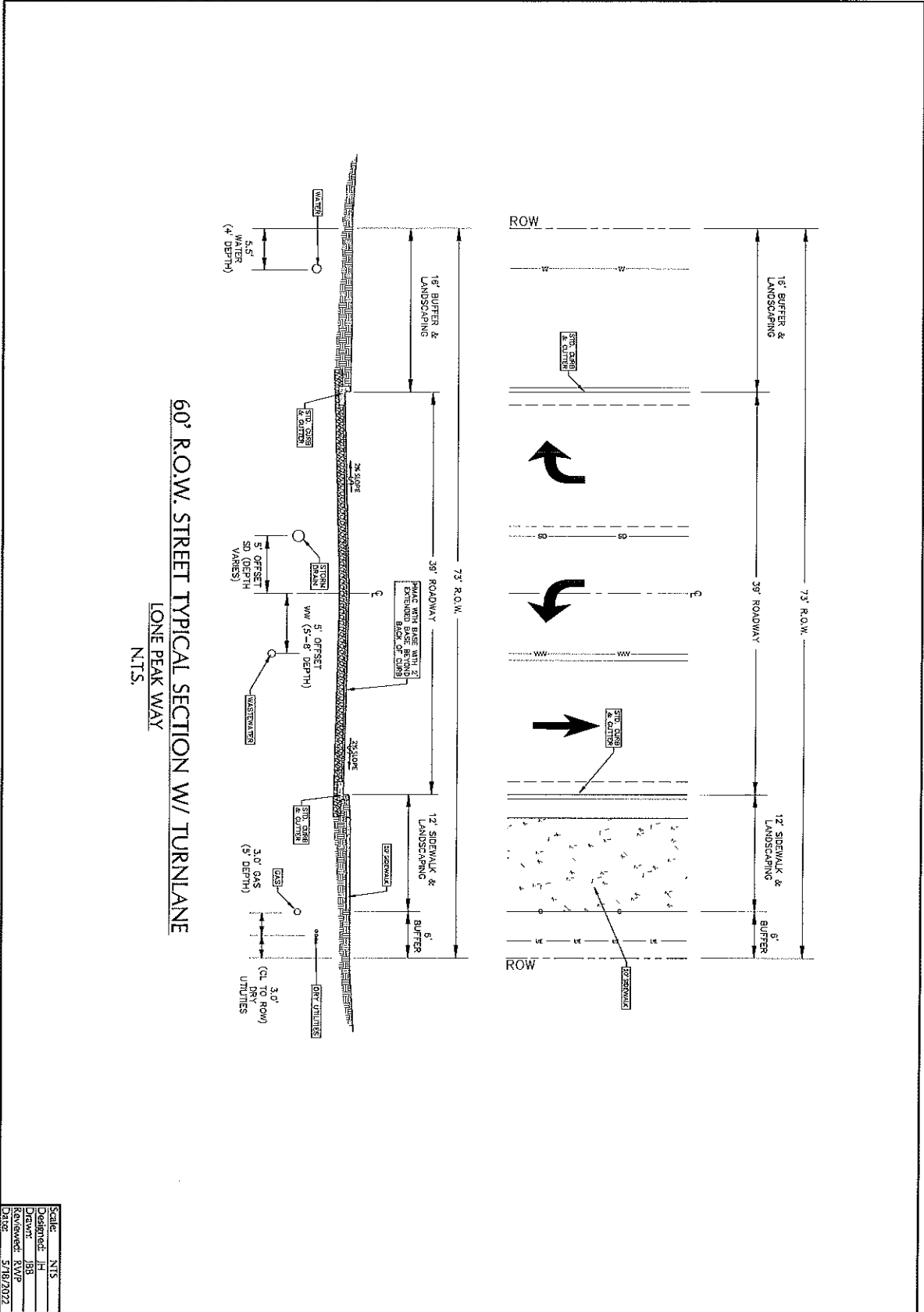
VILLAGE GROVE  
SINGLE & MULTIFAMILY  
DEVELOPMENT  
DRIPPING SPRINGS, TX

STREET SECTION  
60' R.O.W. COLLECTOR

**DOUCET**  
Civil Engineering/Enfitecments/Geospatial  
7401 E. Highway 71 W, Ste. 160  
Austin, TX 78735, Tel: (512) 583-2600  
www.doucetengineers.com  
T&E Firm Number: 3837  
T&E P&L Firm Number: 10105800



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Scale:	N.T.S.
Designed:	JH
Drawn:	JBB
Reviewed:	RVP
Date:	5/18/2022

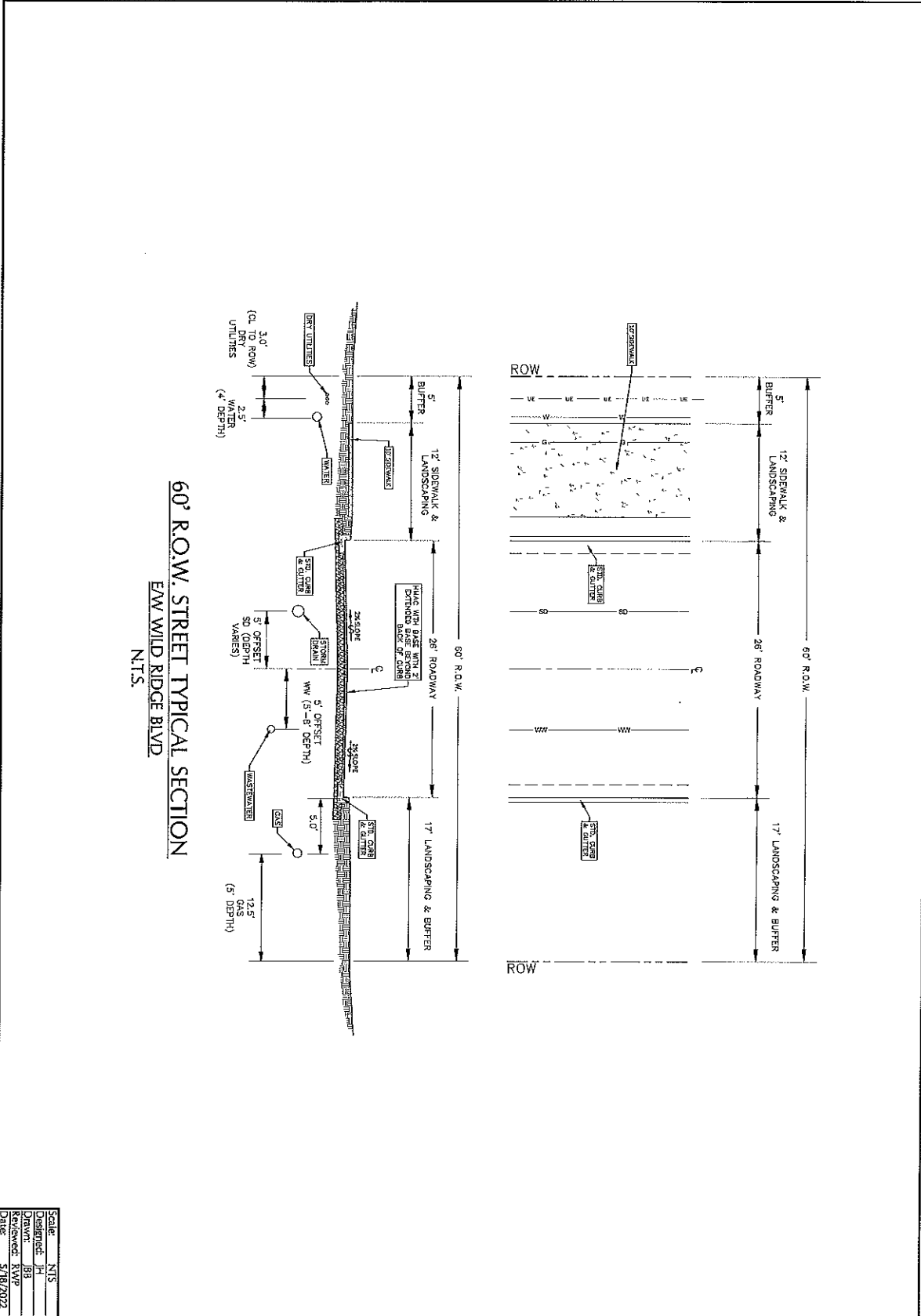
SHEET 4  
 OF 7  
 Project No: 2372-001B

**VILLAGE GROVE**  
 SINGLE & MULTIFAMILY  
 DEVELOPMENT  
 DRIPPING SPRINGS, TX

**STREET SECTION**  
 60' R.O.W. COLLECTOR

**DOUCET**  
 Civil Engineering/Entitlements/Geospatial  
 7401 E. Highway 71 W, Ste. 160  
 Austin, TX 78735, Tel: (512)-583-2600  
 www.doucetengineers.com  
 T&E Firm Number: 3937  
 T&E's Firm Number: 10105800

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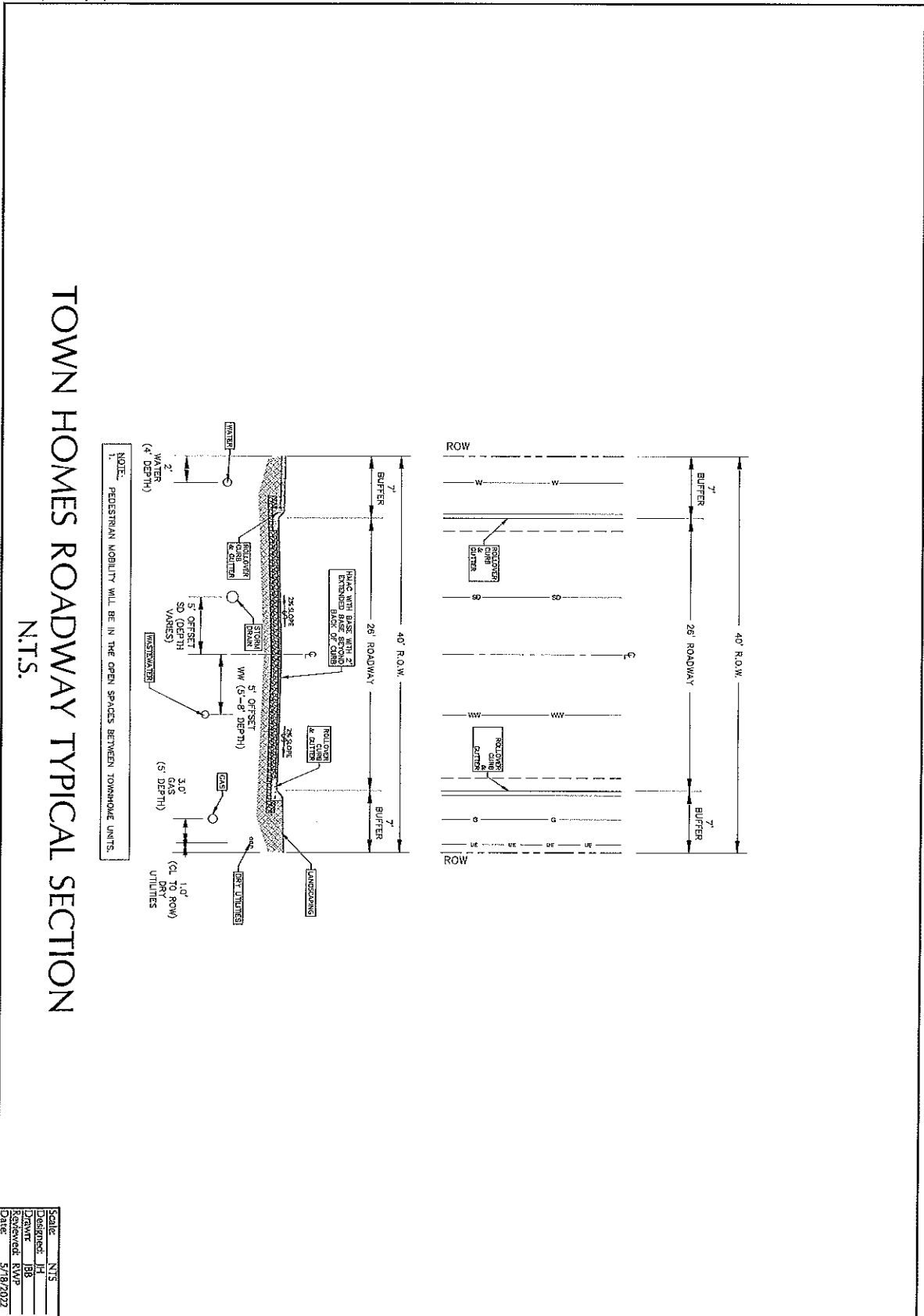
60' R.O.W. STREET TYPICAL SECTION  
 EW WILD RIDGE BLVD  
 N.T.S.

Scale	N.T.S.
Checked	JH
Drawn	JB
Reviewed	RVP
Date	5/18/2022

<p>VILLAGE GROVE                  SINGLE &amp; MULTIFAMILY                  DEVELOPMENT                  DRIPPING SPRINGS, TX</p>	<p>STREET SECTION                  60' R.O.W. COLLECTOR</p>	<p><b>DOUCET</b>                  Civil Engineering\Enfillements\Geospatial                  7401 B. Highway 71 W, Ste. 160                  Austin, TX 78735, Tel: (512)-563-2600                  www.doucetengineers.com                  T&amp;E Firm Number: 3937                  T&amp;E's Firm Number: 10105800</p>
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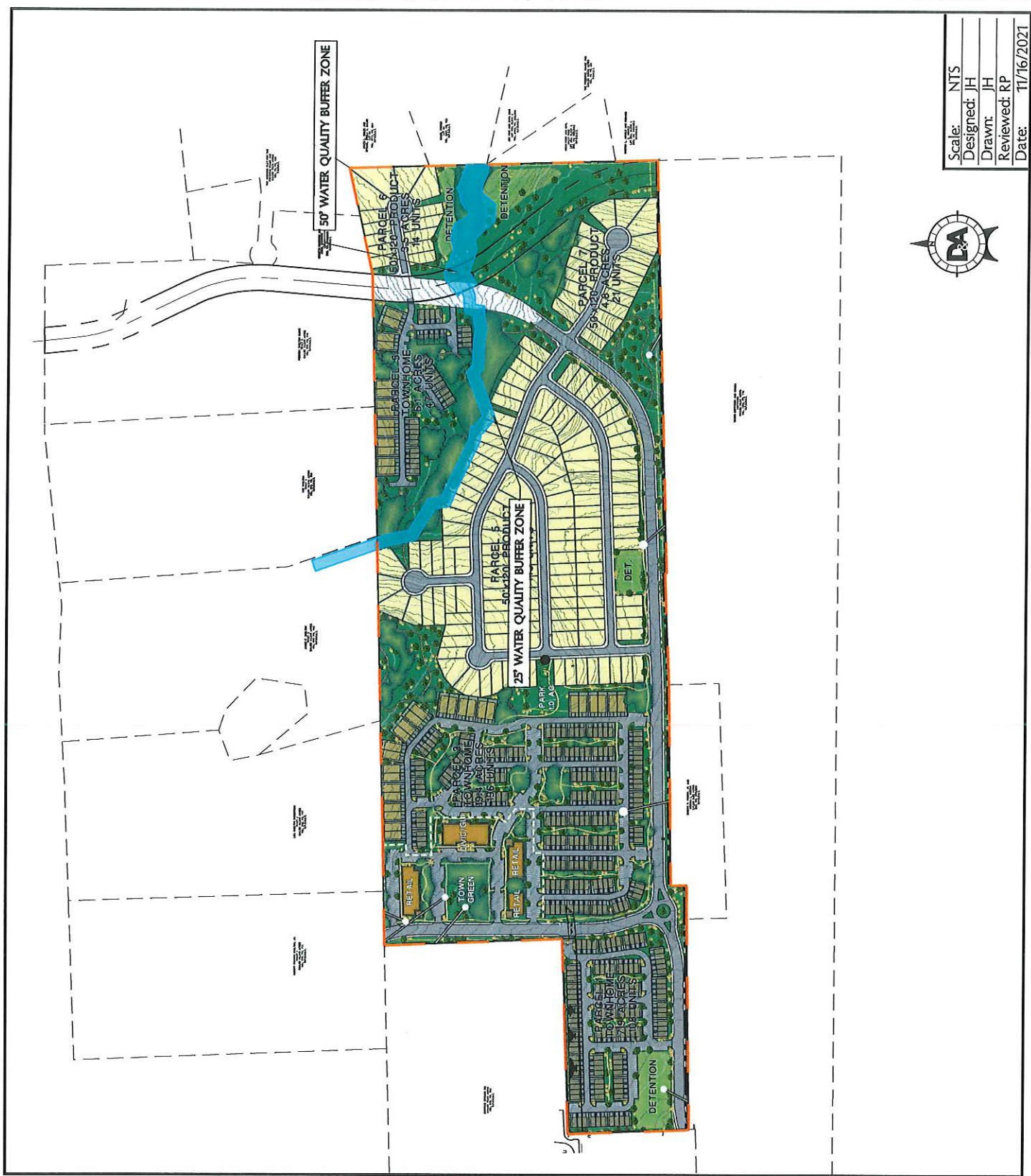


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 Plot Date/Time: May, 18, 22 - 16:00:29



<p>VILLAGE GROVE                  SINGLE &amp; MULTIFAMILY                  DEVELOPMENT                  DRIPPING SPRINGS, TX</p>	<p>STREE SECTION                  TOWNHOME &amp;                  COMMERCIAL DRIVES</p>	<p><b>DOUCET</b>                  Civil Engineering/Entitlements/Geospatial                  7401 B, Highway 71 W, Ste. 160                  Austin, TX 78735, Tel: (512)-583-2600                  www.doucetengineers.com                  T&amp;E Firm Number: 3937                  T&amp;EIS Firm Number: 10105800</p>
<p>SHEET                  7                  OF 7                  Project No:                  2372-001B</p>		

Scale:	NTS
Designed:	JH
Drawn:	JH
Reviewed:	RP
Date:	11/16/2021



**DA DOUCET & ASSOCIATES**  
 Civil Engineering - Entitlements - Surveying/Mapping  
 7401 B. Highway 71 W, Suite 160  
 Austin, Texas 78735, Phone: (512)-583-2600  
 www.doucetengineers.com  
 Firm Registration Number: 3937

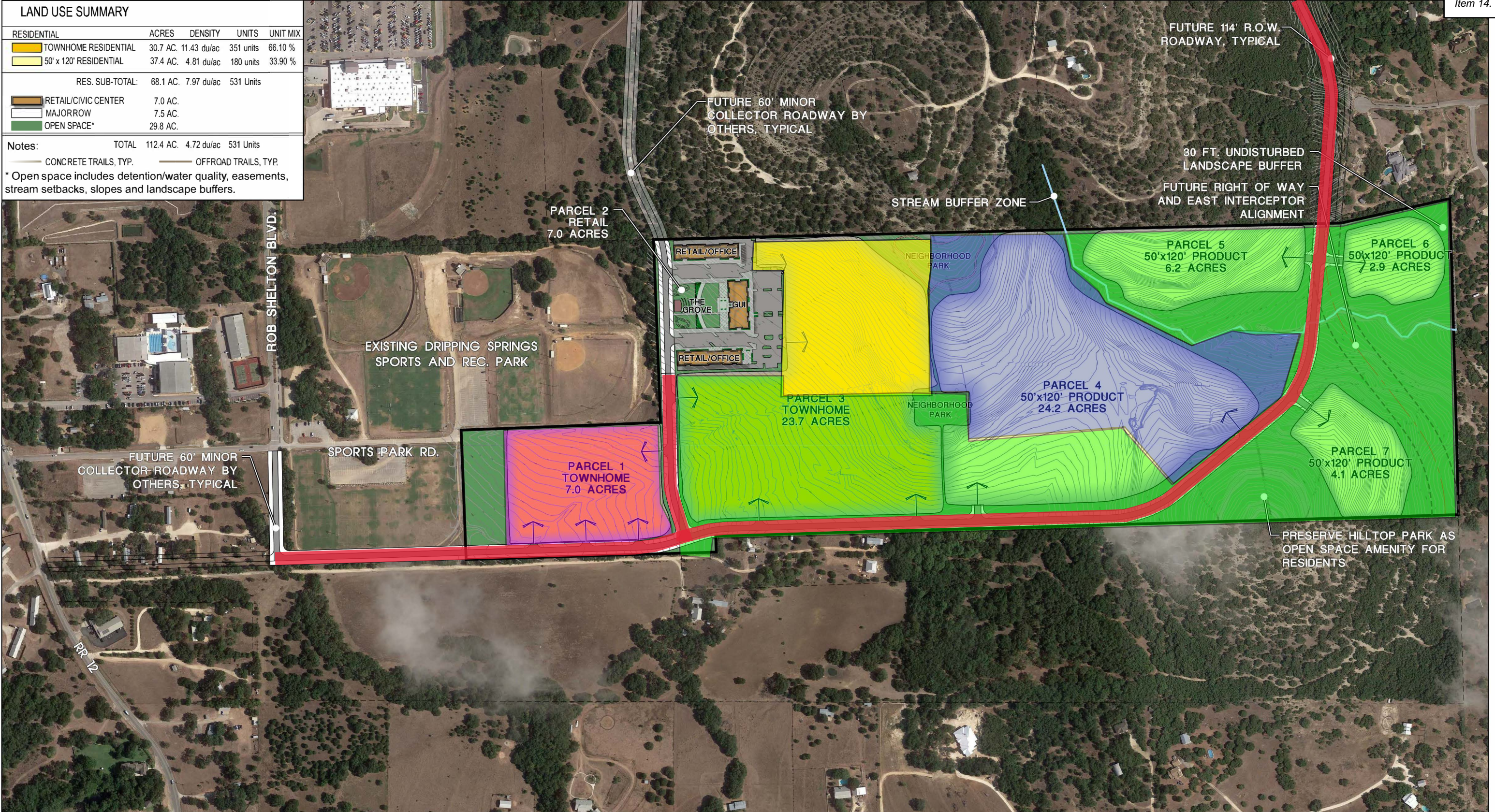
PLANNED  
 DEVELOPMENT DISTRICT  
 Exhibit - Water Quality  
 Buffer Zones

VILLAGE GROVE  
 DRIPPING SPRINGS, TX

SHEET  
**EXHIBIT**  
 1 OF 1  
 Project No.:  
 1298-003

LAND USE SUMMARY				
RESIDENTIAL	ACRES	DENSITY	UNITS	UNIT MIX
TOWNHOME RESIDENTIAL	30.7 AC.	11.43 du/ac	351 units	66.10 %
50' x 120' RESIDENTIAL	37.4 AC.	4.81 du/ac	180 units	33.90 %
<b>RES. SUB-TOTAL:</b>	<b>68.1 AC.</b>	<b>7.97 du/ac</b>	<b>531 Units</b>	
RETAIL/CIVIC CENTER	7.0 AC.			
MAJORROW	7.5 AC.			
OPEN SPACE*	29.8 AC.			
<b>Notes:</b>	<b>TOTAL</b>	<b>112.4 AC.</b>	<b>4.72 du/ac</b>	<b>531 Units</b>
CONCRETE TRAILS, TYP.				OFFROAD TRAILS, TYP.

\* Open space includes detention/water quality, easements, stream setbacks, slopes and landscape buffers.



- Phase 1
- Phase 2
- Phase 3
- Phase 4
- Phase 5

# PHASING PLAN

## VILLAGE GROVE

DRIPPING SPRINGS, TEXAS

North  
 Scale: 1" = 400'  
 Date: May 16, 2022

## **EXHIBIT I**

**For PDD # \_\_\_\_\_ The following uses shall be allowed in each respective base zoning district:**

### **SF-3 Residential permitted uses:**

- Single-Family Dwelling, Detached;
- Garden Home/Townhome;
- Accessory Bldg/Structure (Residential);
- Home Occupation;
- Swimming Pool, Private; and
- Those uses listed in the City's zoning ordinance for the SF-3 District or any less intense residential district uses are hereby permitted by right within the Project, and others are designated as requiring a Conditional Use Permit (CUP).

### **SF-5 Residential permitted uses:**

- Garden (Non-Retail)
- Accessory Bldg/Structure (Residential)
- Duplex/Two-Family
- Garden Home/ Townhome
- Home Occupation
- Single- Family Dwelling Detached
- Swimming Pool, Private
- Artist Studio
- Park and /or Playground
- Tennis Court
- Water Supply Facility (Private)

### **LR Permitted Uses:**

#### **(Commercial/ Civic Center Area)**

- Accessory Bldg./ Structure (Non- Residential)
- Garden Home/ Townhomes
- Home Occupation
- Living Quarters on Site with Business
- Residential Loft
- Bank
- Offices, General / Professional
- Office, Brokerage Services
- Office, Health Services
- Office, Legal Services
- Office, Professional
- Office, Real Estate Office

- Insurance Agency Offices
- Antique Shop
- Appliance Repair
- Art Dealer/ Gallery
- Artisan's Shop
- Artist Studio
- Bakery or Confectionary Retail
- Barbershop
- Beauty Shop
- Bicycle Sales and Repair
- Book Store
- Computer Sales
- Consignment Shop
- Cooking School
- Dance/ Drama/ Music Studio or School
- Drapery, Blind Upholstery Store
- Financial Services
- Florist Shop
- Food or Grocery Store – Limited
- Furniture Store (New and/or Used)
- Garden Shop (Inside Storage)
- Hardware Store
- Locksmith
- Market (Public)
- Mobile food vendor- 10 days or less
- Needlework Shop
- Pet Shop/Supplies (no live animal sales)
- Pharmacy
- Photocopying / Duplicating
- Photography Studio
- Restaurant (No Drive- Through Service)
- Tailor Shop
- Travel Agency
- Civic/ Conference Center
- Health Club
- Museum
- Park and /or Playground
- Community Center (Municipal)
- Fire Station
- Medical Clinic or Office
- Library
- Post Office
- Contractors Office (No Outside Storage)
- Government Building (Municipal, County, State, Federal) (No outdoor storage of construction/repair materials, heavy equipment, or service vehicles over ¾ tons)

**Permitted Uses with Conditional Approval:**



**SF-3 Residential :**

- Sewage Pumping Station
- Wastewater Treatment Plant

**Permit Uses with Conditional Approval:****SF-5 Residential:**

- Community or Group Home
- Child Day-Care Facility
- Group Day-Care Home
- Home for the Aged, Residential
- Wastewater Treatment Plant
- Contractor's Temporary On-site Office (After initial building of infrastructure and home sales)
- Sewage Pumping Station
- 

**Permit Uses with Conditional Approval:****LR Commercial/ Civic Center Area:**

- Armed Services Recruiting Center
- Bar
- Billiard/Pool Facility
- Mobile food vendor- longer than 10 days
- Mobile food vendor court
- Multi-Family Dwelling
- Studio, Tattoo or Body Piercing
- Temporary Outdoor Sales/ Promotion
- Parking Lot, Commercial
- Parking Structure Commercial
- Day Camp for Children
- Dinner Theater
- Contractor's temporary On-site Office (After initial building of infrastructure and buildings)
- Sewage Pumping Station
- Water Supply (Elevated Storage Tank)

## Questions and Concerns Regarding the Impact of Village Grove Development on Adjacent Landowners

Submitted by Eugene, Brenda, and Rosemary Foster (27106 RR 12 South /Hays County Appraisal Parcel # R19962)

### Procedural and Timeline Questions

1. What are the prerequisites and timelines for the P&Z review and approval of the proposed Village Grove development?
2. What are the prerequisites and timelines for City Council review and approval of the corresponding annexation request related to the proposed Village Grove development?
3. What are the prerequisites and timelines for City Council review and approval of the Municipal Utility District (MUD) application related to the proposed Village Grove development?
4. Did the City of Dripping Springs (City) provide advance notification to all adjacent landowners of public hearings, annexation requests, and MUD applications related to the proposed Village Grove development? If not, why not?
5. Why are some adjacent property owners not listed on 'Exhibit A – Legal Description of Land' filed with the MUD application with the City of Dripping Springs?
6. What happens if the City or TCEQ do not provide approval for the MUD application?
7. Is the P&Z aware how the Village Grove development project is being funded?
8. Is the City providing any financial or other incentives to support the proposed Village Grove development?

### Environmental Impact Questions

9. Regarding the Village Grove development plan presented for P&Z review:
  - a. Are the road and trail improvements adjacent public or private?
  - b. What number of vehicles are projected to use this road daily in each phase of the development?
  - c. Does the P&Z consider safety, noise, atmospheric, and light impacts on adjacent properties

10. Will the developer be required to place a fence around the proposed development? If so, will the materials, height, etc. be sufficient to mitigate the safety, noise, atmospheric, and light impacts on adjacent property owners?
11. How will P&Z ensure the proposed Village Grove development does not diminish or degrade the quantity and quality of existing water wells on adjacent properties?
12. Has the developer presented Due Diligence documentation regarding the presence of potentially hazardous waste dumps and abandoned well sites within the proposed Village Grove property?
13. Will P&Z and the City be conducting Texas Antiquities Code archeological survey and assessments for the proposed Village Grove development.
14. Has the developer presented a Feasibility Study to the P&Z? If not, will the P&Z require one?
15. Is P&Z coordinating with Hays County to ensure compliance with the Hays County Regional Habitat Conservation Plan?
16. Is P&Z requiring the developer to consult with U.S. Fish & Wildlife regarding potential impacts to threatened and endangered species?
17. How does the landfill located on the 740 Sports Park LLC property impact the development?

#### **Land Use, Utility, and Zoning Questions**

18. How will P&Z approval of the proposed Village Grove development affect current land use and zoning of adjacent properties?
19. How many people and at what density will P&Z be approving for occupation of the proposed Village Grove development, initially and eventually as it is completed in phases?
  - a. How many adults?
  - b. How many school age children?
20. How will P&Z ensure that the proposed Village Grove development does not adversely affect the adjacent landowners by relocation or disruption of electrical service?
21. How will P&Z prevent surface water drainage, erosion, and fertilizers from the proposed Village Grove development from adversely impacting adjacent property owners before, during and after construction?
22. How will sanitary sewer and wastewater (WW) treatment be handled during each phase of the Village Grove development?

23. Does P&Z anticipate that WW treatment for the Village Grove development will be immediately or eventually provided at the City's current WW Treatment Plant on Onion Creek?
24. Has P&Z received TCEQ-approval for expansion of its existing WW Treatment facility on Onion Creek?
25. Does P&Z anticipate that it will approve temporary on-site waste-water treatment until final connections and treatment are provided at a TCEQ-approved W/WW treatment facility?

Subdivision Project Name	City Limits / ETJ	Location	Description	Status
Driftwood Phase 3	ETJ	17901 RM 1826	1 lot subdivision	Waiting on the County
SUB2018-0038 Caliterra Ph 4 Sec 11_FP	ETJ	RR12 & FM 150	Subdivision of 108 Residential lots	Waiting on Resubmittal
SUB2019-0041 Headwaters Ph. 4 Sec. 6 CP	ETJ	Intersection of Headwaters Blvd and Hazy Hills Loop	4 Lot subdivision	Waiting on the County
SUB2019-0044 Caliterra Ph/2 Sec 7 Block F Lot 9 AP	ETJ	Peaksides Circle	amended plat	waiting on resubmittal
SUB2018-0055 Quik Trip #4133 Addition Minor Plat	CL	16460 Sawyer Ranch Rd	remaining portion of tract A of the Sawyer Springs Subdivision P.R.	waiting on resubmittal, now a zoning amendment, likely to turn into a plat if ReZoning is approved
SUB2021-0002 Roger Hanks Parkway Extension	CL	Roger Hanks Parkway	3120 LF of Collector Roadway. The infrastructure includes all associated streets, grading, and water quality improvements.	Waiting on Resubmittal
SUB2021-0025 102 Rose Drive Minor Plat	CL	102 Rose Drive	1 lot subdivision to create a legal lot	Approved with conditions
SUB2020-0028 CRTX Prelim Plat	CL	27110 RR 12	Establish a lot	Resubmitted under a new application
SUB2020-0029 CRTX Final Plat	CL	27110 RR 12	Establish a lot	Resubmitted under a new application
SUB2021-0035 Heritage Phase 2 Construction Plans	CL	Sportsplex Drive (Heritage Development)	165 lot (162 residential lots, 2 drainage lots, and 1 parkland lot), 33.96 acre Phase of the Heritage Subdivision	Approved with conditions
SUB2021-0012 Caliterra Ph 4 Sec 12 FP	ETJ	Premier Park Loop	47 lots on 65.172 acres with associated infrastructure	Under Review
SUB2021-0048 Driftwood Ph 1 Section 4 Final Plat	ETJ	Thurman Roberts Way	A one lot plat for 4.7233 acre land	Waiting on Resubmittal
SUB2021-0058 Parten Ranch Phase 4 Final Plat	ETJ	1.5 miles SW of the intersection of Nutty Brown Road and FM 1826	87 Single family lots, 4 (OS/drainage/WQ), 1 Utility lot on 73.81 acres	Approved with conditions
SUB2021-0061 Big Sky Ranch Phase 3 Final Plat	CL	Big Sky Ranch	224 Lots on 81.71 acres. 215 are Residential	Under Review
SUB2021-0062 Big Sky Ranch Phase 4 Final Plat	CL	Big Sky Ranch	136 Lots on 24.86 acres. 134 are Residential	Under Review
SUB2021-0065 Heritage Phase 2 Final Plat	CL	Sportsplex Drive (Heritage Development)	162 Lots on 69.999 acres, 160 of which are residential with an average lot size of 0.143 acres	Waiting on Resubmittal
SUB2021-0067 Headwaters Phase 5 Section 2 Final Plat	ETJ	Intersection of Headwaters Blvd and Sage Thrasher Circle	146 Lots with 144 of those being residential and with an average size of lots being 8,392 sq ft	Under Review
SUB2021-0069 Cannon Ranch Ph 1 Construction Plans	CL	Cannon Ranch Road	Development of 122 residential lots with public roadways, utilities, and drainage features.	In Administrative Completeness
SUB2021-0070 Cannon Ranch Phase 1 Final Plat	CL	Cannon Ranch Road	Development of 122 residential lots with public roadways, utilities, and drainage features.	Approved
SUB2021-0071 Cannon Ranch OffSite Waterline	CL	Cannon Ranch Road	The construction of an offsite waterline that is approximately 4 acres	Approved with conditions
SUB2021-0073 Hardy South Preliminary Plat	CL	2901 W US 290	41 Residential lots on 39.341	Waiting for Resubmittal
SUB2022-0001 Lohec 749 Cattle Trail	ETJ	749 Cattle Trail	Two lots combining into 1 lot to make a 10 acre lot	Under Review
SUB2022-0002 Hays Street Subdivision	CL	102 Bluff Street	Subdivision of 6 residential lots in the Historic District	Waiting for Resubmittal
SUB2022-0004 Headwaters Commercial East Ph 1 Preliminary Plat	CL	Headwaters Blvd	Prelim platting 4 lots 3 of which are commercial and one is drainage and water quality	Approved
SUB2022-0005 4400 W Hwy 290 Final Plat	ETJ	4400 W US 290	Platting one lot for commercial purposes	Waiting for Resubmittal
SUB2022-0006 AHC Preliminary Plat (PDD11)	CL	27110 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Waiting for Resubmittal
SUB2022-0007 AHC Final Plat (PDD11)	CL	27111 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Waiting for Resubmittal
SUB2022-0008 Wild Ridge Preliminary Plat	CL	E US 290	Preliminary Plat for 863 residential lots and one commercial lot.	Under Review
SUB2022-0009 Driftwood Subdivision Phase 3 Preliminary Plat	ETJ	17901 FM 1826	Preliminary Plat for 14 lots: 12 Residential, 1 Commercial, 1 Industrial	Under Review
SUB2022-0011 BR Subdivision MP	CL	26918 RR 12	Moratorium Exception Form	Waiting for Resubmittal
SUB2022-0014 DGRC Ph 1, Block A Lot 38 Replat	ETJ	Driftwood Ranch Dr	Splitting Lot 38 into 3 lots with Row lot proposed to give access to DW subdivision	Waiting for Resubmittal
SUB2022-0012 Driftwood Sub Ph 3 Sec 1 FP	ETJ	17901 FM 1826	Final Plat for 1 Commercial Lot	Waiting for Resubmittal
SUB2022-0013 Driftwood Sub Ph 3 Sec 2 FP	ETJ	17901 FM 1826	FP for 11 single-family residential lots, 1 open space lot, and 1 private street lot on 34.67 acres	Waiting for Resubmittal
SUB2022-0015 DGRC Ph 2, Blk Q, Lot 2 AP	ETJ	225 Mason Court	Amending Lot 2, Block Q to revise environment feature buffer	Waiting for Resubmittal
SUB2021-0011 Double L Phase 1 Prelim Plat	ETJ	1.5 miles N of US 290 & RR 12	PP for 243 residential units and 1 amenity center	Approval with Conditions
SUB2021-0026 Bunker Ranch Ph 2-4 CP Minor Revision	CL	2751 US 290, Dripping Springs, Texas 7862	Bryce Lane road stub addition	Approved
SUB2022-0016 Parten Ranch Ph 6 & 7 CP	ETJ	600 Two Creeks Lane, Austin Tx 78737	Construction Plans	Waiting for Resubmittal
SUB2022-0017 Rob Shelton - Cannon	CL	Rob Shelton Boulevard	Construction Plans	In Administrative Completeness
SUB2022-0018 Caliterra Ph 5 Section 14 CP	ETJ	Premier Park Loop	Construction Plans	Under Review
SUB2022-0010 Ariza Multi-Family Preliminary Plat	ETJ	13900 W. US Hwy 290	Platting of 4 lots into 1 to establish utilities for a Multi-Family Residential Complex of about 293 units.	Under Review
SUB2022-0019 Ladera Sub, Lot 2 Replat	ETJ	4630 W Hwy 290	Replat	Under Review
SUB2022-0020 Caliterra Phase 5 Sec 14 FP	ETJ	Premier Park Loop	Final Plat for 25 Residential Lots	Waiting for Resubmittal
SUB2022-0021 Headwaters at BC Phase 3 CP	ETJ	Intersection of Hazy Hills Loop and Roy Branch Road	Construction Plans	Under Review
SUB2022-0022 Hernandez-Creek Rd Sub FP	CL	910 Creek Road	Construction Plans	Under Review
SUB2022-0023 Overlook at Bunker Ranch CP	CL	2004 Creek Road	Construction Plans for 12 single family lots with 1 drainage lot	Under Review
SUB2022-0024 Driftwood Sub Phase 3 Sec 2 CP	ETJ	17901 FM 1826	Construction Plans for streets, drainage, water and wastewater	Under Review

ADMINISTRATIVE APPROVAL PROJECTS				
Site Development Project Name	City Limits / ETJ	Location	Description	Status
SD2019-0006_Dog N Bone	CL	310 Old Fitzhugh Rd	Food Tractor and Site Improvements	Waiting on resubmittal
SD2019-0024 Jasons Deli	CL	165 Hargraves Dr	Restaurant	Waiting on resubmittal
SD2019-0025 Merrit Hill Country Amendment	CL	28725 RR 12	minor amendment	Waiting on resubmittal
SD2019-0036 Hart Lane Homes	ETJ	120 Hart Lane	3 SF homes	Waiting on resubmittal
SD2020-0016 100 N Canyonwood Dr	etj	100 N Canyonwood Dr	2 office buildings	Waiting on resubmittal
SD2020-0024 421 Sportsplex Correction	cl	421 Sportsplex	adding retaining wall	Waiting on resubmittal
SD2020-0027 Velocity Credit Union	limited purpose district	Lot 1 Block E of Bush Ranch Phase 1 Revised Subdivision	Construction of an assisted living building, parking areas, water service line, on-site sewage facility, and storm water detention pond.	Waiting on resubmittal
SD2020-0031 ATX Drainage and Landscaping	ETJ	13400 Nutty Brown Road	construction of a landscape yard, associated 6,055 sqft office/warehouse and parking	Waiting on resubmittal
SD2020-0042 31300 RR 12 Vet Clinic	ETJ	31300 RR 12	permitting an existing gravel parking lot	Waiting on resubmittal
SD2020-0047 Dripping Springs RV Resort	ETJ	3001 W US 290, Dripping Springs, TX 78620	533 RV lots with associated roadway and drainage. All associated utilities installed.	Waiting on resubmittal
SD2021-0005 Dripping Springs WWTP Expansion	CL	23127 FM 150 W	Expansion of the Wastewater treatment plant	Under Review
SD2021-0008 AHC Development (aka PDD 11)	CL	27110 RR 12	Construction of a new Multi-Family complex and its necessary infrastructure and a public extension of S Rob Shelton Blvd	Under Review
SD2021-0021 RR 12 Commercial Kitchen	CL	28707 RR 12	Commercial kitchen that will support a catering business, no on-site dining is proposed	Under Review
SD2021-0012 Pet Paradise	ETJ	13526 W Hwy 290	This project is a pet retreat facility with building, parking, and utilities. The site will drain via a storm sewer network to an existing shared water quality pond.	Approved w/ Conditions
SD2021-0013 Dreamland	ETJ			Waiting on resubmittal
SD2021-0015 Arrowhead Ranch C-Store	CL	140 Arrowhead Ranch Blvd	Plat to establish 2 lots for commercial development, to include a convenience store with gas sales, car wash and retail sales	Under Review
SD2021-0022 Sawyer Ranch Lot 4A	ETJ	13341 W US HWY 290	Commercial buildings, parking, utilities and sidewalks on 4.68 acres of the Sawyer Ranch subdivision	Under Review
SD2021-0028 Sawyer Ranch 33, Tract 3	CL	Sawyer Ranch	Infrastructure Plan to Install and construct utilities, drainage, water quality, and street/driveway improvements for the entirety of the tract	In Administrative Completeness
SD2021-0029 Jackson Lighting	CL	Along US 290 near Sawyer Ranch Rd	Construction of new building for the Jackson Lighting business	Waiting on resubmittal
SD2021-0030 Belterra Townhomes	ETJ	Belterra	Seven townhome units with associated parking, sidewalk, utilities, and drainage	Waiting on resubmittal
SD2021-0031 Rob Shelton Blvd. Extension	CL	Rob Shelton	An extension of Rob Shelton South bound per PDD 11	Waiting on resubmittal
SD2022-0001 Julep Commercial Park	ETJ	Northeast corner of W US 290 and Trautwein Rd	11.27 acre site of mixed-use commercial buildings with supporting driveways, water quality and detention pond, rainwater harvesting, and other utilities	Waiting on resubmittal
SD2022-0002 East Ledgestone Commercial	ETJ	Ledgestone	5 mixed-use, commercial buildings with associated utilities, paving, sidewalks and drainage	Approved w/ Conditions
SD2022-0003 210 Creek Road Site Plan	CL	210 Creek Road	Proposed residential development, these are condoized units	In Administrative Completeness
SD2022-0004 Onion Creek Bend	ETJ	Onion Creek Bend	Street Cut application to match the plat to make the road a culdesac	Approved
SD2022-0005 Dripping Springs Storage Phase 2	ETJ	14001 W US 290	Proposed addition of outdoor garage storage to an existing indoor storage facility	Waiting on resubmittal
SD2022-0010 Wenty's Wine Bar	ETJ	5307 Bell Springs Rd	Wine bar and associated improvements	Waiting on resubmittal
SD2022-0006 Mark Black Wedding Venue	ETJ	13 Concord Circle	The project proposes to eliminate the overflow parking at the rear of the development.	In Administrative Completeness
SD2022-0007 Heritage Effluent Line Stage II Extension	CL	511 Mercer Street	Extension of the existing 12" effluent line north along RR12, along with an 8" effluent line that spans from Rob Shelton, across Hwy 290, and north to Heritage Stage 2	Waiting on resubmittal
SD2022-0008 Patriot's Hall Phase 1B	ETJ	231 Patriots Hall Blvd	New Patriot's Hall event building with parking, infrastructure and water quality	Waiting on resubmittal
SD2022-0013 DS Flex Business Park	CL	28513 RR 12	Construction of two shell buildings with accompanying site improvements	Under Review
SD2022-0011 Skybridge Academy	CL	519 Old Fitzhugh Road	Remodel/repurpose of existing historic structures, add new construction to tie together the house and garage with additional parking and revised driveway	Under Review
SD2022-0012 Oakwood Market	CL	Intersection of Bevery Drive and Kibo Ridge	One commercial mixed use building with parking lot and associated utility improvements	Under Review
SD2022-0009 Driftwood GRC Maintenance Facility	ETJ	11100 FM 967	Proposed site plan of a maintenance facility at the Driftwood Golf and Ranch Club.	Waiting on resubmittal

<i>Ongoing Projects</i>	
Comprehensive Plan & Code Rewrite	Preliminary Discussions with the DTJ have begun
Village Grove	TxDOT issue with connection to RR12 still ongoing.
New Growth	Comments Assembled and sent to Developer
Cannon East	DAWG met with the developer on March 9th
Moratorium	Extended to May 21st